

PRELIMINARY AND FINAL SITE PLAN & MINOR SUBDIVISION

FOR

WINDSOR 1 DEVELOPERS, LLC PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL

BLOCK 7, LOT 59; TAX MAP SHEET #13.02 - LATEST REV. DATED 01-01-1996

U.S. ROUTE 1 (BRUNSWICK PIKE) AND EMMONS DRIVE

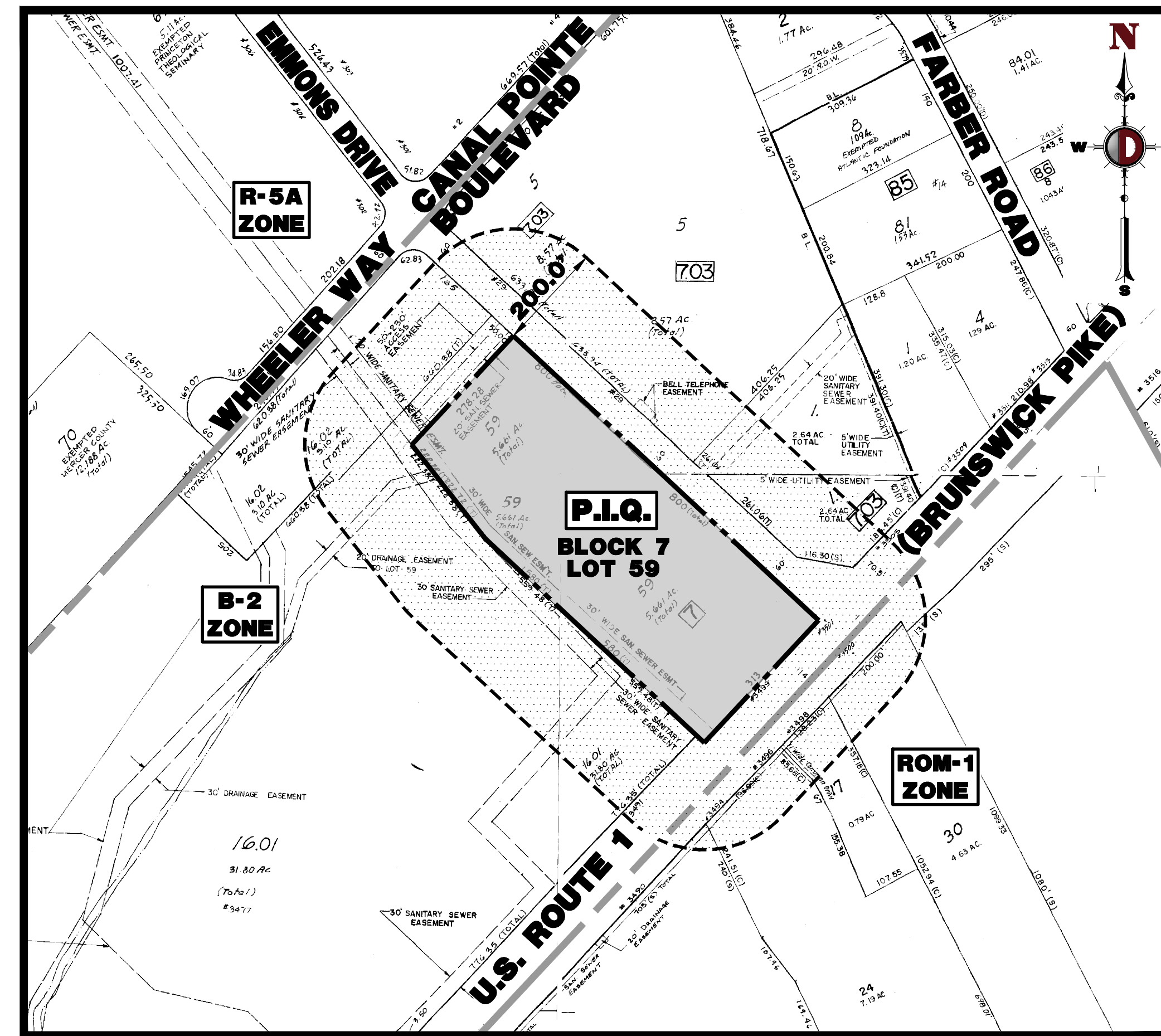
TOWNSHIP OF WEST WINDSOR

MERCER COUNTY, NEW JERSEY, 08540

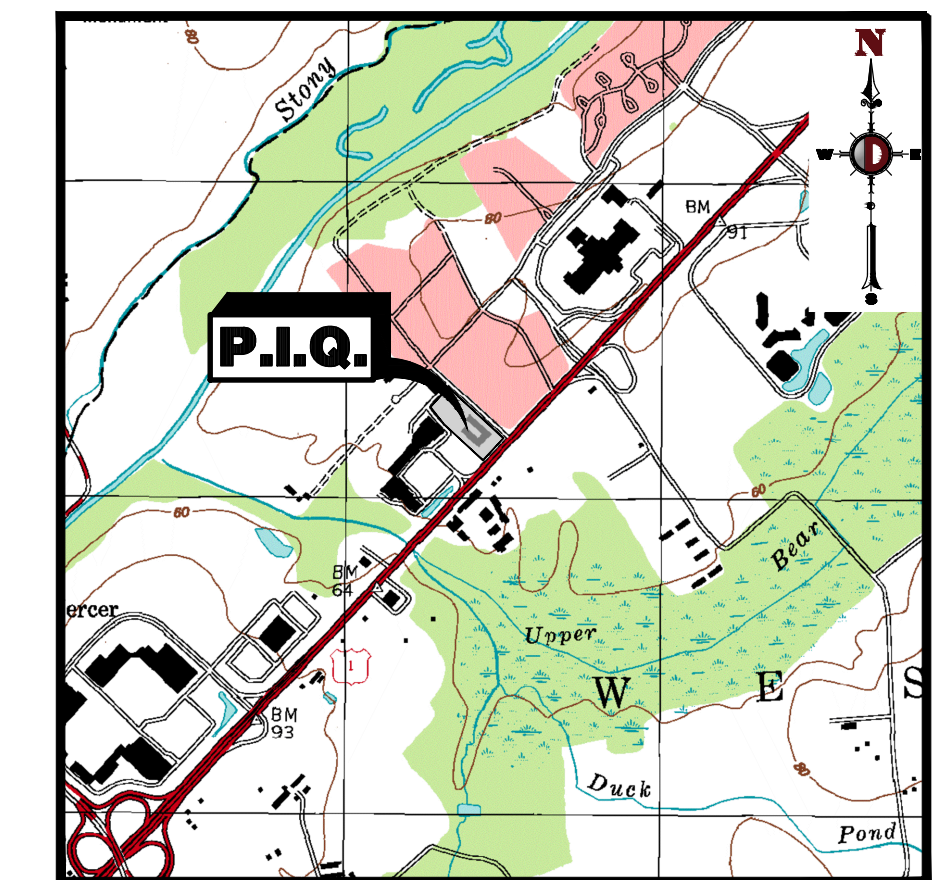
WAWA SITE DATA TABLE	
PHYSICAL ADDRESS	3499 US ROUTE 1
WAWA STORE NO.	8447
BUILDING TYPE	WEST F/B
CANOPY TYPE	SLOPED
CANOPY CONFIGURATION	STACKED
NO. OF MPD'S	8
TYPE OF MPD'S	3 + 1
NO. OF PARKING SPACES	50
NO. OF HANDICAP PARKING SPACES	2
NO. OF TRUCK / OVERSIZED PARKING SPACES	0
SQ. FT. OF ASPHALT (INSIDE R.O.W.)	29,900 SQ. FT.
SQ. FT. OF LAWN AREA (TO BE MOWED)	7,923 SQ. FT.
SQ. FT. OF MULCH AREA	3,958 SQ. FT.
CONTACT INFO:	
MIKE REDEL	
WAWA INC.	
260 W. BALTIMORE PIKE	
WAWA PA. 19363	

200' PROPERTY OWNERS LIST

PROPERTY OWNER	BLOCK	LOT	ALSO TO BE NOTIFIED:
WINDSOR GREEN INVESTORS 1609 ROUTE 23, SUITE 330 WAYNE, NJ 07470	7	16.01	COMCAST, WORMOUTH CLUSTER 751 BRICK BOULEVARD BRICK, NJ 08723
A-1 LMOUSINE 2 EMMONS DR PRINCETON, NJ 08540	7	16.02	MERCER COUNTY DEPT. OF TRANSPORTATION 640 BROAD STREET - ADMIN BUILDING, ROOM 301 TRENTON, NJ 08650
COUNTY OF MERCER-PARK COMMISSION PO BOX 8068 TRENTON, NJ 08650-0068	7	70	PUBLIC SERVICE ELECTRIC GAS COMPANY MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, 16B NEWARK, NJ 0850
PEP BOYS-MANNY, MOE & JACK-SILICON ENE 3111 WEST ALLEGHENY AVE PHILADELPHIA, PA 19132	7.03	1	NJ AMERICAN WATER COMPANY, INC. GIS SUPERVISOR 1025 LAUREL OAK ROAD VOORHEES, NJ 08043
CPP II LLC ATTN: MAT BANK (NYC) PO BOX 9222 COPPELL, TX 75019-9240	7.03	5	VERIZON-NJ C/O WIRELINE ENGINEERING 999 W. MAIN STREET, FLOOR 2 FREEHOLD, NJ 07728
WEST WINDSOR PLAZA ASSOCIATES, LLC 820 MORRIS TURNPIKE #301 SHORT HILLS, NJ 07078	8	10.03	JOPAL 880 PINEWALD KESWICK ROAD MANCHESTER TOWNSHIP, NJ 08759
GHO VENTURES, LLC 51 CHERRY BROOK DR PRINCETON, NJ 08540	8	17, 24, 30	
ONXX 3490 LLC PO BOX 970 BOUND BROOK, NJ 08805	8	18	



AREA MAP
1" = 200'



KEY MAP
1" = 2000'

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LEGEND

(PRELIMINARY) or (FINAL)

1. SITE PLAN OF PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL
BLOCK 7 LOT 59 ZONE B-2
DATE 10/01/2019 SCALE 1"=30'
APPLICANT WINDSOR 1 DEVELOPERS, LLC
ADDRESS 1195 ROUTE 70, SUITE 2000, LAKEWOOD, NJ 08701
SITE PLAN CONTROL NO. _____

2. I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE TOWNSHIP ZONING BOARD OF WEST WINDSOR TOWNSHIP.

(Owner) (Date)

3. To be signed before issuance of a Building Permit and incorporated only on a Final Site Plan (as applicable):
I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

(Township Clerk) (Date)

(Building Permit Issued) (Date)

4. To be incorporated only on Final Site Plan and signed prior to issuance of a Building Permit:
VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT

(Township Clerk) (Date)

5. APPROVED BY THE ZONING BOARD (Preliminary Approval Date)
(Final Approval Date)

(Chairman) (Date)

(Secretary) (Date)

6. APPROVED BY THE HEALTH OFFICER

(Chairman) (Date)

7. EXPIRATION OF APPROVAL (PRELIMINARY - 3 YEARS; FINAL - 2 YEARS)
Date of Expiration (Without Extensions) _____

PREPARED BY
DYNAMIC ENGINEERING CONSULTANTS, P.C.
1904 MAIN STREET
LAKE COMO, NJ 07719
WWW.DYNAMICCEC.COM

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

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1904 Main Street
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T: 973.974.0198
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TITLE: **COVER SHEET**

PROJECT: **WINDSOR 1 DEVELOPERS, LLC
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL**
BLOCK 7, LOT 59
U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

JOB No: 1478-99-043 DATE: 01/06/2020
DRAWN BY: AJH SCALE: (H) AS (V) SHOWN
DESIGNED BY: RJM SHEET No: 1
CHECKED BY: MS
CHECKED BY: -

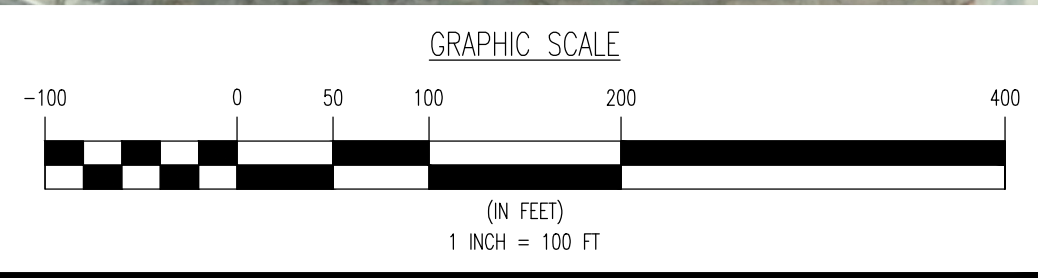
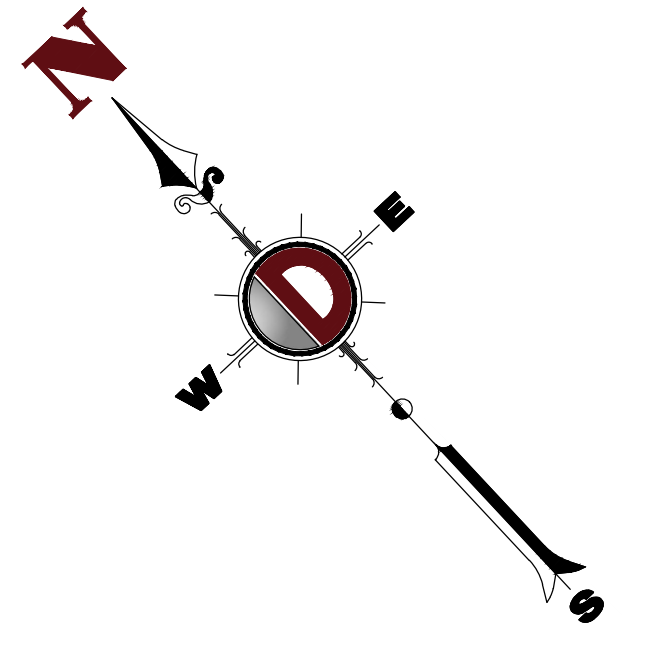
MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

MARK A. WHITAKER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41417

811 PROTECT YOURSELF
ALL UTILITIES REQUIRE NOTIFICATION OF
SCOURING OPERATIONS. IF ANY OPERATOR
PREPARED TO OPERATE THE SERVICE
OFFICE NUMBER IS 800-345-3888
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT:
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Rev. # 2

Plotted: 08/13/20 10:24 AM By: geowdrick, Product: Ver. 23.1s (LMS Tech)
 File: P:\CECPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\Draw\Site Plans\01 COVER SHEET.dwg



THE AERIAL IMAGE DEPICTED ON THIS PLAN IS BASED UPON AERIAL PHOTOGRAPHY OF THE STATE OF NEW JERSEY CAPTURED BETWEEN MARCH AND MAY, 2015. THE NEW JERSEY 2015 HIGH RESOLUTION ORTHOPHOTOGRAPHY PROJECT WAS FURNISHED BY THE NJ OFFICE OF INFORMATION TECHNOLOGY. THE CONDITIONS OF THE SITE AND SURROUNDING AREAS MAY HAVE CHANGED SINCE THE DATE OF AERIAL PHOTOGRAPHY AND THEREFORE THIS PLAN MAY NOT ACCURATELY REFLECT ALL CURRENT EXISTING CONDITIONS.

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 Allen, Texas T: 972.334.2100 | Austin, Texas T: 512.444.2646 | Houston, Texas T: 281.789.6400
 Newtown, Pennsylvania T: 267.865.0274 | Denver, Colorado T: 303.921.8570

TITLE: **AERIAL MAP**

PROJECT: **WINDSOR 1 DEVELOPERS, LLC
 PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL
 BLOCK 7, LOT 59
 U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY**

JOB No: 1478-99-043 DATE: 01/06/2020
 DRAWN BY: AJH SCALE: (H) 1"=100'
 DESIGNED BY: RJM (V)
 CHECKED BY: MS SHEET No:
 CHECKED BY: - **2**

MATTHEW SHARO PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52989
MARK A. WHITAKER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41417

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Rev. # 2

Rev.	Date	Comments	By
1	01/20/20	REV. PER DRCC & SCD REVIEW COMMENTS	KJH
2	01/06/20	REV. PER TOWNSHIP & NJDOT REVIEW COMMENTS	JRY

Plotted: 08/13/20 - 10:25 AM, By: geowdrick, Product: Ver. 23.1s (LMS Tech)
 File: P:\VEPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\DWG\Site Plans\02 AERIAL MAP.dwg

GENERAL NOTES

- THIS PLAN HAS BEEN PREPARED BASED ON REFERENCES INCLUDING:
 - ALTA/NGSP LAND TITLE SURVEY
 - DYNAMIC SURVEY, LLC
 - 1804 MARK STREET
 - LAKE COMO, NJ 07719
 - SURVEYOR FILE NO: 1478-99-0435
 - DATED: 4/04/2019
- APPLICANT: WINDSOR 1 DEVELOPERS, LLC
1195 ROUTE 70, SUITE 2000
LAKWOOD, NJ 08701
- OWNER: WEST WINDSOR LODGING, LLC
149 BRUNSWICK PINE
PRINCETON, NJ 08540
- PARCEL DATA: BLOCK 7, LOT 59
US ROUTE 1 & EMMONS DRIVE
TOWNSHIP OF WEST WINDSOR
MERCER COUNTY, NJ
- ZONE: ZONE B-2 (NEIGHBORHOOD CENTER BUSINESS ZONE)
- PROPOSED USE: CONVENIENCE STORE IN CONJUNCTION WITH A GASOLINE SERVICE STATION (PERMITTED USE) (8200-201A.14)
HOTEL (PERMITTED USE) (8200-201A.8)
- SCHEDULE OF ZONING REQUIREMENTS (8200-202)

ZONING REQUIREMENT	B-2 ZONE	EXISTING (OVERALL)	PROPOSED LOT 'A' (WMA)	PROPOSED LOT 'B' (HOTEL)
MINIMUM LOT AREA	1 AC	240,163 SF (5.51 AC)	71,733 SF (1.647 AC)	166,430 SF (3.867 AC)
MINIMUM LOT FRONTAGE	125 FT	1,092.5 FT	598.3 FT	534.2 FT
MINIMUM LOT WIDTH	150 FT	313.0 FT	313.0 FT	534.2 FT
MINIMUM LOT DEPTH	200 FT	779.5 FT	221.5 FT	278.2 FT
MINIMUM FRONT YARD SETBACK (US ROUTE 1)	30 FT	111.8 FT	68.0 FT	N/A
MINIMUM FRONT YARD SETBACK (EMMONS DRIVE)	30 FT	48.1 FT	40.0 FT	11.1 FT (M)
MINIMUM REAR YARD SETBACK	15 FT/40 FT FOR HOTEL	59.7 FT	95.5 FT	56.1 FT
MINIMUM SIDE YARD SETBACK	15 FT/40 FT FOR HOTEL	347.6 FT	30.5 FT	101.7 FT
MAXIMUM FLOOR AREA RATIO (ONE-STORY BUILDING/MULTISTORY BUILDING/MULTISTORY HOTEL)	0.18 / 0.20 / 0.35	N/A / 0.29 (E)	0.08 / N/A	N/A / 0.45 (M)
MAXIMUM IMPROVEMENT COVERAGE [1]	55%	59.4% (142,788 SF) (E)	82.7% (59,342 SF) (M)	41.7% (70,199 SF)
MAXIMUM BUILDING HEIGHT	35 FT/2.5 STORES	-	33 FT/1 STORY	N/A
MAXIMUM BUILDING HEIGHT (HOTEL)	55 FT/4 STORES	-	N/A	48.25 FT/4 STORES

N/S: NO STANDARD N/A: NOT APPLICABLE (E): EXISTING NON-COMFORMANCE (M): VARIANCE (U): USE VARIANCE
 [1] IMPROVEMENT COVERAGE - THE BUILDING COVERAGE PLUS THE AREA OF ALL PERVIOUS AND IMPERVIOUS PAVED SURFACES.

- HOTEL REQUIREMENTS
 - MAXIMUM BUILDING HEIGHT: IRRESPECTIVE OF 8 200-202H, THE MAXIMUM HEIGHT OF A HOTEL SHALL BE FOUR (4) STORES, BUT NOT MORE THAN 55 FEET. (8200-202.1) (COMPLIES)
 - MINIMUM SIDE OR REAR YARD SETBACK: IRRESPECTIVE OF 8200-202E(2), 40 FEET, OR 75 FEET IF ADJOINING TO A RESIDENCE DISTRICT. (8200-202.2) (COMPLIES)
 - A MINIMUM OF AT LEAST TWENTY (20) UNITS OF ACCOMMODATION IS REQUIRED, EXCLUSIVE OF ANY PERMANENT, ON-SITE SUPERINTENDENTS' LIVING QUARTERS. (8200-202.3) (COMPLIES)
 - EACH UNIT OF ACCOMMODATION SHALL CONTAIN A MINIMUM FLOOR AREA OF 250 SQUARE FEET. (8200-202.4) (COMPLIES)
- PARKING REQUIREMENTS
 - PARKING SPACES SHALL BE NINE (9) FEET IN WIDTH BY EIGHTEEN (18) FEET IN LENGTH (8200-29A.6.1) (COMPLIES)
 - PARKING LOTS, LOADING AND UNLOADING AREAS SHALL BE PROHIBITED IN THE AREA BETWEEN THE FRONT BUILDING LINE AND THE STREET LINE. (8200-29B.2) (WAVES FOR BOTH LOTS)
 - SEWERLINES BETWEEN PARKING AND PRINCIPAL STRUCTURES, ALONG ALLEYS AND DRIVEWAYS AND WHEREVER PEDESTRIAN TRAFFIC SHALL OCCUR SHALL BE PROVIDED WITH A MINIMUM WIDTH OF FOUR FEET OF PASSABLE AREA AND BE RAISED SIX INCHES OR MORE ABOVE THE PARKING AREA, EXCEPT WHEN CROSSING STREETS OR DRIVEWAYS. AT POINTS OF INTERSECTION BETWEEN PEDESTRIAN AND MOTORIZED LINES OF TRAVEL AND AT OTHER POINTS WHERE NECESSARY TO AVOID AIRDROFF CHANGES IN GRADE, A SIDEWALK SHALL CROSS PERPENDICULARLY TO PROVIDE AN UNINTERRUPTED LINE OF TRAVEL. GUIDE RAILS AND WHEEL STOPS PERMANENTLY ANCHORED TO THE GROUND SHALL BE PROVIDED IN APPROPRIATE LOCATIONS. PARKED VEHICLES SHOULD NOT OVERHANG OR EXTEND OVER SIDEWALK AREAS UNLESS AN ADDITIONAL SIDEWALK WIDTH OF 2.5 FEET IS PROVIDED. (8 200-29B.1.1) (WAVES FOR WMA LOT - FLUSH CURB AND BOLLARDS PROPOSED)
 - IN BUSINESS DISTRICTS, PROVISION FOR PEDESTRIAN ACCESS BETWEEN ADJACENT COMMERCIAL LOTS SHOULD BE ENCOURAGED. (8 200-29A.6) (COMPLIES)
 - PARKING AREAS OR LOTS PROVIDING FOR MORE THAN 60 MOTOR VEHICLE SPACES SHALL, WHERE POSSIBLE, BE SUBDIVIDED INTO MODULAR PARKING BAYS OR LOTS OF NOT GREATER THAN 60 SPACES EACH. SINGLE ROW OR LINE OF SPACES WITHIN A BAY SHOULD BE NO MORE THAN 20 SPACES IN LENGTH. PARKING BAY SHOULD BE SEPARATED FROM ADJACENT DRIVEWAYS OR CIRCULATION SPACES BY TEN-FOOT-WIDE ISLANDS FOR THE FULL WIDTH OF A BAY AT THE ENDS OF ROWS. DESIGNATED HANDICAPPED PARKING SPACES SHALL BE LOCATED ON THE SHORTEST ROUTE OF TRAVEL FROM ADJACENT PARKING TO AN ACCESSIBLE ENTRANCE. EVERY EFFORT SHALL BE MADE TO PLAN AN ACCESSIBLE PATH OF TRAVEL FROM PARKING SPACES TO PRIMARY ACCESS WHICH DOES NOT CROSS VEHICULAR TRAFFIC LANES. WHEN IT IS NECESSARY TO CROSS VEHICULAR TRAFFIC LANES, THE ROUTE OF TRAFFIC SHALL BE DESIGNATED AND MARKED AS A CROSSWALK. (8200-29A.8) (COMPLIES)
 - IN OUTDOOR PARKING OR SERVICE AREAS FOR USES OPEN TO THE PUBLIC, PARKING SPACES SHALL BE DOUBLE-STRIPED BETWEEN SPACES WITH LINES 18 INCHES ON CENTER. LINES SHALL BE FOUR INCHES WIDE. SUCH AREAS SHALL BE CURBED WITH PERMANENT AND DURABLE CURBING TO CONFINE CARS TO STRIPED PARKING, WITHOUT OVERTHROW OR PROJECTION INTO ADJACENT AREAS. MARKINGS FOR DESIGNATED HANDICAPPED PARKING SPACES SHALL BE IN ACCORDANCE WITH APPLICABLE PROVISIONS OF THE AMERICANS WITH DISABILITIES ACT OF 1990. (8200-29A.4) (WAVES - BOLLARDS PROPOSED ON WMA LOT, SINGLE STRIPED PARKING SPACES PROPOSED ON BOTH LOTS)
 - FOR A TOTAL NUMBER OF PARKING SPACES BETWEEN 26 AND 50 SPACES, THERE SHALL BE TWO (2) HANDICAPPED SPACES REQUIRED. FOR A TOTAL NUMBER OF PARKING SPACES BETWEEN 51 AND 150 SPACES, THERE SHALL BE FIVE (5) HANDICAPPED SPACES REQUIRED. (8200-29A.7) (COMPLIES)
 - IN ADDITION TO THE REQUIRED FACILITIES FOR PASSENGER AUTOMOBILES, FACILITIES FOR THE SECURE AND CONVENIENT PARKING OF BICYCLES SHALL BE PROVIDED. THE NUMBER OF SUCH BICYCLE SPACES SHALL BE ONE SPACE FOR EACH 20 PARKING SPACES OR FRACTION THEREOF. PROVIDED, HOWEVER, THAT SHOULD IT BE DEMONSTRATED THAT THE PROPOSED DEVELOPMENT APPLICATION WILL GENERATE A GREATER NEED FOR BICYCLE PARKING THAN THAT PROVIDED FOR HEREIN, THE PLANNING BOARD MAY REQUIRE A REASONABLE INCREASE IN BICYCLE PARKING SPACES. BICYCLE PARKING FACILITIES SHALL BE OF SUCH TYPE AND QUANTITY AS TO ENCOURAGE AND FACILITATE THE USE OF THE BICYCLE AS A MEANS OF TRANSPORTATION BY THE EMPLOYEES AND CUSTOMERS OF THE LAND OR BUILDING. (8200-27B.2) (COMPLIES)
 - BICYCLE ACCESS SHOULD BE COMBINED WITH MOTOR VEHICLE ACCESS WHERE POSSIBLE. IN THOSE CASES WHERE BICYCLE ACCESS IS COMBINED WITH MOTOR VEHICLE ACCESS DRIVEWAYS TO THE SITE UNDER REVIEW, THE DRIVEWAY SHALL NOT BE LESS THAN 30 FEET WIDE IF TWO-WAY IN DIRECTION (8200-29A.3) (WAVES FOR BOTH LOTS)
 - PERVIOUS SURFACES SHALL BE USED FOR ALL DRIVES AND PARKING AREAS AND PERVIOUS SURFACES SHALL BE USED FOR ALL OTHER PAVED AREAS, INCLUDING SIDEWALKS, TRAILS, COURTYARDS, AND OTHER SITE AMENITIES. (8200-36.1) (WAVES FOR BOTH LOTS)
 - PARKING CALCULATION (8200-27B.1):

RETAIL BUSINESS, INDIVIDUAL:	
MINIMUM: 1 SPACE/350 SF OF GROSS FLOOR AREA	
MAXIMUM: 1 SPACE/200 SF OF GROSS FLOOR AREA	
GASOLINE SERVICE STATION: 1 SPACE/GASOLINE PUMP PLUS 1 SPACE/EMPLOYEE DURING PERIOD OF GREATEST EMPLOYMENT	
HOTEL: 1 SPACE/RENTAL ROOM PLUS 1 SPACE/TWO PERSONS EMPLOYED	

WMA FOOD MARKET AND FUELING STATION:	
(5,585 SF)*1 PARKING SPACE/350 SF	= 16 SPACES MINIMUM
(5,585 SF)*1 PARKING SPACE/200 SF	= 28 SPACES MAXIMUM
(16 GASOLINE PUMPS)*1 PARKING SPACE/GASOLINE PUMP	= 16 SPACES
(12 EMPLOYEES)*1 PARKING SPACE/EMPLOYEE	= 12 SPACES
TOTAL REQUIRED	= 44 SPACES MINIMUM
TOTAL PROPOSED	= 56 SPACES MAXIMUM
	= 50 SPACES (COMPLIES)

HATT HOUSE HOTEL:	
(120 RENTAL ROOMS)*1 PARKING SPACE/RENTAL ROOM	= 120 SPACES
(12 EMPLOYEES)*1 PARKING SPACE/2 EMPLOYEES	= 6 SPACES
TOTAL REQUIRED	= 126 SPACES
TOTAL PROPOSED	= 126 SPACES (COMPLIES)

- LOADING REQUIREMENTS
 - EACH LOADING BERTH SHALL BE AT LEAST NINE (9) FEET LONG, THIRTY-THREE (33) FEET LONG AND FOURTEEN (14) FEET HIGH. (8200-29A.2) (COMPLIES)
 - LOADING AND UNLOADING AREAS SHALL BE PROHIBITED IN THE AREA BETWEEN THE FRONT BUILDING LINE AND THE STREET LINE. (8200-29B.2) (WAVES FOR WMA LOT - LOADING ZONE PROPOSED BETWEEN WMA BUILDING AND STREET LINE)
 - A LOADING AREA NEED NOT BE NECESSARILY A FULL BERTH, BUT SHALL HAVE A MINIMUM PLAN DIMENSION OF AT LEAST TEN (10) FEET OVERHEAD CLEARANCE. THE CONSTRUCTION OFFICIAL SHALL DETERMINE THE SUFFICIENCY OF THE OFF-STREET LOADING AREA BASED UPON THE LAND AND AMOUNT OF LOADING AND UNLOADING OPERATION REQUIRED BY THE PROPOSED USE, BUT IN NO CASE SHALL THE USE OF SUCH SPACE HINDER THE FREE MOVEMENT OF VEHICLES AND PEDESTRIANS OVER A STREET, SIDEWALK OR ALLEY. (8200-29D.1) (COMPLIES)
 - UNOBSTRUCTED ACCESS, AT LEAST 10 FEET WIDE, TO AND FROM A STREET SHALL BE PROVIDED FOR LOADING AREAS. SUCH ACCESS MAY BE COMBINED WITH ACCESS TO A PARKING LOT, ALL PERMITTED OR REQUIRED LOADING AREAS OR BERTHS SHALL BE ON THE SAME LOT AS THE USE TO WHICH THEY ARE ACCESSORY. NO ENTRANCE OR EXIT FOR ANY LOADING AREA OR BERTH SHALL BE LOCATED WITHIN 50 FEET OF ANY STREET INTERSECTION. NO OFF-STREET LOADING BERTH OR AREA SHALL BE LOCATED IN ANY FRONT YARD. (8200-29D.1) (COMPLIES)
 - ALL AREAS FOR THE STORAGE OF VEHICLES AND FOR THE SERVICING OF ESTABLISHMENTS OR SHOPS SHALL HAVE ADEQUATE AND UNOBSTRUCTED ACCESS FROM A STREET, SERVICE DRIVEWAY OR ALLEY AND SHALL BE SO ARRANGED THAT THEY WILL BE USED WITHOUT BLOCKING OR OTHERWISE INTERFERING WITH THE USE OF AUTOMOBILE ACCESSWAYS, PARKING FACILITIES, FIRE LANES OR SIDEWALKS. (8200-29P.2) (COMPLIES)
 - LOADING CALCULATION:

- DRIVEWAY REQUIREMENTS
 - ALL ENTRANCE AND EXIT DRIVEWAYS SHALL BE LOCATED TO AFFORD MAXIMUM SAFETY TO TRAFFIC, PROVIDE FOR SAFE AND CONVENIENT INGRESS AND EGRESS TO AND FROM THE SITE AND TO MINIMIZE CONFLICT WITH THE FLOW OF TRAFFIC. (8200-29A.10A) (COMPLIES)
 - WHERE A SITE OCCUPIES A CORNER OF TWO INTERSECTING ROADS, NO ENTRANCE OR EXIT SHALL BE LOCATED WITHIN FIFTY (50) FEET OF THE POINT OF TANGENCY OF THE EXISTING OR PROPOSED CURB RADIIUS OF THAT SITE. (8200-29A.11C) (COMPLIES)
 - NO PART OF ANY DRIVEWAY SHALL BE LOCATED WITHIN A MINIMUM OF TEN (10) FEET OF A SIDE PROPERTY LINE. (8200-29A.11D) (WAVES FOR WMA LOT - 0 FEET TO HOTEL)
 - WHERE TWO OR MORE DRIVEWAYS CONNECT A SINGLE SITE TO ANY ONE ROAD, A MINIMUM CLEAR DISTANCE OF TWO-HUNDRED (200) FEET MEASURED ALONG THE RIGHT-OF-WAY LINE SHALL SEPARATE THE CLOSEST EDGES OF ANY TWO SUCH DRIVEWAYS, WHERE SUCH DEVELOPMENT FRONTS ON AN ARTERIAL STREET. ACCESS TO PARKING AND SERVICE AREAS, WHERE PRACTICABLE, SHALL BE PROVIDED BY A SINGLE ACCESS TO THE ARTERIAL STREET. (8200-29A.11F) (WAVES FOR HOTEL LOT)
 - WHERE A DEVELOPMENT FRONTS ON A PRINCIPAL, MAJOR OR MINOR ARTERIAL OR A MAJOR COLLECTOR, A COMBINED ONE POINT OF ACCESS AND EGRESS TO PARKING AND SERVICE AREAS SHALL BE PROVIDED EXCEPT WHERE LARGE FRONTAGES (1,000 FEET OR LARGER) ARE INVOLVED. IN THOSE INSTANCES WHERE TWO OR MORE DRIVEWAYS CONNECT A SINGLE SITE TO ANY ONE ROAD, A MINIMUM CLEAR DISTANCE OF 300 FEET MEASURED ALONG THE RIGHT-OF-WAY LINE SHALL SEPARATE THE CLOSEST EDGES OF ANY TWO SUCH DRIVEWAYS. (8200-29A.11G) (COMPLIES)
 - DRIVEWAYS USED FOR TWO-WAY OPERATION SHALL INTERSECT THE ROAD AT AN ANGLE TO AS NEAR 90° AS SITE CONDITIONS WILL PERMIT AND IN NO CASE WILL BE LESS THAN 60°. (8200-29A.11A) (COMPLIES)
 - TWO-WAY OPERATION DRIVEWAYS FOR COMMERCIAL AND INDUSTRIAL USES SHALL BE AT LEAST 24 FEET IN WIDTH. ALL DRIVEWAYS SHALL BE FIVE FEET WIDER AT THE

GENERAL NOTES, CONT'D

- CURBLINE, AND THIS ADDITIONAL WIDTH SHALL BE MAINTAINED FOR A DISTANCE OF 20 FEET INTO THE SITE. (8200-29A.3) (COMPLIES)
- THE WIDTH OF ALL ALLEYS PROVIDING DIRECT ACCESS TO PERPENDICULAR PARKING STALLS SHALL BE A MINIMUM OF TWENTY-FOUR (24) FEET FOR ONE-WAY AND TWO-WAY OPERATION. (8200-29A.1) (COMPLIES)
- WHERE ACCESS TO A PARKING AREA OF 100 OR MORE SPACES IS PROPOSED, ACCELERATION AND/OR DECELERATION LINES SHALL BE PROVIDED IN ACCORDANCE WITH DESIGN CRITERIA ESTABLISHED BY THE AMERICAN ASSOCIATION OF STATE HIGHWAY AND TRANSPORTATION OFFICIALS STANDARDS MANUALS. (8200-29A.3) (WAVES FOR HOTEL LOT)
- BUFFER REQUIREMENTS
 - SO AS TO OBSTRUCT FROM VIEW AT THE STREET LINE ANY PARKING AREA IN THE FRONT YARD, THE FRONT YARD AREA NOT CONTAINING PARKING SHALL CONTAIN A LANDSCAPE STRIP OR SCREEN. (8200-228.B.1) (COMPLIES)
 - ANY PARKING AREA WITH FIFTY (50) OR MORE SPACES SHALL PROVIDE AT LEAST SIX (6) INCHES OF ITS AREA IN LANDSCAPING. (8200-228.B.2) (WAVANCE FOR WMA LOT)
 - ANY ARTICLE OR MATERIAL STORED OUTSIDE AN ENCLOSED BUILDING AS AN INCIDENTAL PART OF THE PRIMARY OPERATION ON A LOT SHALL BE SCREENED BY FENCING, WALLS OR EVERGREEN PLANTINGS SO IT CANNOT BE SEEN FROM ADJACENT PUBLIC STREETS OR ADJACENT LOTS WHEN VIEWED BY A PERSON STANDING ON THE GROUND LEVEL. (8200-228.D) (COMPLIES)
 - OTHER PROVISIONS OF THIS PART 4 NOTWITHSTANDING, IN ANY NONRESIDENTIAL DISTRICT, THE ENTIRE LOT, EXCEPT FOR AREAS COVERED BY BUILDINGS OR SURFACED AS PARKING, RECREATION OR SERVICE AREAS, SHALL BE SETBACK, SCREENED OR PLANTED WITH GROUND COVER AND ACCOMPANIED WITH AN OVERALL LANDSCAPE PLAN CONSISTENT WITH THE NATURAL SURROUNDINGS. ALL LANDSCAPING SHALL BE PROPERLY MAINTAINED THROUGHOUT THE LIFE OF AN USE ON SAID LOT. EXISTING TREES OR LANDSCAPING LOCATED WITHIN 20 FEET OF ANY STREET LINE, LOT OR ZONING DISTRICT LINE SHALL NOT BE REMOVED, EXCEPT UPON WRITTEN APPROVAL BY THE PLANNING BOARD, NOR SHALL THE EXISTING SPACE WITHIN THAT SPACE BE DISTURBED WITHOUT SUCH APPROVAL. (8200-228.A) (WAVANCE FOR BOTH LOTS)
 - LANDSCAPING BUFFERED AREAS PROVIDED TO MINIMIZE AND SCREEN ANY ADVERSE IMPACTS OR nuisances ON A SITE OR FROM ANY ADJACENT AREA INCLUDED WITHIN ANY LANDSCAPE BUFFER AREA SHALL BE A LANDSCAPE STRIP CONSISTING OF TREES, CONIFERS, SHRUBS, BERMS AND, IF APPROPRIATE, FENCES OR WALLS AND PROVIDING A COMPLETELY PLANTED VISUAL BARRIER IN AREAS OF LESS THAN 25 FEET WIDTH, THE PROVISIONS OF THE WINDBREAK/HEAVY BUFFER REQUIREMENTS SHALL FOLLOWED. LANDSCAPE BUFFERS SHALL BE PROVIDED AS REQUIRED BY ORDINANCE AND IN THE FOLLOWING AREAS: (8200-91P.6) (WAVES FOR BOTH LOTS)
 - FILTERED SCREENING SHALL BE REQUIRED AROUND THE PERIMETER OF PARKING AREAS AND WHERE INTERIOR ROADS RUN PARALLEL WITH OTHER ROADS, PARKING AREAS OR THE PERIMETER OF A SITE IN ORDER TO SCREEN UNSAFE OBSTRUCTIONS AND AVOID CONFLICTS. THE FOLLOWING STANDARDS SHALL APPLY:
 - PROVIDE LANDSCAPE BUFFER AREA OF 25 FEET IN WIDTH OR AS PER THE REQUIREMENTS FOR FRONT YARDS IN PART 4, ZONING, OF THIS CHAPTER, WHICHEVER IS GREATER. (8200-91P.6.C.1.A) (WAVES FOR BOTH LOTS)
 - PRESERVE EXISTING TREES AND SHRUBS. IF AN EXISTING VEGETATION IS INSUFFICIENT, THE LANDSCAPE STRIP SHALL BE SUPPLEMENTED WITH NEW UNDERSTORY PLANTINGS OF SHADE-TOLERANT CONIFEROUS AND ORNAMENTAL TREES IN NATURALISTIC GROUPINGS. (8200-91P.6.C.1.B) (COMPLIES)
 - IN AREAS VOID OF EXISTING VEGETATION, THE FOLLOWING STANDARDS SHALL APPLY: (8200-91P.6.C.2)
 - PROVIDE GENTLE BERMING WITH MASSES AND GROUPINGS OF EVERGREEN, SHADE AND ORNAMENTAL TREES AND SHRUBS. THE PLANTING MAY BE PREDOMINANTLY MIXED VARIETIES OF TREES AND SHRUBS. PARKED CARS SHALL BE SCREENED FROM ALL VEHICULAR AND PEDESTRIAN VIEWS. SHRUBS USED TO SCREEN HEADLIGHT GLARE SHALL BE SPACED A MINIMUM OF TWO FEET ON CENTER AS A DOUBLE ROW. (8200-91P.6.C.2.A) (WAVES FOR BOTH LOTS)
 - THE LANDSCAPE STRIP SHALL PROVIDE SHADE FOR PARKING AREAS AND EVERGREEN AND ORNAMENTAL TREES TO SCREEN NUISANCES AND EMPHASIZE APPROPRIATE VIEWS. (8200-91P.6.C.2.B) (COMPLIES)
 - IF A TWENTY-FOOT LANDSCAPE STRIP (8200-91A.3) (COMPLIES) IS PROVIDED, A ROW OF EVERGREEN TREES OR A COMBINATION OF A LOW WALL AND BERM WITH PLANTING MAY BE REQUIRED. (8200-91P.6.C.2.D) (COMPLIES)
 - WINDBREAK SCREENING SHALL BE REQUIRED WHERE NECESSARY TO PROVIDE WINDBREAK OR TO STOP WINDBORNE DEBRIS FROM LEAVING A SITE. THIS TYPE OF SCREENING MAY ALSO BE REQUIRED IN UNSHEDDED BUFFER AREAS OR AROUND OUTDOOR STORAGE FACILITIES. THE FOLLOWING STANDARDS SHALL APPLY: (8200-91P.6.D)
 - PROVIDE A LANDSCAPE STRIP CONSISTING OF A DOUBLE STAGGERED ROW OF EVERGREEN TREES OF SIX FEET TO EIGHT FEET HEIGHT SPACED EIGHT FEET ON CENTER. (8200-91P.6.D.1) (WAVES FOR BOTH LOTS)
 - IF A LANDSCAPE BUFFER AREA IS LESS THAN 10 FEET WIDE OR WINDBORNE DEBRIS IS PRODUCED, THEN A FENCE MAY BE REQUIRED IN ADDITION TO PLANTING. (8200-91P.6.D.2) (NOT APPLICABLE)
 - ALL OUTDOOR STORAGE FACILITIES SHALL BE SCREENED WITH A LANDSCAPE STRIP. IF THE STRIP IS LESS THAN 10 FEET WIDE, A FENCE SHALL BE REQUIRED. (8200-91P.6.D.3) (COMPLIES)
 - IF A FENCE IS REQUIRED, IT SHALL BE SIX FEET HIGH AND OF A DESIGN CONSISTENT WITH THE ARCHITECTURE OF THE PRINCIPAL BUILDING. PLANTING SHALL BE INCLUDED IN ANY FENCING PLAN. (8200-91P.6.D.4) (NOT APPLICABLE)
 - TREES WITHIN THE PARKING AREAS SHALL BE PROVIDED AT A MINIMUM RATE OF TWO TREES PER 10 PARKING SPACES. PRESERVATION OR RELOCATION OF EXISTING TREES GREATER THAN FIVE INCHES IN CALIBER IS ENCOURAGED TO MEET THIS REQUIREMENT. LANDSCAPE BUFFER OR PARKING AREA PERIMETER PLANTINGS DO NOT SATISFY THIS REQUIREMENT. (8200-91P.7.C) (WAVES FOR BOTH LOTS)
 - ANY PARKING AREA IN A FRONT YARD OR WITHIN CLEAR VIEW FROM THE PUBLIC RIGHT-OF-WAY SHALL BE SCREENED FROM VIEW BY A LANDSCAPE BUFFER AREA. (8200-91P.7.D) (WAVE COMPLIES)
 - PARKING AREAS SHALL BE SCREENED FROM INTERIOR DRIVES USING EVERGREEN, DECIDUOUS AND FLOWERING TREES AND SHRUBS TO CREATE A CONTINUOUS LANDSCAPE STRIP OF 10 FEET MINIMUM WIDTH. CONSIDER INTEGRATION OF PEDESTRIAN WALKWAYS WITH THESE STRIPS. (8200-91P.7.E) (WAVES FOR BOTH LOTS - 0 FOOT BUFFER BETWEEN LOTS)

- LIGHTING REQUIREMENTS
 - THE FOLLOWING INTENSITY IN FOOT-CANDELES SHALL BE PROVIDED:
 - PARKING LOTS: AN AVERAGE OF 0.5 FOOT-CANDELES THROUGHOUT. (8200-31A.1) (WAVES FOR BOTH LOTS)
 - INTERSECTIONS: 1.0 FOOT-CANDELES. (8200-31A.2) (WAVES FOR BOTH LOTS)
 - MAXIMUM AT PROPERTY LINES: 1.0 FOOT-CANDELES. (8200-31A.3) (COMPLIES)
 - IN RESIDENTIAL AREAS: AN AVERAGE OF 0.6 FOOT-CANDELES. (8200-31A.4) (NOT APPLICABLE)

- THE APPLICANT REQUESTS ANY AND ALL SUBMISSION WAIVERS THAT ARE NOT SPECIFICALLY IDENTIFIED HEREIN. TESTIMONY WILL BE SUPPLIED AT THE PUBLIC HEARING TO SUPPORT ANY SUBMISSION WAIVER.
- PRIOR TO STARTING CONSTRUCTION, THE CONTRACTOR SHALL BE RESPONSIBLE TO MAKE SURE THAT ALL REQUIRED PERMITS AND APPROVALS HAVE BEEN OBTAINED, NO CONSTRUCTION OR FABRICATION SHALL BEGIN UNTIL THE CONTRACTOR HAS RECEIVED AND THOROUGHLY REVIEWED ALL PLANS AND OTHER DOCUMENTS BY ALL OF THE PERMITTING AUTHORITIES.
- ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THESE PLANS AND SPECIFICATIONS AND THE REQUIREMENTS AND STANDARDS OF THE LOCAL GOVERNING AUTHORITY.
- THE SOILS REPORT AND RECOMMENDATIONS SET FORTH THEREIN ARE A PART OF THE REQUIRED CONSTRUCTION DOCUMENTS AND IN CASE OF CONFLICT SHALL TAKE PRECEDENCE UNLESS SPECIFICALLY NOTED OTHERWISE ON THE PLANS. THE CONTRACTOR SHALL NOTIFY THE GENERAL CONSTRUCTION MANAGER OF ANY DISCREPANCY BETWEEN SOILS REPORT & PLANS.
- THE CONTRACTOR SHALL INCLUDE THE LOCATION AND REMOVAL OF ALL UNDERGROUND TANKS, PIPES, VALVES, ETC.
- THE PROPERTY SURVEY SHALL BE CONSIDERED A PART OF THESE PLANS.
- ALL DIMENSIONS SHOWN ON THE PLANS SHALL BE FIELD VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION. CONTRACTOR SHALL NOTIFY ENGINEER IF ANY DISCREPANCIES EXIST PRIOR TO PROCEEDING WITH CONSTRUCTION FOR NECESSARY PLAN CORRECTIONS. NO EXTRA COMPENSATION SHALL BE PAID TO THE CONTRACTOR FOR WORK HAVING TO BE REDONE DUE TO DIMENSIONS OR GRADES SHOWN INDIRECTLY ON THESE PLANS IF SUCH NOTIFICATION HAS NOT BEEN GIVEN.
- SOILS SHALL BE TESTED IN ACCORDANCE WITH ALL LOCAL, STATE AND FEDERAL REGULATIONS.
- ALL EXCAVATED UNSUITABLE MATERIAL MUST BE TRANSPORTED TO AN APPROVED DISPOSAL LOCATION.
- CONTRACTOR IS RESPONSIBLE FOR ALL SHORING REQUIRED DURING EXCAVATION AND SHALL BE PERFORMED IN ACCORDANCE WITH CURRENT OSHA STANDARDS, AS WELL AS ADDITIONAL PROVISIONS TO ASSURE STABILITY OF CONTIGUOUS STRUCTURES, AS FIELD CONDITIONS DICTATE.
- ALL CONTRACTORS MUST CARRY STATUTORY WORKERS COMPENSATION, EMPLOYERS LIABILITY INSURANCE AND APPROPRIATE LIMITS OF COMMERCIAL GENERAL LIABILITY INSURANCE (CGL). ALL CONTRACTORS MUST HAVE CO. POLICIES ENDORSED TO NAME DYNAMIC ENGINEERING CONSULTANTS, P.C., ITS SUBCONSULTANTS AS ADDITIONAL INSURED AND TO PROVIDE CONTRACTUAL LIABILITY COVERAGE SUFFICIENT TO INSURE THE HOLD HARMLESS AND INDEMNITY OBLIGATIONS ASSUMED BY THE CONTRACTORS. ALL CONTRACTORS MUST FURNISH DYNAMIC ENGINEERING CONSULTANTS, P.C. WITH CERTIFICATES OF INSURANCE AS EVIDENCE OF THE REQUIRED INSURANCE PRIOR TO COMMENCING WORK AND UPON RENEWAL OF EACH POLICY DURING THE ENTIRE PERIOD OF CONSTRUCTION. IN ADDITION, ALL CONTRACTORS WILL, TO THE FULLEST EXTENT PERMITTED BY LAW, INDEMNIFY AND HOLD HARMLESS DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS SUBCONSULTANTS FROM AND AGAINST ANY DAMAGES, LIABILITIES OR COSTS, INCLUDING REASONABLE ATTORNEY'S FEES AND DEFENSE COSTS, ARISING OUT OF OR IN ANY MANNER CONNECTED WITH THE PROJECT, INCLUDING ALL CLAIMS BY EMPLOYEES OF THE CONTRACTORS.
- NEITHER THE PROFESSIONAL ACTIVITIES OF DYNAMIC ENGINEERING CONSULTANTS, P.C., NOR THE PRESENCE OF DYNAMIC ENGINEERING CONSULTANTS, P.C. OR ITS EMPLOYEES AND SUBCONSULTANTS AT A CONSTRUCTION PROJECT SITE, SHALL RELIEVE THE GENERAL CONTRACTOR OF ITS OBLIGATIONS, DUTIES AND RESPONSIBILITIES INCLUDING, BUT NOT LIMITED TO, CONSTRUCTION MEANS, METHODS, SEQUENCE, TECHNIQUES OR PROCEDURES NECESSARY FOR PERFORMING, SUPERINTENDING AND COORDINATING THE WORK IN ACCORDANCE WITH THE CONTRACT DOCUMENTS AND ANY HEALTH OR SAFETY PRECAUTIONS REQUIRED BY ANY REGULATORY AGENCIES. DYNAMIC ENGINEERING CONSULTANTS, P.C. AND ITS PERSONNEL HAVE NO AUTHORITY TO EXERCISE ANY CONTROL OVER ANY CONSTRUCTION CONTRACTOR OR ITS EMPLOYEES IN CONNECTION WITH THEIR WORK OR ANY HEALTH OR SAFETY PROGRAMS OR PROCEDURES. THE GENERAL CONTRACTOR SHALL BE SOLELY RESPONSIBLE FOR JOBSITE SAFETY. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL BE INDEMNIFIED BY THE GENERAL CONTRACTOR AND SHALL BE MADE ADDITIONAL INSURED UNDER THE GENERAL CONTRACTOR'S POLICIES OF GENERAL LIABILITY INSURANCE.
- DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL REVIEW AND APPROVE OR TAKE OTHER APPROPRIATE ACTION ON THE CONTRACTOR SUBMITTALS, SUCH AS SHOP DRAWINGS, PRODUCT DATA, SAMPLES AND OTHER DATA, WHICH THE CONTRACTOR IS REQUIRED TO SUBMIT, BUT ONLY FOR THE LIMITED PURPOSE OF CHECKING FOR CONFORMANCE WITH THE DESIGN CONCEPT AND THE INFORMATION SHOWN IN THE CONSTRUCTION MEANS OR METHODS, COORDINATION OF THE WORK WITH OTHER TRADES OR CONSTRUCTION SAFETY PRECAUTIONS. ALL OF WHICH ARE THE SOLE RESPONSIBILITY OF THE CONTRACTOR. DYNAMIC ENGINEERING'S REVIEW SHALL BE CONDUCTED WITH REASONABLE PROMPTNESS WHILE ALLOWING SUFFICIENT TIME TO PERMIT ADEQUATE REVIEW. REVIEW OF A SPECIFIC ITEM SHALL NOT INDICATE THAT DYNAMIC ENGINEERING CONSULTANTS, P.C. HAS REVIEWED THE DOCUMENTS NOT BROUGHT TO THE ATTENTION OF DYNAMIC ENGINEERING CONSULTANTS, P.C. IN WRITING BY THE CONTRACTOR. DYNAMIC ENGINEERING CONSULTANTS, P.C. SHALL NOT BE REQUIRED TO REVIEW PARTIAL SUBMISSIONS OR THOSE FOR WHICH SUBMISSIONS OF CORRELATED ITEMS HAVE NOT BEEN RECEIVED.
- IN AN EFFORT TO RESOLVE ANY CONFLICTS THAT ARISE DURING THE DESIGN AND CONSTRUCTION OF THE PROJECT OR FOLLOWING THE COMPLETION OF THE PROJECT, DYNAMIC ENGINEERING CONSULTANTS, P.C. AND THE CONTRACTOR MUST AGREE THAT ALL DISPUTES BETWEEN THEM ARISING OUT OF OR RELATING TO THIS AGREEMENT OR THE PROJECT SHALL BE SUBMITTED TO NONBINDING MEDIATION UNLESS THE PARTIES MUTUALLY AGREE OTHERWISE.
- THE CONTRACTOR MUST INCLUDE A MEDIATION PROVISION IN ALL AGREEMENTS WITH INDEPENDENT SUBCONTRACTORS AND CONSULTANTS RETAINED FOR THE PROJECT AND TO REQUIRE ALL INDEPENDENT CONTRACTORS AND CONSULTANTS ALSO TO INCLUDE A SIMILAR MEDIATION PROVISION IN ALL AGREEMENTS WITH THEIR SUBCONTRACTORS, SUBCONSULTANTS, SUPPLIERS AND FABRICATORS, THEREBY PROVIDING FOR MEDIATION AS THE PRIMARY METHOD FOR DISPUTE RESOLUTION BETWEEN THE PARTIES TO ALL THOSE AGREEMENTS.
- IF THE CONTRACTOR DEVIATES FROM THE PLANS AND SPECIFICATIONS, INCLUDING THE NOTES CONTAINED THEREON, WITHOUT FIRST OBTAINING PRIOR WRITTEN AUTHORIZATION FOR SUCH DEVIATIONS FROM THE OWNER AND ENGINEER, IT SHALL BE RESPONSIBLE FOR THE PAYMENT OF ALL COSTS TO CORRECT ANY WORK DONE, ALL FINES OR PENALTIES ASSESSED WITH RESPECT THERETO AND ALL COMPENSATORY OR PUNITIVE DAMAGES RESULTING THEREFROM AND IT SHALL INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ALL SUCH COSTS TO CONNECT ANY SUCH WORK AND FROM ALL SUCH FINES AND PENALTIES, COMPENSATION AND PUNITIVE DAMAGES AND COSTS OF ANY NATURE RESULTING THEREFROM.
- ALL TRAFFIC SIGNS AND STRIPING SHALL FOLLOW THE REQUIREMENTS SPECIFIED IN THE MANUAL ON "TRAFFIC CONTROL DEVICES FOR STREETS AND HIGHWAYS" PUBLISHED BY THE FEDERAL HIGHWAY ADMINISTRATION.
- THE BUILDING SETBACKS ILLUSTRATED AND LISTED ON THE SITE PLAN DRAWINGS ARE MEASURED FROM THE OUTSIDE SURFACE OF BUILDING WALLS. THESE SETBACK DIMENSIONS DO NOT ACCOUNT FOR ROOF OVERHANGS, ORNAMENTAL ELEMENTS, SIGNAGE OR OTHER EXTERIOR EXTENSIONS UNLESS SPECIFICALLY NOTED.
- CONTRACTOR ACKNOWLEDGES HE HAS READ AND UNDERSTOOD THE DESIGN PHASE SOIL PERMEABILITY AND GROUNDWATER TEST RESULTS IN THE STORMWATER MANAGEMENT REPORT AND THAT THE CONTRACTOR'S RESPONSIBILITIES INCLUDE NECESSARY PROVISIONS TO ACHIEVE THE DESIGN PERMEABILITY IN THE FIELD.
- CONTRACTOR TO BE ADVISED THAT THE ENGINEER HAS NOT PROVIDED WITH FINAL FLOOR PLAN DRAWINGS FOR THE BUILDING AT THE TIME OF SITE PLAN DESIGN. AS A RESULT, ENTRANCE DOOR LOCATIONS AS DEPICTED HEREON MAY NOT BE FINAL AND MUST BE CONFIRMED WITH THE ARCHITECTURAL PLANS PRIOR TO CONSTRUCTION. THE HANDICAP ACCESSIBLE PARKING SPACES AND THE ASSOCIATED RAMPS AND ACCESSIBLE ROUTE MUST COMPLY WITH NAC 523-7 AND THE HANDICAP PARKING SPACES MUST BE LOCATED AS THE NEAREST SPACE TO THE ENTRANCE. CONTRACTOR TO NOTIFY OWNER AND ENGINEER IMMEDIATELY OF ANY DISCREPANCY PRIOR TO CONSTRUCTION.

ADA NOTES

- ALL SLOPES INDICATED ARE ACTUAL. CONTRACTOR TO REFER TO LATEST ADA GUIDELINES AND NJ BARRIER FREE SUBCODE (NAC 523-7) FOR SLOPE LIMITS. AT THE TIME OF PLAN DESIGN, THE SLOPE LIMITS ARE AS FOLLOWS:
- SIDEWALKS/ACCESSIBLE ROUTES
 - RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. 1.0% MIN. (1.5% MAX. FOR NEW CONSTRUCTION)
 - INTERSECTION SLOPE: 1:48 (2.08%) MAX. IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 2" MAX. HEIGHT WITH BEVELED EDGE BEVELED EDGE SLOPE OF 1:2 (50%) MAX. CAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL

- CURB RAMP
 - SLOPE 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - SIDE FLARE SLOPE: 1:10 (10%) MAX. (WHERE PEDS CROSS RAMP)
 - BOTTOM LANDING: 48" MIN. LENGTH; WIDTH TO MATCH CURBS RAMP: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)
 - TOP LANDING: 36" MIN. LENGTH; WIDTH TO MATCH CURBS RAMP: 1:48 MAX. (2.08%) CROSS SLOPE (1.5% MAX. FOR NEW CONSTRUCTION) AND 1:20 (5%) RUNNING SLOPE (4.5% MAX. FOR NEW CONSTRUCTION)

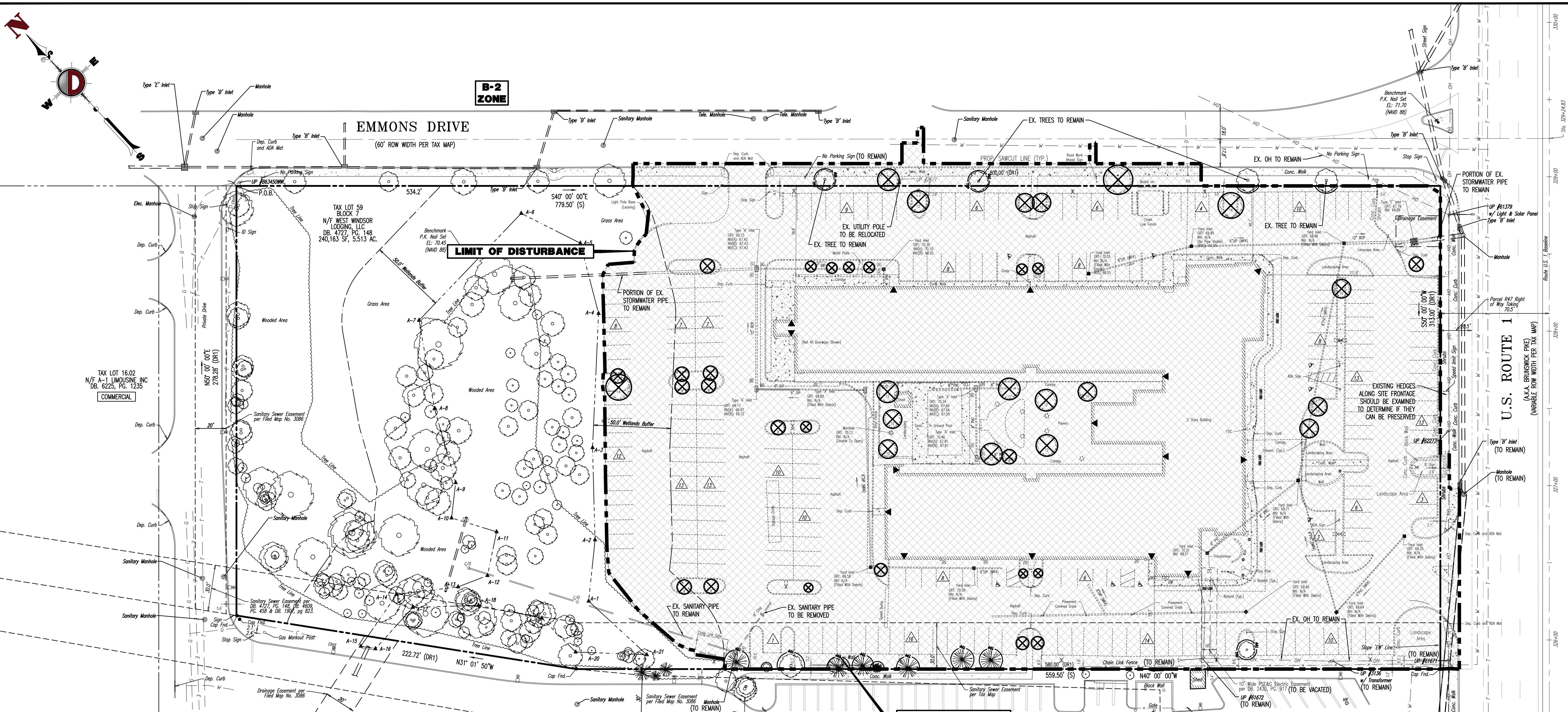
- ACCESSIBILITY PARKING STALLS
 - SPACE AND ACCESS AISLE SLOPE: 1:48 MAX. (2.08%) IN ALL DIRECTIONS (1.5% MAX. FOR NEW CONSTRUCTION)

- CROSSWALKS
 - RUNNING SLOPE: 1:20 (5%) MAX. (4.5% MAX. FOR NEW CONSTRUCTION)
 - CROSS SLOPE: 1:48 (2.08%) MAX. (1.5% MAX. FOR NEW CONSTRUCTION)
 - CHANGE IN LEVELS: 1/4" MAX. HEIGHT OR 2" MAX. HEIGHT WITH BEVELED EDGE. BEVELED EDGE SLOPE OF 1:2 (50%) MAX.
 - GAPS: 1/2" MAX. WIDTH ELONGATED OPENINGS SHALL BE PLACED SO LONG DIMENSION IS PERPENDICULAR TO PATH OF TRAVEL

- RAMPS
 - SLOPE: 1:12 (8.33%) MAX. (7.4% MAX. FOR NEW CONSTRUCTION)
 - EXISTING RAMPS: SLOPE: 1:10 (10%) MAX. FOR RISE OF 6"; 1:8 (12.5%) MAX. FOR MAX. RISE OF 3"
 - MAX. RISE: 30"
 - MIN. CLEAR WIDTH: 36"
 - MIN. LANDING CLEAR LENGTH: 60"
 - MAX. CROSS SLOPE: 1:48 (2.08%) (1.5% MAX. FOR NEW CONSTRUCTION)

SIGNAGE TABLE

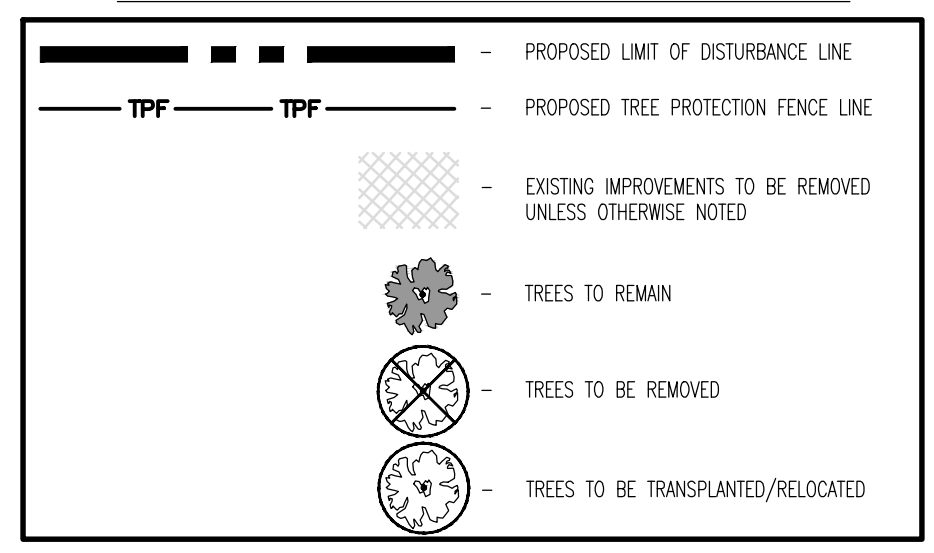
SIGN	REQUIREMENTS	PROPOSED (WMA)	PROPOSED (HOTEL)
FREESTANDING (GROUND MOUNTED)	NUMBER OF SIGNS:	* ONE (1)	NUMBER OF SIGNS: ONE (1) (W)
	MAXIMUM SIGN AREA:	48 SF	88.63 SF (W)
	MAXIMUM SIGN HEIGHT:	9 FT	SIGN AREA: N/A
	MINIMUM SIGN SETBACK:	N/S	SIGN SETBACK: 12.0 FT
MONUMENT	NUMBER OF SIGNS:	ONE (1)	NUMBER OF SIGNS: ONE (1)
	MAXIMUM SIGN AREA:	48 SF	49.87 SF (W)
	MAXIMUM SIGN HEIGHT:	4 FT	7.83 FT (W)
	MINIMUM SIGN SETBACK:	N/S	SIGN SETBACK: 12.6 FT
BUILDING MOUNTED (WALL)	NUMBER OF FACADE SIGNS:	ONE (1)	NUMBER OF SIGNS: TWO (2) (W)
	MAXIMUM FACADE SIGN AREA:	** 50 SF	SIGN AREA: N/A
			EAST FACADE: N/A
			44 IN "WMA" SIGN: 67.7 SF
			WEST FACADE: N/A
			32 IN "WMA" SIGN: 36.9 SF
			4 FT "HATT" SIGN: 124.92 SF
			4 FT "HATT" SIGN: 124.92 SF
			TOTAL FACADE SIGN AREA: 249.84 SF (M)
			104.6 SF (W)
			TOTAL FACADE SIGN AREA: 48 IN (W)
			LETTER HEIGHT: N/A
			PROJECTION: 3.5 IN
			MAX. LETTER HEIGHT: 18 IN
			MAX. PROJECTION: 6 IN
SPANNER (SERVICE STATION)	NUMBER OF SPANNER SIGNS:	N/S	



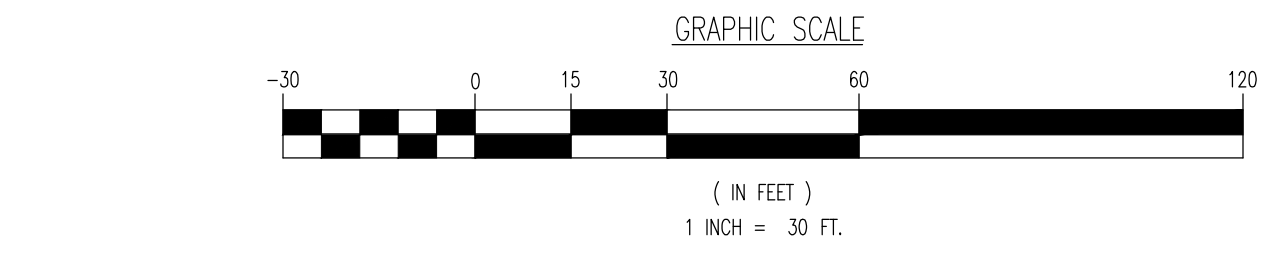
DEMOLITION NOTES

1. ALL DEMOLITION ACTIVITIES ARE TO BE PERFORMED IN STRICT ADHERENCE TO ALL FEDERAL, STATE AND LOCAL REGULATIONS.
2. PROCEED WITH DEMOLITION IN A SYSTEMATIC MANNER, FROM THE TOP OF THE STRUCTURE(S) TO THE GROUND.
3. COMPLETE DEMOLITION WORK ABOVE EACH FLOOR OR TIER BEFORE DISTURBING ANY OF THE SUPPORTING MEMBERS OF THE LOWER LEVELS.
4. DEMOLISH CONCRETE AND MASONRY IN SMALL SECTIONS.
5. REMOVE STRUCTURAL FRAMING MEMBERS AND LOWER THEM TO THE GROUND BY MEANS OF HOISTS, DERRICKS OR OTHER SUITABLE METHODS.
6. BREAK UP CONCRETE SLABS-ON-GRADE, UNLESS OTHERWISE DIRECTED BY OWNER.
7. LOCATE DEMOLITION EQUIPMENT THROUGHOUT THE STRUCTURE AND REMOVE MATERIALS SO AS TO NOT IMPOSE EXCESSIVE LOADS ON SUPPORTING WALLS, FLOORS, OR FRAMING.
8. PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING AND SUPPORTS TO PREVENT MOVEMENT, SETTLEMENT OR COLLAPSE OF STRUCTURES TO BE DEMOLISHED (AND ADJACENT FACILITIES, IF APPLICABLE).
9. DEMOLISH AND REMOVE ALL FOUNDATION WALLS, FOOTINGS AND OTHER MATERIALS WITHIN THE AREA OF THE DESIGNATED FUTURE BUILDING. ALL OTHER FOUNDATION SYSTEMS, INCLUDING SEGMENTS, SHALL BE DEMOLISHED TO A DEPTH OF NOT LESS THAN ONE FOOT BELOW PROPOSED PAVEMENT OR BREAK BASEMENT FLOOR SLABS. SEAL ALL OPEN UTILITY LINES WITH CONCRETE. CONTRACTOR TO REVIEW STRUCTURE PRIOR TO DEMOLITION TO DETERMINE IF BASEMENT, CRAWL SPACE OR ANY SUB-STRUCTURE EXISTS. ANY SUB-STRUCTURE, INCLUDING BASEMENTS SHALL BE REMOVED IN ITS ENTIRETY OR AS DIRECTED BY OWNER.
10. ERECT AND MAINTAIN COVERED PASSAGEWAYS IN ORDER TO PROVIDE SAFE PASSAGE FOR PERSONS AROUND THE AREA OF DEMOLITION. CONDUCT ALL DEMOLITION OPERATIONS IN A MANNER THAT WILL PREVENT DAMAGE AND PERSONAL INJURY TO STRUCTURES, ADJACENT BUILDINGS AND ALL PERSONS.
11. REFRAIN FROM USING ANY EXPLOSIVES WITHOUT PRIOR WRITTEN CONSENT OF OWNER AND APPLICABLE GOVERNMENTAL AUTHORITIES.
12. CONDUCT DEMOLITION SERVICES IN SUCH A MANNER TO ENSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT FACILITIES. DO NOT CLOSE OR OBSTRUCT STREETS, WALKS, OR OTHER OCCUPIED FACILITIES WITHOUT PRIOR WRITTEN PERMISSION OF OWNER AND ANY APPLICABLE GOVERNMENTAL AUTHORITIES. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS, IF REQUIRED BY APPLICABLE GOVERNMENTAL REGULATIONS.
13. USE WATERING, TEMPORARY ENCLOSURES AND OTHER SUITABLE METHODS, AS NECESSARY TO LIMIT THE AMOUNT OF DUST AND DIRT RISING AND SCATTERING IN THE AIR. CLEAN ADJACENT STRUCTURES AND IMPROVEMENTS OF ALL DUST AND DEBRIS CAUSED BY THE DEMOLITION OPERATIONS. RETURN ALL ADJACENT AREAS TO THE CONDITIONS EXISTING PRIOR TO THE START OF WORK.
14. ACCOMPLISH AND PERFORM THE DEMOLITION IN SUCH A MANNER AS TO PREVENT THE UNAUTHORIZED ENTRY OF PERSONS AT ANY TIME.
15. COMPLETELY FILL BELOW GRADE AREAS AND VOIDS RESULTING FROM THE DEMOLITION OF STRUCTURES AND FOUNDATIONS WITH SOIL MATERIALS IN ACCORDANCE WITH THE GEOTECHNICAL REPORT, CONSISTING OF STONE, GRAVEL AND SAND, FREE FROM DEBRIS, TRASH, FROZEN MATERIALS, ROOTS AND OTHER ORGANIC MATTER. STONES USED WILL NOT BE LARGER THAN 6 INCHES IN DIMENSION. MATERIAL FROM DEMOLITION MAY NOT BE USED AS FILL. PRIOR TO PLACEMENT OF FILL MATERIALS, UNDERTAKE ALL NECESSARY ACTION IN ORDER TO ENSURE THAT AREAS TO BE FILLED ARE FREE OF STANDING WATER, FROST, FROZEN MATERIAL, TRASH, DEBRIS. PLACE FILL MATERIALS IN HORIZONTAL LAYERS NOT EXCEEDING 6 INCHES IN LOOSE DEPTH AND COMPACT EACH LAYER AT PLACEMENT TO 95% OPTIMUM DENSITY. GRADE THE SURFACE TO MEET ADJACENT CONTOURS AND TO PROVIDE SURFACE DRAINAGE.
16. REMOVE FROM THE DESIGNATED SITE, AT THE EARLIEST POSSIBLE TIME, ALL DEBRIS, RUBBISH, SALVAGEABLE ITEMS, HAZARDOUS AND COMBUSTIBLE SERVICES. REMOVED MATERIALS MAY NOT BE STORED, SOLD OR BURNED ON THE SITE. REMOVAL OF HAZARDOUS AND COMBUSTIBLE MATERIALS SHALL BE ACCOMPLISHED IN ACCORDANCE WITH THE PROCEDURES AS AUTHORIZED BY THE FIRE DEPARTMENT OR OTHER APPROPRIATE REGULATORY AGENCIES AND AUTHORITIES.
17. DISCONNECT, SHUT OFF AND SEAL IN CONCRETE ALL UTILITIES SERVING THE STRUCTURE(S) TO BE DEMOLISHED BEFORE THE COMMENCEMENT OF THE DESIGNATED DEMOLITION. MARK FOR PROTECTION ALL UTILITY BRANCS AND SANITARY LINES AND PROTECT ALL ACTIVE LINES. CLEARLY IDENTIFY BEFORE THE COMMENCEMENT OF DEMOLITION SERVICES THE REQUIRED INTERRUPTION OF ACTIVE SYSTEMS THAT MAY AFFECT OTHER PARTIES, AND NOTIFY ALL APPLICABLE UTILITY COMPANIES TO ENSURE THE CONTINUATION OF SERVICE.
18. THIS DEMOLITION PLAN IS INTENDED TO IDENTIFY THOSE EXISTING CONDITIONS WHICH ARE TO BE REMOVED. IT IS NOT INTENDED TO PROVIDE DIRECTION OTHER THAN THAT ALL PROCEDURES ARE TO BE IN ACCORDANCE WITH STATE, FEDERAL, LOCAL, AND JURISDICTIONAL REQUIREMENTS. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS NECESSARY.
19. ALL EXISTING IMPROVEMENTS TO BE DEMOLISHED SHALL BE REMOVED FROM THE SITE. ANY SUCH MATERIAL THAT IS WISHED TO BE RE-USED IS SUBJECT TO INSPECTION BY TOWNSHIP OFFICIALS OR THEIR DESIGNATED AGENTS FOR SUITABILITY.

DEMOLITION PLAN LEGEND



- NOTES**
1. IN ACCORDANCE WITH STATE LAW, THE CONTRACTOR SHALL BE REQUIRED TO CALL THE BOARD OF PUBLIC UTILITIES ONE CALL DAMAGE PROTECTION SYSTEM OR UTILITY MARK OUT IN ADVANCE OF ANY EXCAVATION.
 2. CONTRACTOR IS RESPONSIBLE FOR FIELD VERIFYING ALL EXISTING SITE IMPROVEMENTS AND UTILITIES. ALL DISCREPANCIES SHALL BE IDENTIFIED TO THE ENGINEER IN WRITING.
 3. ALL EXISTING UTILITIES TO BE ABANDONED SHALL BE DISCONNECTED AND CAPPED AT THE MAIN FOR WATER, AT THE CLEAN-OUT FOR SEWER AND THE SHUT-OFF VALVE OR MAIN FOR GAS IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY REQUIREMENTS.
 4. ALL EXISTING DEBRIS SHALL BE REMOVED BY CONTRACTOR IN ACCORDANCE WITH MUNICIPAL AND LOCAL UTILITY COMPANY REQUIREMENTS.



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DEMOLITION PLAN

PROJECT: **WINDSOR 1 DEVELOPERS, LLC**
PROPOSED WALK FOOD MARKET & FUELING STATION AND HOTEL
BLOCK 7, LOT 59
U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

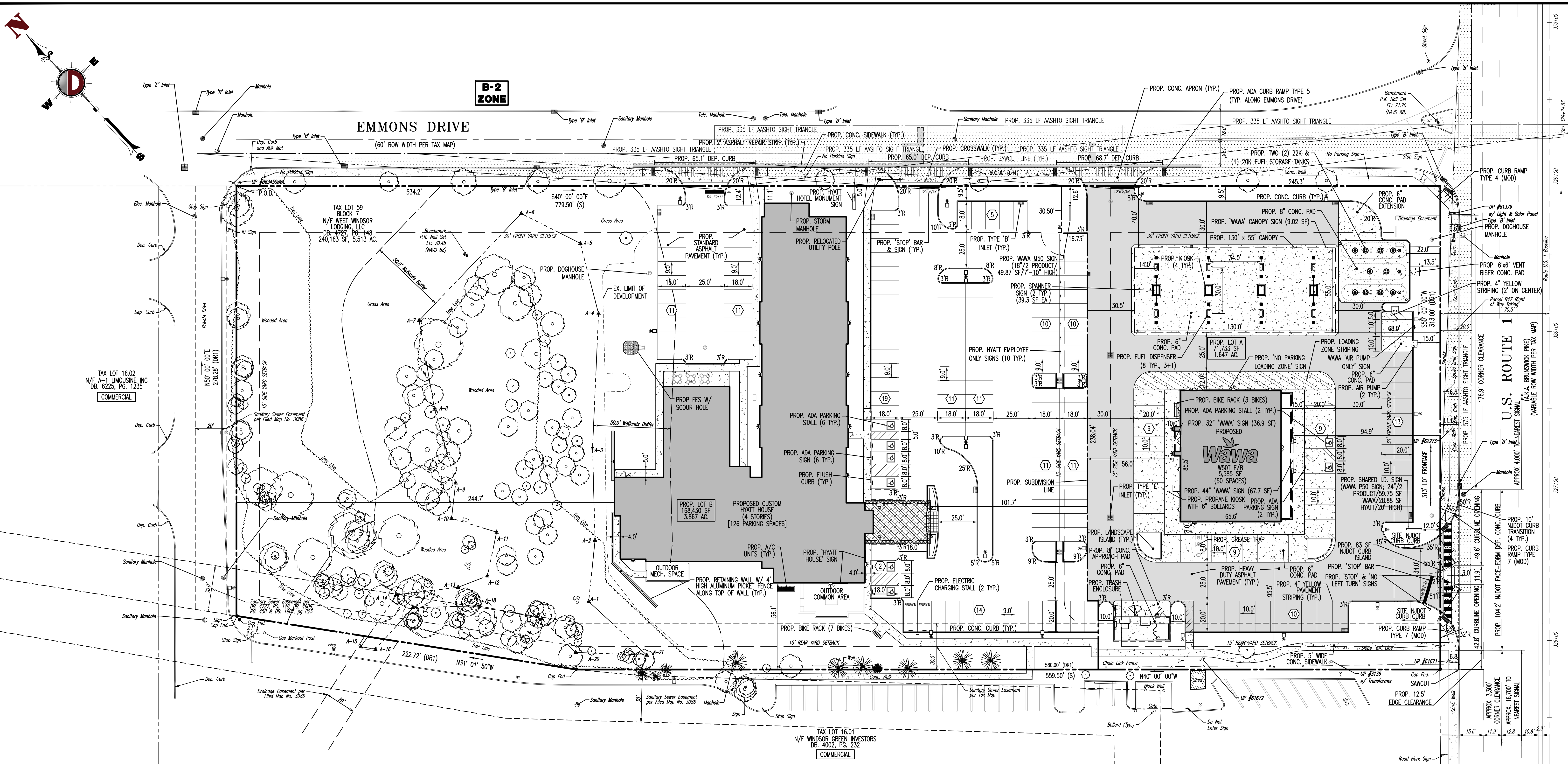
JOB NO: 1478-99-043
DATE: 01/06/2020
DRAWN BY: KAK
DESIGNED BY: RJM
CHECKED BY: MS
SCALE: (H) 1"=30'
(V)
SHEET NO: 4

MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52989

MARK A. WHITAKER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41417

PROTECT YOURSELF
ALL UTILITIES REQUIRE MARKING BY CONTRACTOR. CONTRACTOR IS RESPONSIBLE TO VERIFY THE SERVICE ADDRESS AS SHOWN ON THIS PLAN.
FOR STATE-SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

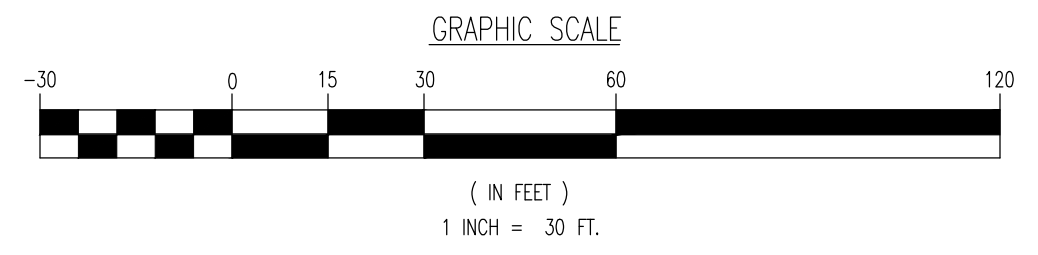
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TAX LOT 16.02
N/F A-1 LIMOUSINE, INC.
DB: 6225, PG. 1235
COMMERCIAL

TAX LOT 16.01
N/F WINDSOR GREEN INVESTORS
DB: 4002, PG. 232
COMMERCIAL

U.S. ROUTE 1
(A.K.A. BRUNSWICK PIKE)
(VARIABLE ROW WIDTH PER TAX MAP)



PAVEMENT LEGEND	
	PROPOSED CONCRETE PAVEMENT
	PROPOSED STANDARD ASPHALT PAVEMENT
	PROPOSED HEAVY DUTY ASPHALT PAVEMENT (WAWA BITUMINOUS PAVING DETAIL)

SEE SHEET 03 OF 20 FOR SITE PLAN NOTES

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F: 908.879.9229

1504 Main Street
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F: 908.879.9229

TITLE: **SITE PLAN**

PROJECT: **WINDSOR 1 DEVELOPERS, LLC
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL**

BLOCK 7, LOT 59
U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

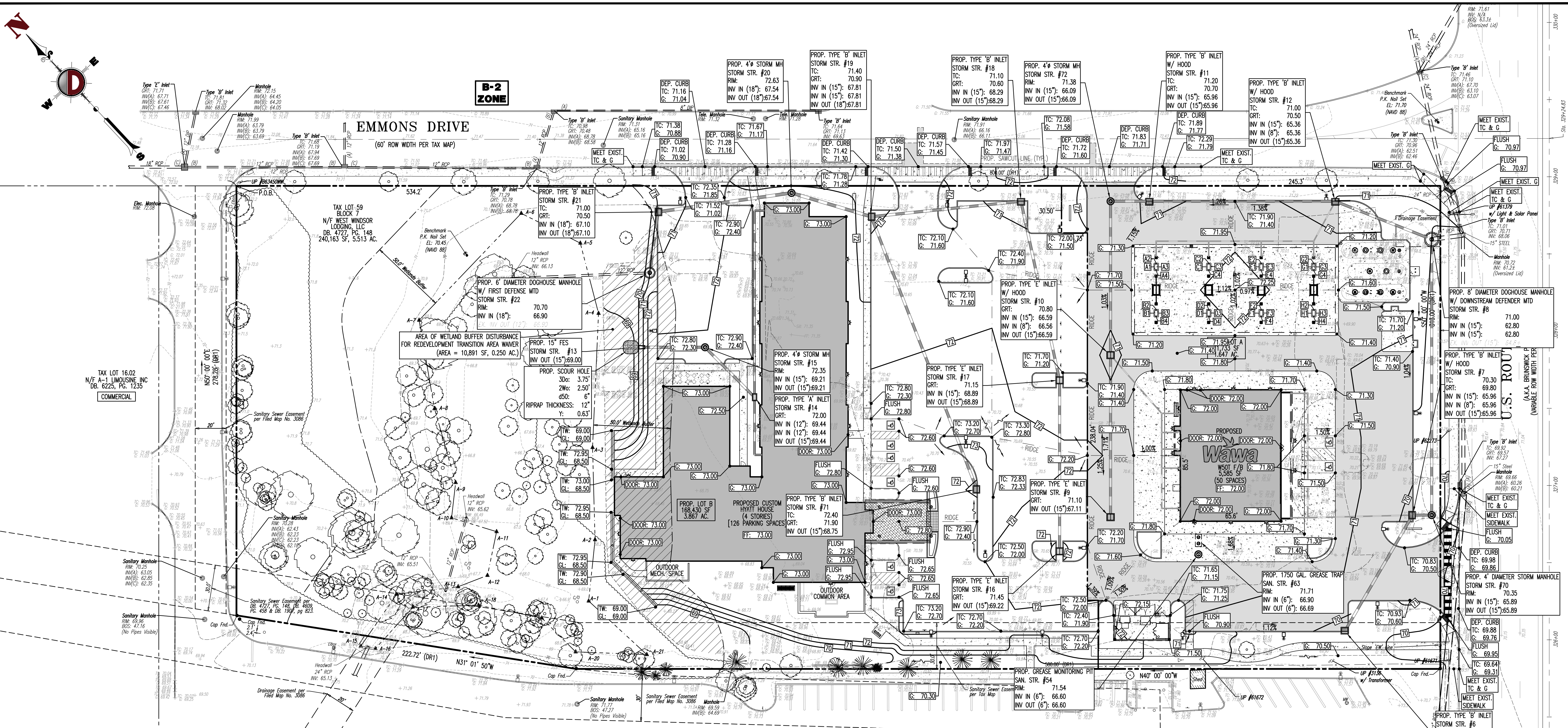
JOB No: 1478-99-043 DATE: 01/06/2020
DRAWN BY: KAK SCALE: (H) 1"=30'
DESIGNED BY: RJM (V)
CHECKED BY: MS SHEET No:
CHECKED BY: -

MATTHEW SHARO **MARK A. WHITAKER**

PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52989
PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41417

5
OF 20
Rev. # 2

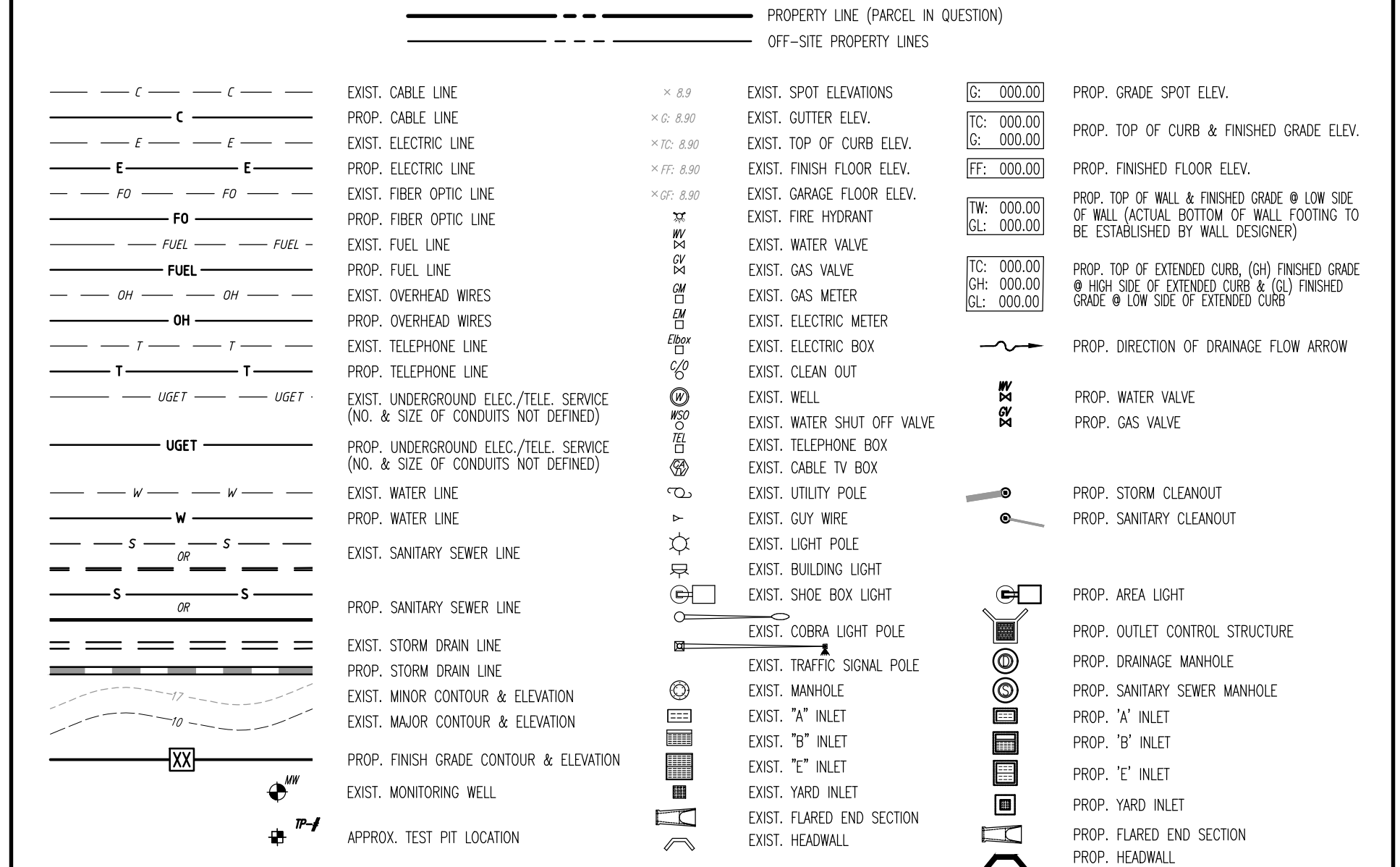
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FUEL DISPENSER ISLAND GRADING CHART

SPOT SHOT	TOP OF ISLAND	GRADE
A1	72.09	71.55
A2	72.09	71.55
A3	72.09	71.58
A4	72.09	71.59
B1	72.14	71.60
B2	72.14	71.63
B3	72.14	71.64
B4	72.14	71.61
C1	72.44	71.90
C2	72.44	71.89
C3	72.44	71.93
C4	72.44	71.94
D1	72.44	71.94
D2	72.44	71.94
D3	72.44	71.94
D4	72.44	71.90
E1	72.43	71.92
E2	72.43	71.88
E3	72.43	71.89
E4	72.43	71.93
F1	72.44	71.94
F2	72.44	71.94
F3	72.44	71.91
F4	72.44	71.90
G1	72.04	71.53
G2	72.04	71.49
G3	72.04	71.50
G4	72.04	71.54
H1	72.14	71.84
H2	72.14	71.63
H3	72.14	71.60
H4	72.14	71.61

GRADING/UTILITY GRAPHIC LEGEND



SEE SHEET 03 OF 20 FOR GRADING PLAN NOTES

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F: 973.534.2100
1 Austin, Texas 78724-2946
T: 202.465.0274
1 Denver, Colorado 80202
T: 303.974.9570

TITLE: **GRADING PLAN**

PROJECT: **WINDSOR 1 DEVELOPERS, LLC
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL**

BLOCK 7, LOT 59
U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

JOB No: 1478-99-043
DATE: 01/06/2020
DRAWN BY: KAK
SCALE: (H) 1"=30'
(V)
DESIGNED BY: RJM
CHECKED BY: MS
SHEET No: 6

MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 52989

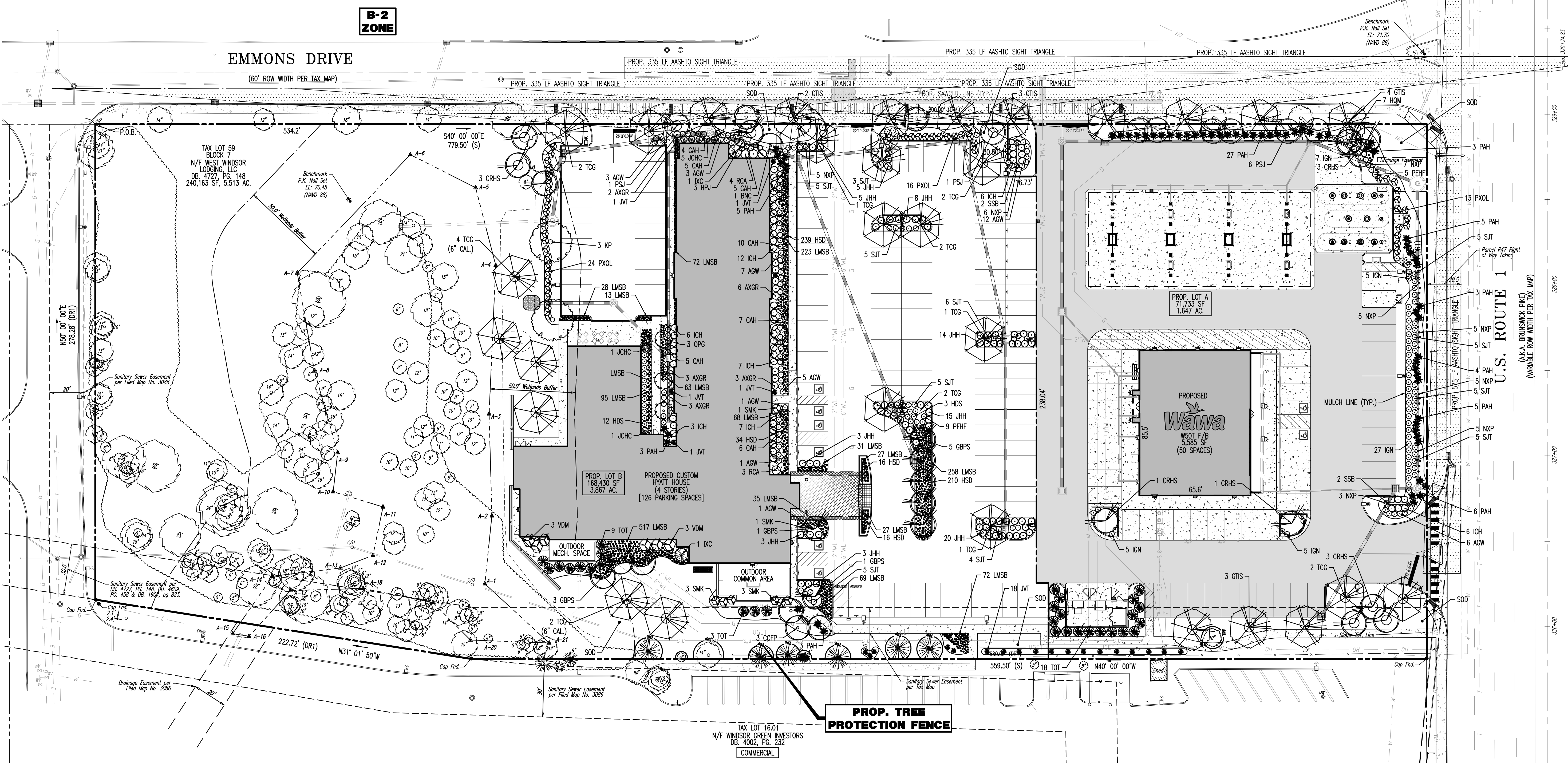
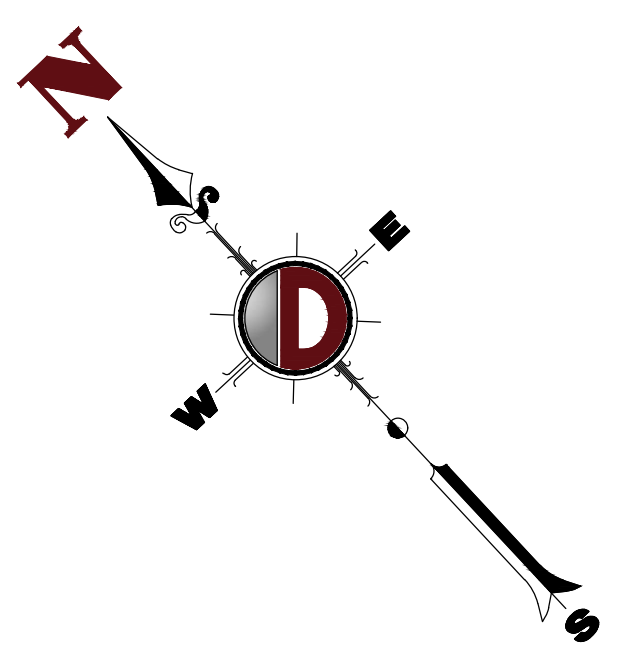
MARK A. WHITAKER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE NO. 41417

PROTECT YOURSELF
ALL UTILITIES MUST BE LOCATED BY THE CONTRACTOR. THE CONTRACTOR SHALL BE RESPONSIBLE FOR VERIFYING THE LOCATION AND DEPTH OF ALL UTILITIES PRIOR TO ANY EXCAVATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND APPROVALS FROM THE APPROPRIATE AGENCIES.

FOR STATE SPECIFIC PROJECT RATES VISIT: WWW.CALL811.COM

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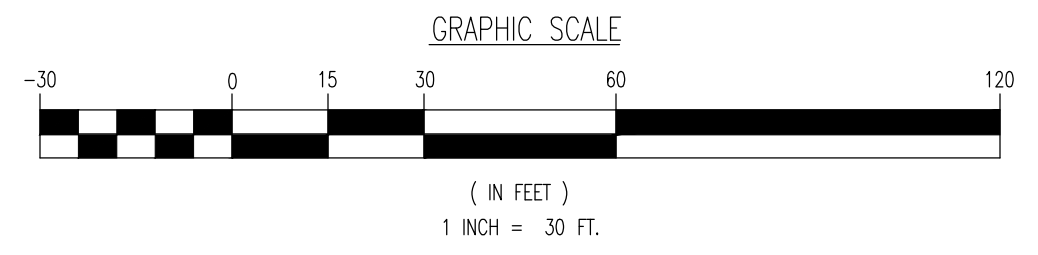
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NOTE: TREES PROPOSED NEAR TRAFFIC SIGNAGE SHOULD BE PLANTED TO ALLOW PROPER VISIBILITY OF THE SIGNAGE. IF VISIBILITY CAN NOT BE ACHIEVED, TREES SHOULD BE RELOCATED

NOTE: ALL LANDSCAPED AREAS NOT PROPOSED TO BE MULCHED SHALL BE SODDED.

NOTE: ALL TREES WITHIN SIGHT TRIANGLES AND WITHIN TEN FEET OF PAVED AREAS SHOULD BE LIMBED TO A MINIMUM HEIGHT OF SEVEN FEET. IN SIMILAR LOCATIONS PLANTINGS SHOULD NOT EXCEED THREE FEET IN HEIGHT.



LANDSCAPE SCHEDULE

KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SPREAD	KEY	QTY	BOTANICAL NAME	COMMON NAME	SIZE	REMARKS	SPREAD
SHADE TREES(S)													
GBPS	11	GINKGO BILOBA 'PRINCETON SENTRY'	PRINCETON SENTRY BRAND GINKGO	2 1/2-3" CAL.	B+B	20'	PRUNUS LAUROCEASUS 'OTTO LUYKEN'	OTTO LUYKEN CHERRY LAUREL	24-30"	#3 CAN	4'-6"		
GTIS	12	CLEDITSA TRIACANTHOS VAR. INERMIS 'SHADEMASTER'	SHADEMASTER HONEYLOCUST	2 1/2-3" CAL.	B+B	30'	(DECIDUOUS SHRUBS)						
OPC	11	QUERCUS PALustris 'GREEN PILLAR'	GREEN PILLAR PIN OAK	3-3 1/2"	B+B	12'	CAH	50	CLETHRA ALNIFOLIA 'HUMMINGBIRD'	HUMMINGBIRD SUMMERSWEET	24-30"	#3 CAN	3'-4"
TCG	12	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	2 1/2-3" CAL.	B+B	30'	HDS	15	HYDRANGEA MACROPHYLLA 'DANCING SNOW'	DOUBLE DELIGHTS WEDDING GOWN HYDRANGEA	24-30"	#3 CAN	3'-4"
TCG	6	TILIA CORDATA 'GREENSPIRE'	GREENSPIRE LINDEN	6" CAL.	B+B	30'	HPJ	3	HYDRANGEA PANICULATA 'JANE'	LITTLE LIME HYDRANGEA	24-30"	#3 CAN	3'-4"
ORNAMENTAL TREE(S)													
BNC	1	BETULA NIGRA 'CULLY'	HERITAGE RIVER BIRCH, MULTI-STEM	8-10"	B+B	20'	HPM	7	HYDRANGEA QUERCIFOLIA 'MUNCHKIN'	MUNCHKIN OAKLEAF HYDRANGEA	24-30"	#3 CAN	3'-4"
CCFP	3	CERCIS CANADENSIS 'FOREST PANSY'	FOREST PANSY REDBUD	2-2 1/2" CAL.	B+B	15'-20'	PFHF	14	POTENTILLA FRUTICOSA 'KUPINKA'	HAPPY FACE PINK PARADISE CINQUEFOIL	24-30"	#3 CAN	3'
CRHS	11	CORNUS RUTGOSA 'S'	STELLAR PINK DOGWOOD HYBRID	2-2 1/2" CAL.	B+B	15'-20'	SJT	56	SPIREA JAPONICA 'TRACY'	DOUBLE PLAY 'BIG BANG' SPIREA	24-30"	#3 CAN	2'-3"
KP	3	KOELREUTERIA PANICULATA	GOLDEN RAIN TREE	8-10"	B+B	20'	SMK	9	SYRINGA PATULA 'MISS KIM'	MISS KIM KOREAN LILAC	24-30"	#5 CAN	5'-6"
PSJ	8	PRUNUS SARGETIANA 'JFS-KIMSB'	PINK FLAIR CHERRY	2-2 1/2" CAL.	B+B	15'	VDM	6	VIBURNUM DENTATUM 'MORTON'	NORTHERN BURGUNDY ARROWWOOD VIBURNUM	30-36"	#7 CAN	10'
EVERGREEN TREE(S)													
XC	2	ILEX X CORNF	OAKLEAF RED HOLLY	4-5"	B+B	8'	TEO						
JVT	24	JUNIPERUS VIRGINIANA 'TAYLOR'	TAYLOR JUNIPER	5-6"	B+B	3'	GROUND COVER						
EVERGREEN SHRUB(S)													
AGW	17	AZALEA X 'GRARD'S PLEASANT WHITE'	GRARD'S PLEASANT WHITE AZALEA	24-30"	#3 CAN	2'-3"	JHH	76	JUNIPERUS HORIZONTALIS 'HUGHES'	HUGHES JUNIPER	24-30" SPRD	#3 CAN	6'
AXGR	40	ABELIA X GRANDIFLORA 'RADIANCE'	RADIANCE AELIA	24-30"	#3 CAN	4'	LMSB	1310	LIRIOPE MUSCARI 'SUPER BLUE'	SUPER BLUE LILYTURF	1 CAL.	#1	18"
ICH	49	ILEX CRENATA 'HELLER'	HELLER'S JAPANESE HOLLY	15-18"	#3 CAN	4'	PERENNIAL(S)						
IGN	50	ILEX GLABRA X 'CHAMZINI'	NORDIC INBERRY	24-30"	#3 CAN	3'-4"	HSD	515	HEMEROCALLIS 'STELLA D'ORO'	STELLA D'ORO DAYLILY	2 GAL.	CONTAINER	18"
JCHC	7	JUNIPERUS CHINENSIS 'HETZU COLUMNARIS'	COLUMNAR HETZU JUNIPER	4-5"	B+B	5'	NXP	41	NEPETA X 'PSPIKE'	LITTLE TRUPLY CATMINT	1 GAL.	#1	12"-15"
RCA	7	RHODODENDRON 'ANTARES'	WHITE CANTARA RHODODENDRON	30-36"	#7 CAN	5'-6"	SDP	4	SORGHASTRUM NUTANS 'SIOUX BLUE'	SIOUX BLUE INDIAN GRASS	2 GAL.	CONTAINER	2'
TOT	30	TILIA OCCIDENTALIS 'TECHNY'	TECHNY ARBORVITAE	5-6"	B+B	6'-8"	560	ORNAMENTAL GRASS(S)					
200							PAH	64	PENISTEMUM ALOPECUROIDES 'HAMEL'	DWARF FOUNTAIN GRASS	2 GAL.	CONTAINER	18"

SEE SHEET 09 OF 20 FOR LANDSCAPE PLAN NOTES & DETAILS

LANDSCAPE REQUIREMENTS PER ORDINANCE SECTION 200-91-P

- PARKING:** 2 TREES / 10 SPACE REQUIRED
WAWA: 50 SPACES = 10 REQUIRED / 8 PROVIDED (V)
HYATT: 124 SPACES = 25 REQUIRED / 15 PROVIDED (V)
- STREET TREES:** 1 TREE / 50 LF
EMMONS DRIVE: 779.5 LF FRONTAGE = 16 TREES REQUIRED
9 EXISTING TREES + 11 PROPOSED TREES = 20 TOTAL TREES PROVIDED
ROUTE 1: 313 LF FRONTAGE = 7 TREES REQUIRED / 1 TREE PROVIDED (V)
- BUILDING PERMIT TREES:** 1 TREE / 40 LF HYATT: 800 LF = 20 TREES REQUIRED
WAWA: 300 LF = 6 TREES REQUIRED / 0 TREES PROVIDED (V)

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LANDSCAPE PLAN

PROJECT: **WINDSOR 1 DEVELOPERS, LLC**
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL
BLOCK 7, LOT 59
U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
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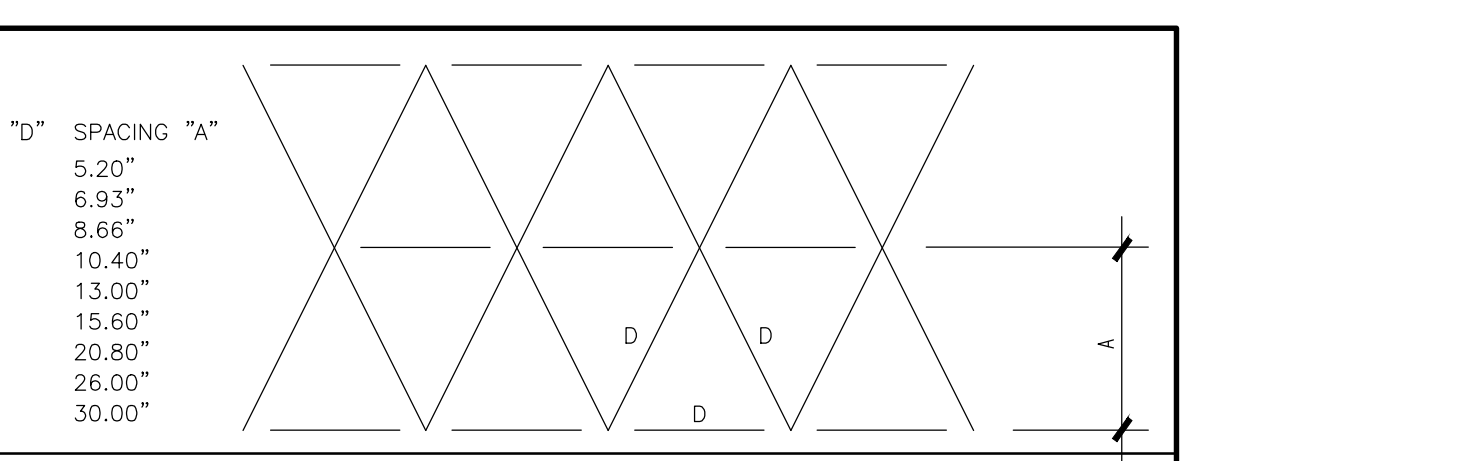
PLANTING NOTES

- 1. PLANT MATERIAL SHALL BE FURNISHED AND INSTALLED AS INDICATED, INCLUDING ALL LABOR, MATERIALS, PLANTS, EQUIPMENT, INCIDENTALS, AND CLEAN-UP... 2. THE CONTRACTOR SHALL BE RESPONSIBLE FOR PLANTING AT CORRECT GRADES AND ALIGNMENT... 3. PLANTS SHALL BE TYPICAL OF THEIR SPECIES AND VARIETY... 4. PLANTS SHALL BE HEALTHY OR NORMAL GROWTH... 5. ALL PLANT MATERIAL SHALL BE GUARANTEED BY THE CONTRACTOR... 6. SUCCEEDING PLANTING SEASONS... 7. QUALITY AND SIZE OF PLANTS, SPREAD OF ROOTS, AND SIZE OF BALLS SHALL BE IN ACCORDANCE WITH ANSI Z601.1... 8. PLANTS SHALL BE PLANTED IN A MENDED TOPSOIL... 9. SET ALL PLANTS PLUMB AND STRAIGHT... 10. PLANTS SHALL NOT BE BOUND WITH WIRE OR ROPE... 11. PLANTING OPERATIONS SHALL BE PERFORMED DURING PERIODS WHEN THE WEATHER AND SOIL CONDITIONS ARE SUITABLE... 12. SET ALL PLANTS PLUMB AND STRAIGHT... 13. ALL INJURED ROOTS SHALL BE PRUNED TO MAKE CLEAN ENDS... 14. EACH TREE AND SHRUB SHALL BE PRUNED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE... 15. ALL EXISTING TREES TO REMAIN SHALL BE PRUNED TO REMOVE ANY DAMAGED BRANCHES... 16. ALL PLANTING AREAS AND SOD SHALL BE COMPLETELY SATURATED WITH WATER... 17. PRIOR TO THE ISSUANCE OF ANY CERTIFICATE OF OCCUPANCY... 18. ALL DISTURBED AREAS TO BE TREATED WITH TOPSOIL SEED SO stabilization METHOD.

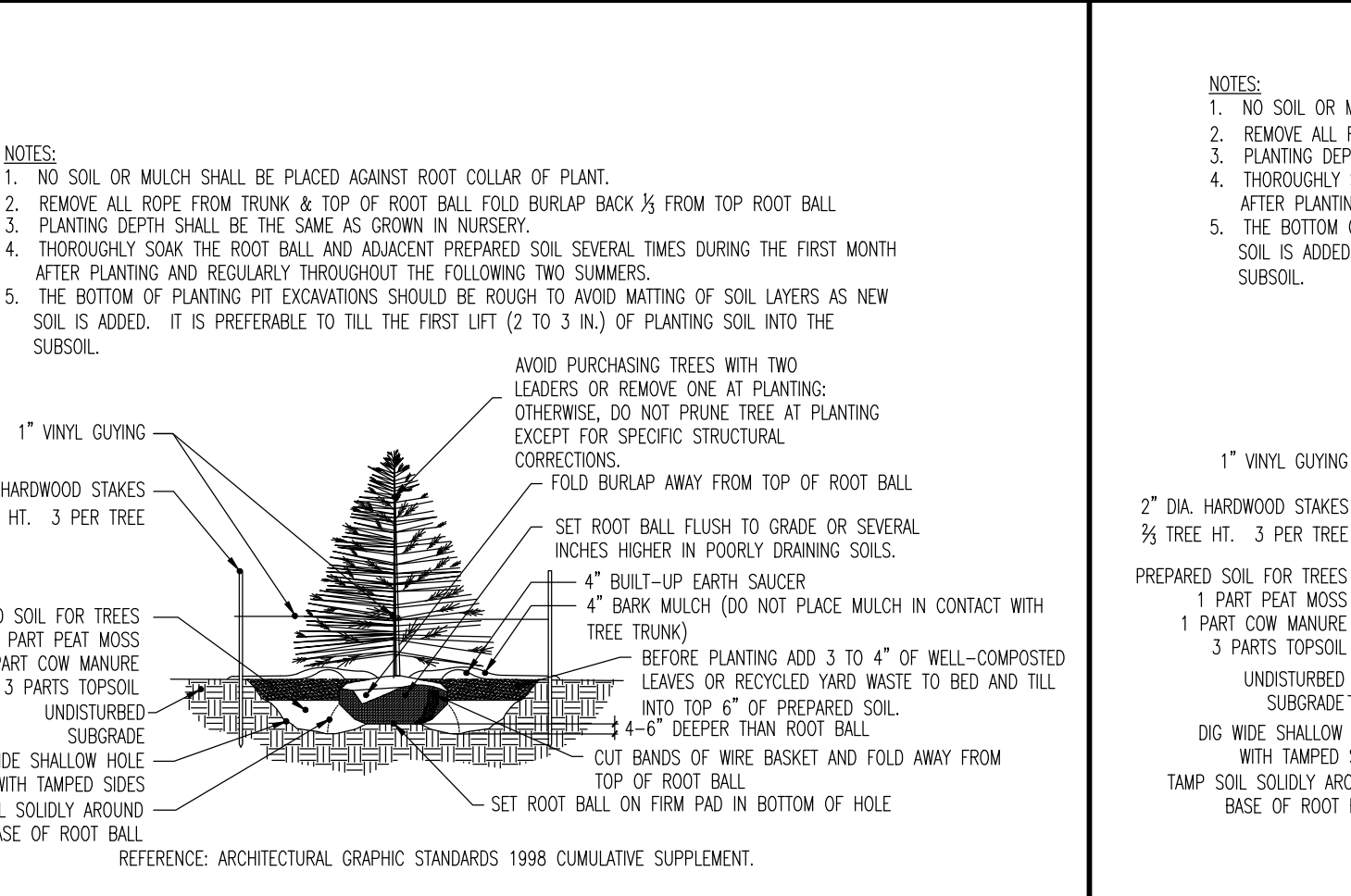
Table with 2 columns: TYPE PLANTS, DATES. Lists various plant types like Acer Rubrum, Betula Varieties, and their planting dates from 3/15 to 12/15.

FURTHERMORE, THE FOLLOWING TREE VARIETIES SHALL NOT BE PLANTED DURING THE FALL PLANTING SEASON DUE TO THE HAZARDS ASSOCIATED WITH DIGGING THESE TREES IN THIS SEASON.

ANY PLANTINGS INSTALLED IN CONFLICT WITH THIS REQUIREMENT MUST RECEIVE THE WRITTEN APPROVAL BY THE MUNICIPAL ENGINEER OR LANDSCAPE ARCHITECT...



PERENNIAL GROUND COVER/SPACING DETAIL NOT TO SCALE



EVERGREEN TREE PLANTING DETAIL NOT TO SCALE

PLANTING SPECIFICATIONS

- 1. SCOPE OF WORK: THIS WORK SHALL CONSIST OF PERFORMING, CLEARING AND SOIL PREPARATION, FINISH GRADING, PLANTING AND DRAINAGE... 2. MATERIALS: ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS AS OUTLINED IN THE STATE DEPARTMENT OF TRANSPORTATION (D.O.T.) MANUAL OF ROADWAY AND BRIDGE CONSTRUCTION... 3. GENERAL NOTES: ALL MATERIALS SHALL MEET OR EXCEED SPECIFICATIONS... 4. LANDSCAPE WORK SHALL COMPLY AS SOON AS THOSE PORTIONS OF THE SITE ARE AVAILABLE... 5. BEFORE AND DURING PRELIMINARY GRADING AND FINISH GRADING... 6. CONTRACTOR TO PROVIDE A 4\"/>

LANDSCAPE MAINTENANCE MANAGEMENT PROGRAM

- 1. GENERAL: A. ALL MAINTENANCE OPERATIONS AS STATED HEREIN SHALL BE ADHERED TO ON AN ANNUAL BASIS... B. ALL PLANTING AREAS INCLUDING LAWNS, BUFFERS, PARKING LOTS SHALL BE PERIODICALLY INSPECTED A MINIMUM OF ONCE PER MONTH... 2. SEASONAL FLOWERS: WHEN APPLICABLE: A. ANNUAL FLOWERS PLANTED IN EITHER BED AREAS OR PLANTERS SHALL BE REMOVED AND REPLANTED AND THE SOIL AMENDED... 3. TURF: A. LAWN AREAS SHALL NOT EXCEED A HEIGHT OF 3-4 INCHES... B. WEATHER AND SOIL AMENDMENTS SHOULD BE ADDED AS NECESSARY... 4. PRUNING: A. THROUGHOUT THE YEAR, ALL PRUNING SHALL BE PERFORMED IN ACCORDANCE WITH STANDARD HORTICULTURAL PRACTICE... 5. WEEDS AND DISEASE CONTROL: A. THE CONTROL OF WEEDS AND DISEASE ASSOCIATED WITH ALL PLANTING AREAS SHALL ALWAYS BE A MAINTENANCE PRIORITY... 6. SITE AMENITIES: A. BENCHES, PATHS, BICYCLE RACKS, TRASH RECEPTACLES AND SIGNS SHOULD BE INSPECTED AT LEAST TWICE A YEAR... 7. RENOVATION: RENOVATION INCLUDES THE RESEEDING OR REPLANTING OF LANDSCAPE AREAS DAMAGED, DESTROYED OR FAILING... 8. PLANTINGS: ALL PLANTINGS WHICH ARE DEAD, DAMAGED OR DESTROYED SHOULD BE REPLACED BY THE END OF THE NEXT PLANTING SEASON... 9. PAVED SURFACES: ALL PAVED SURFACES, CONCRETE SIDEWALKS, ASPHALT PAVEMENT AND DECORATIVE PAVEMENT MUST BE INSPECTED ON A REGULAR BASIS... 10. ANY TRASH, STAINS, OR OBSTRUCTIONS MUST BE REMOVED IMMEDIATELY...

STANDARD FOR PERMANENT STABILIZATION WITH SOD

- METHODS AND MATERIALS: 1. CULTIVATED SOD IS PREFERRED OVER NATIVE OR PASTURE SOD... 2. SOD SHOULD BE FREE OF WEEDS AND UNDESIRABLE COARSE WEEDY GRASSES... 3. SOD SHOULD BE OF UNIFORM THICKNESS, APPROXIMATELY 5/8 INCH... 4. SOD SHOULD BE STORED AND BE ABLE TO RETAIN ITS OWN SHAPE AND WEIGHT... 5. FOR DROUGHT SITES, A SOD OF KENTUCKY 31 TALL FESCUE AND BLUEGRASS IS PREFERRED... 6. ONLY MOST, FRESH, UNHATED SOD SHOULD BE USED... II. SOIL PREPARATION: A. APPLY LIMESTONE AND FERTILIZER ACCORDING TO SOIL TESTS... B. WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL... C. REMOVE FROM THE SURFACE ALL OBJECTS THAT WOULD PREVENT GOOD SOD TO SOIL CONTACT... D. INSPECT SITE JUST BEFORE SEEDING... III. SOD PLACEMENT: A. SOD STRIPS SHOULD BE LAD ON THE CONTOUR, NEVER UP AND DOWN THE SLOPE... B. PLACE SOD STRIPS WITH SNOTS, EVEN JOINTS THAT ARE STAGGERED... C. ROLL OR TAMP SOD IMMEDIATELY FOLLOWING PLACEMENT... D. ON SLOPES GREATER THAN 3 TO 1, SECURE SOD TO SURFACE SOIL WITH WOOD PEGS... E. SURFACE WATER CANNOT ALWAYS BE DIVERTED FROM FLOWING OVER THE FACE OF THE SLOPE... F. IMMEDIATELY FOLLOWING INSTALLATION, SOD SHOULD BE WATERED... IV. TOP-DRESSING: IF SLOW RELEASE NITROGEN (300 POUNDS 38-0-0 PER ACRE OR EQUIVALENT) IS USED IN ADDITION TO SUGGESTED FERTILIZER...

WAWA LANDSCAPING STANDARDS

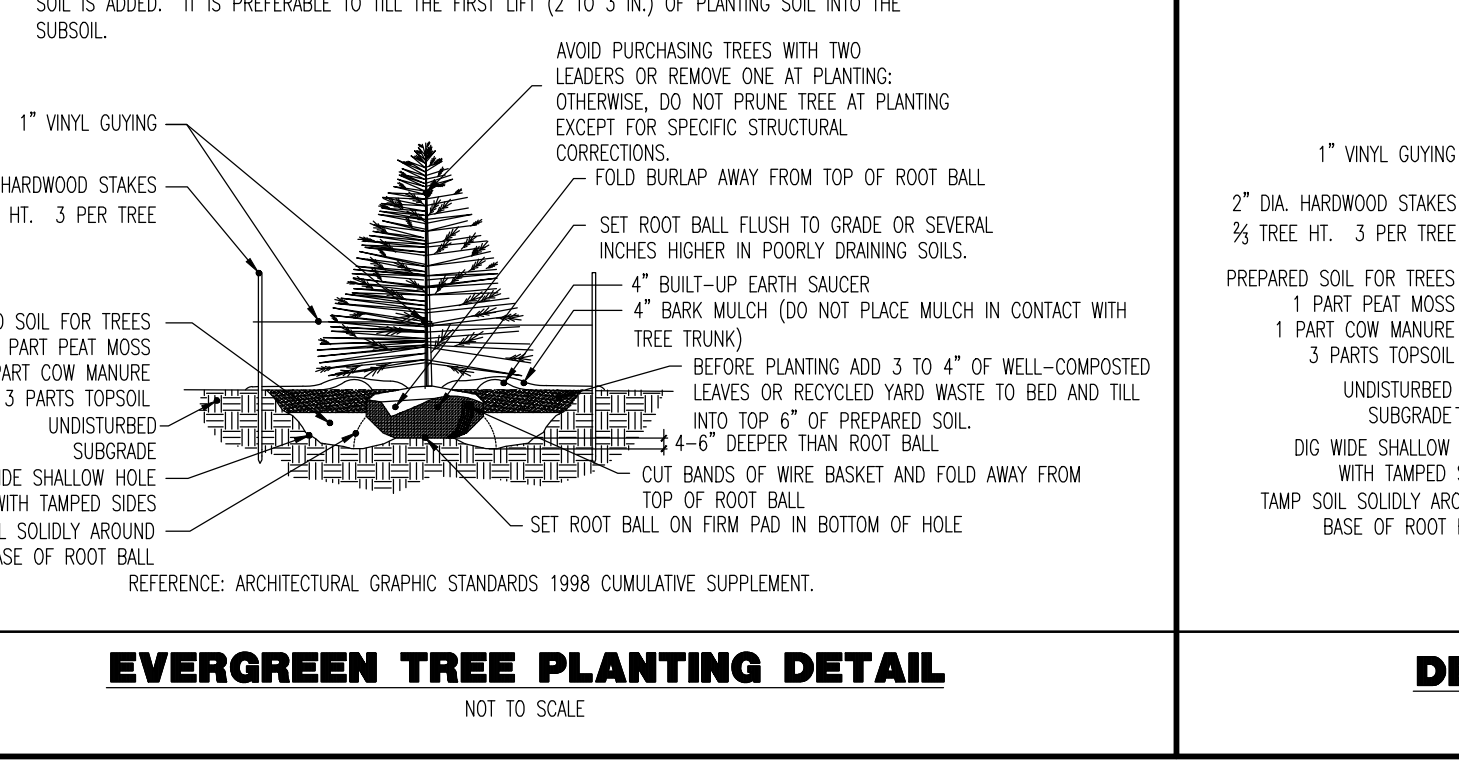
- 1. ALL TOPSOIL SHALL BE A MINIMUM 4\"/>

WATERING NOTES

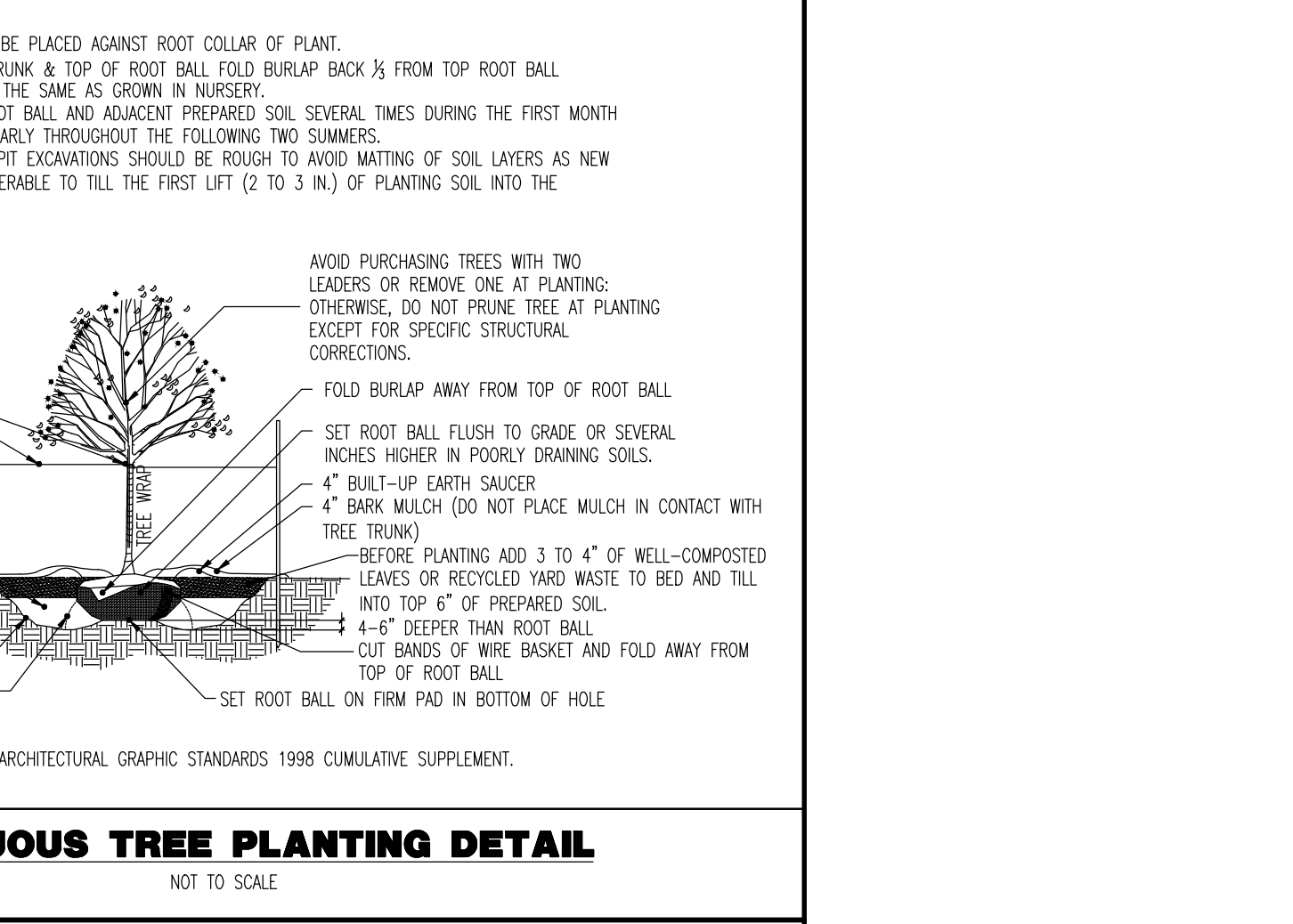
- 1. SOAK ENTIRE PLANT THOROUGHLY (HEAD TO ROOTBALL) THE SAME DAY OF PLANTING... 2. WATERING SHALL TAKE PLACE TWICE WEEKLY DURING WARM, DRY WEATHER... 3. OBVIOUS SIGNS OF DROUGHT, INCLUDING WILTING AND LEAF DECLORATION... 4. AFTER INITIAL PLANTING, A STRICT WATERING SCHEDULE SHALL BE ADHERED TO AND CONTINUED FOR THE REMAINDER OF THE GROWING SEASON... 5. ONCE A PLANT HAS SURVIVED A WINTER SEASON, ROUTINE WATERING SHOULD NO LONGER BE NECESSARY... 6. ONLY COLD POTABLE WATER SHALL BE USED FOR WATERING.

IRRIGATION NOTE:

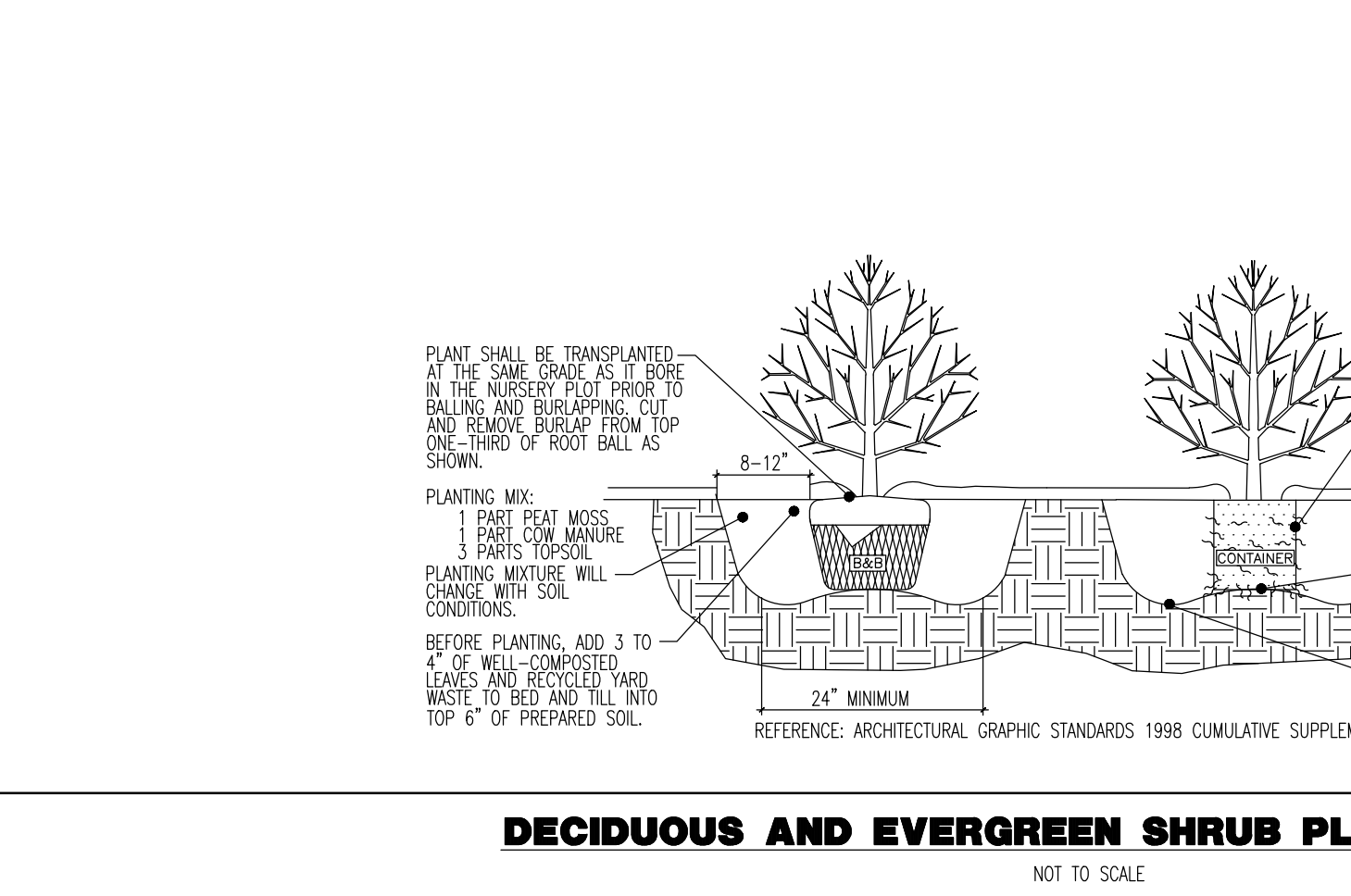
CONTRACTOR TO PROVIDE AN AUTOMATIC IRRIGATION DESIGN FOR BOTH LAWN & BED AREAS. DESIGN IS TO BE SUBMITTED TO THE PROJECT LANDSCAPE ARCHITECT FOR REVIEW AND APPROVAL. CONTRACTOR TO VERIFY STATIC PRESSURE PRIOR TO DESIGN. CONTRACTOR IS ALSO RESPONSIBLE FOR ANY PRESSURE REDUCING DEVICES REQUIRED TO MEET MAXIMUM PRESSURE REQUIREMENT. SYSTEM DESIGN TO SHOW ALL VALVES, PIPING, HEADS, BACKFLOW PREVENTION, METERS AND CONTROLLERS. ALL SIZES IN PAVEMENT AREAS MUST BE SHOWN. THE CONTRACTOR SHALL BE RESPONSIBLE FOR BACKFLOW PREVENTION DEVICE INSTALLATION AND PERMITTING.



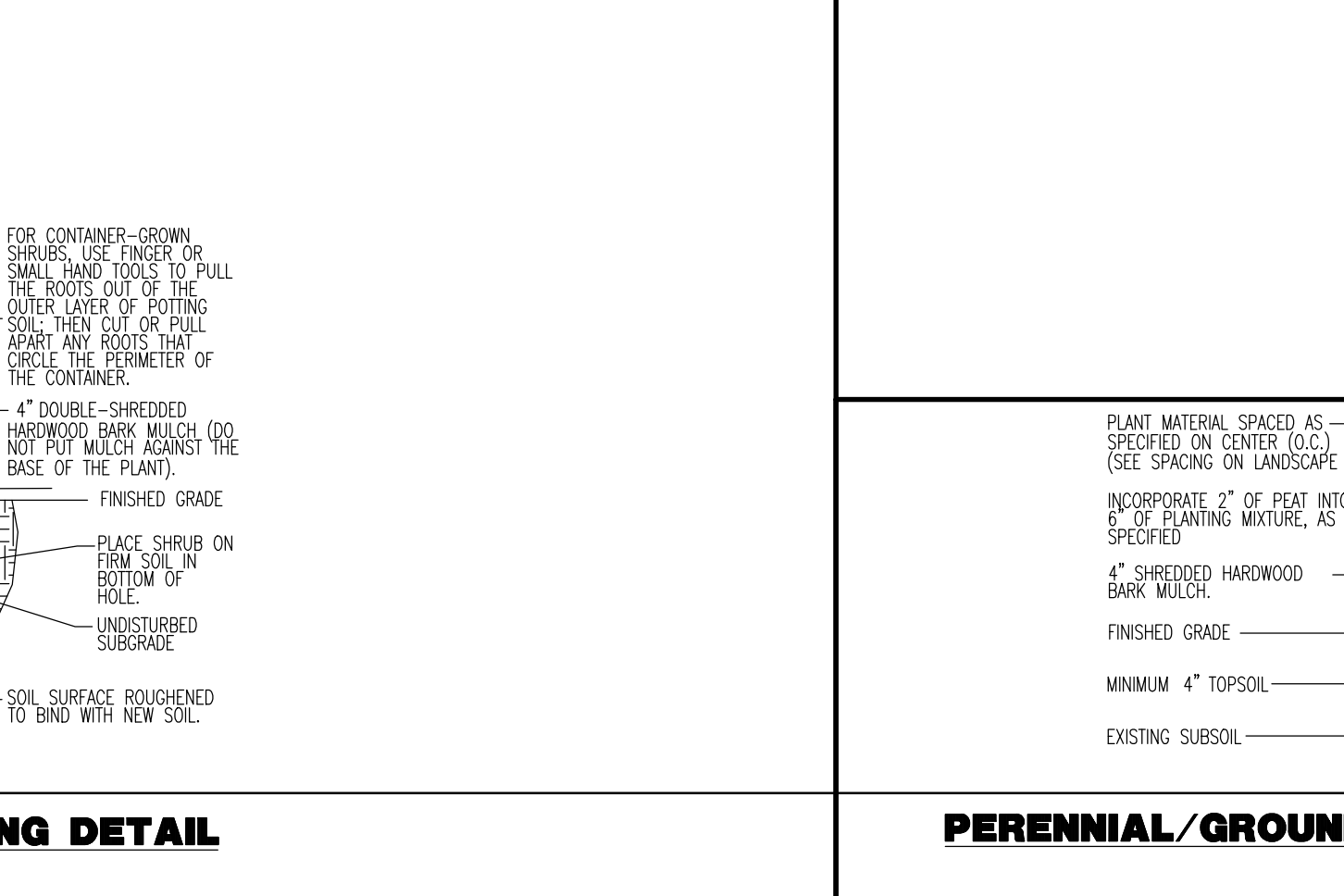
DECIDUOUS AND EVERGREEN SHRUB PLANTING DETAIL NOT TO SCALE



DECIDUOUS TREE PLANTING DETAIL NOT TO SCALE



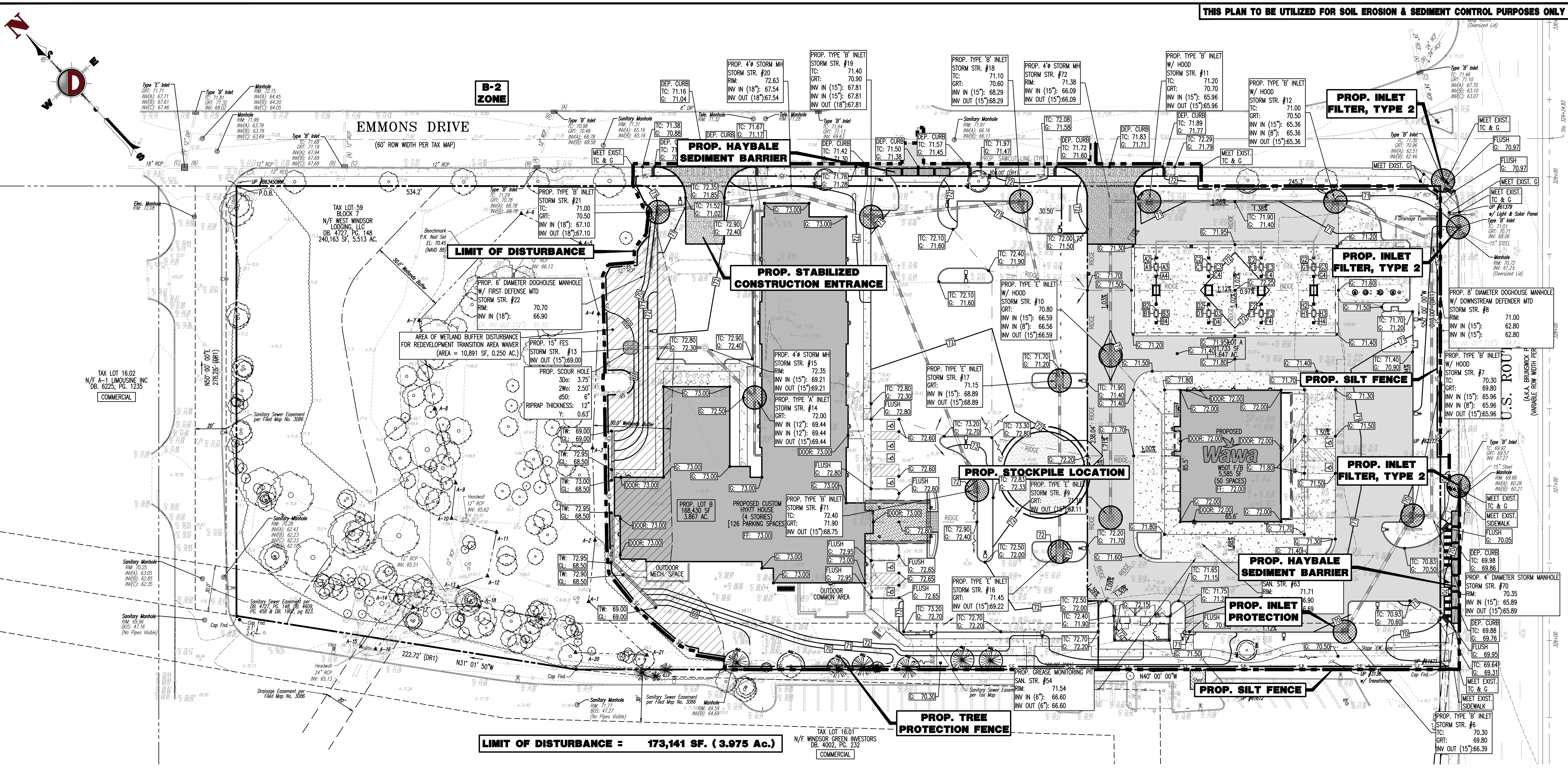
PERENNIAL/GROUND COVER PLANTING DETAIL NOT TO SCALE



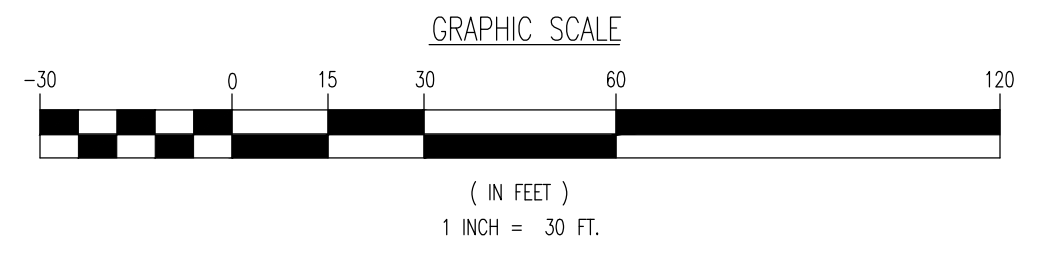
PERENNIAL/GROUND COVER PLANTING DETAIL NOT TO SCALE

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION. DYNAMIC ENGINEERING LAND DEVELOPMENT CONSULTING • PERMITTING • GEO/TECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING. PROJECT: WINDSOR 1 DEVELOPERS, LLC PROPOSED WAWA WOOD MARKET & FUELING STATION AND HOTEL. DATE: 01/06/2020. SCALE: (H) NOT TO (V) SCALE. SHEET NO: 9. PROJECT ENGINEER: MATTHEW SHARO. PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 52899. PROFESSIONAL ENGINEER NEW JERSEY LICENSE NO. 41417.

Plotted: 06/13/20 10:26 AM. By: geowndrick. File: P:\CEPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\DWG\Site Plans\DWG\147899043SD02.dwg. 08 LANDSCAPE NOTES & DETAILS



LIMIT OF DISTURBANCE = 173,141 SF. (3.975 Ac.)



EROSION CONTROL LEGEND

- PROP. LIMIT OF DISTURBANCE LINE
- PROP. SILT FENCE LINE
- PROP. TREE PROTECTION FENCE LINE
- PROP. INLET FILTER
- PROP. HAYBALE SEDIMENT BARRIER

SEE SHEET 11 OF 20 FOR SOIL EROSION NOTES & DETAILS

THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

DYNAMIC ENGINEERING
LAND DEVELOPMENT CONSULTING • PERMITTING • GEO TECHNICAL • ENVIRONMENTAL • SURVEY • PLANNING & ZONING

1504 Main Street
Lake Como, NJ 07719
T: 908.879.9229 F: 908.879.9229
Aiken, SC: 1.877.334.2100 | Houston, TX: 1.281.789.6400
Newark, NJ: 1.973.444.2546 | Denver, CO: 1.303.444.2546

<p>TITLE: SOIL EROSION & SEDIMENT CONTROL PLAN</p> <p>PROJECT: WINDSOR 1 DEVELOPERS, LLC PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL BLOCK 7, LOT 59 U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY</p>		<p>JOB No: 1478-99-043</p> <p>DATE: 01/06/2020</p> <p>SCALE: (H) 1"=30' (V)</p> <p>SHEET No:</p>
<p>DRAWN BY: KAK</p> <p>DESIGNED BY: RJM</p> <p>CHECKED BY: MS</p>	<p>DRAWN BY: KAK</p> <p>DESIGNED BY: RJM</p> <p>CHECKED BY: MS</p>	<p style="font-size: 2em; font-weight: bold; text-align: center;">10</p> <p>OF 20</p>

MATTHEW SHARO

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

MARK A. WHITAKER

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41417

PROTECT YOURSELF

ALL STATE SPECIFIC EROSION CONTROL MEASURES ARE SUBJECT TO THE REQUIREMENTS OF THE LOCAL PERMITS AND ORDINANCES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR OBTAINING ALL NECESSARY PERMITS AND FOR OBTAINING ALL NECESSARY APPROVALS FROM THE LOCAL AGENCIES.

FOR STATE SPECIFIC EROSION CONTROL MEASURES VISIT: WWW.CALL811.COM

Plotted: 08/13/20 10:27 AM, By: geowadrick, Product: Ver. 23.1s (LMS Tech)
 File: P:\BECPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\DWG\Site Plans\147899043SE2.dwg, 10 SOIL EROSION & SEDIMENT CONTROL PLAN

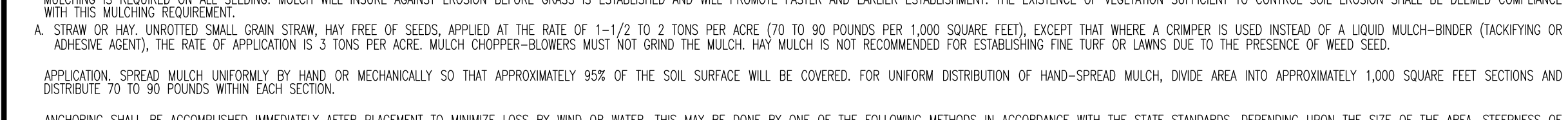
MERCER COUNTY SCD REQUIRED SOIL EROSION AND SEDIMENT CONTROL NOTES

- MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED 48 HOURS PRIOR TO STARTING LAND DISTURBANCE ACTIVITY. NOTICE MAY BE MAILED, FAXED OR EMAILED TO:
 MCCSD, 508 HUGHES DRIVE, HAMILTON SQUARE, NJ 08690
 PHONE: 609-586-3903 FAX: 609-586-1117 EMAIL: MERCERSCD@MJC.COM
- IF APPLICABLE TO THIS PROJECT, THE OWNER SHALL ADVISE OF HIS OR HER OBLIGATION TO FILE FOR A NJPDES CONSTRUCTION ACTIVITY STORMWATER SCS PERMIT (NJ080832) VIA THE NJDEP ONLINE PERMITTING SYSTEM (WWW.NJDEP.COM/DEP/ONLINE). THIS PERMIT MUST BE FILED PRIOR TO THE START OF SOIL DISTURBANCE. THE ONLINE APPLICATION PROCESS WILL REQUIRE ENTRY OF A SOIL CERTIFICATION CODE, WHICH IS PROVIDED BY THE SOIL CONSERVATION DISTRICT UPON CERTIFICATION OF THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE MERCER COUNTY SOIL CONSERVATION DISTRICT SHALL BE NOTIFIED OF ANY CHANGES IN OWNERSHIP.
- ANY CHANGES TO THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, INCLUDING AN INCREASE IN THE LIMIT OF DISTURBANCE, WILL REQUIRE THE SUBMISSION OF REVISED SOIL EROSION AND SEDIMENT CONTROL PLANS TO THE DISTRICT FOR RECERTIFICATION. THE REVISED PLANS MUST MEET ALL CURRENT STATE SOIL EROSION & SEDIMENT CONTROL STANDARDS.
- A COPY OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN SHALL BE MAINTAINED ON SITE AT ALL TIMES.
- ALL SOIL EROSION AND SEDIMENT CONTROL PRACTICES SHALL BE INSTALLED PRIOR TO ANY MAJOR SOIL DISTURBANCES, OR IN THEIR PROPER SEQUENCE AS OUTLINED WITHIN THE SEQUENCE OF CONSTRUCTION ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, AND MAINTAINED UNTIL PERMANENT PROTECTION IS ESTABLISHED.
- ALL WORK SHALL BE DONE IN ACCORDANCE WITH THE CURRENT STANDARDS FOR SOIL EROSION AND SEDIMENT CONTROL IN NJ. IF LANGUAGE CONTAINED WITHIN ANY OTHER PERMIT FOR THIS PROJECT IS MORE RESTRICTIVE THAN OR ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, THEN THE MORE RESTRICTIVE PERMIT REQUIREMENTS SHALL BE FOLLOWED.
- THE STANDARD FOR STABILIZED CONSTRUCTION ACCESS REQUIRES THE INSTALLATION OF A 1'x2' TO 2'x2' CLEAN STONE TRACKING PAD AT ALL CONSTRUCTION DRIVEWAYS IMMEDIATELY AFTER INITIAL SITE DISTURBANCE, WHETHER IDENTIFIED ON THE CERTIFIED PLAN OR NOT, THE WIDTH SHALL SPAN THE FULL WIDTH OF EGRESS, AND LENGTH SHALL BE 50 FT. OR MORE, DEPENDING ON SITE CONDITIONS AND AS REQUIRED BY THE STANDARD. THIS SHALL INCLUDE PERMANENT SUBDIVISIONS IF THE EGRESS IS TO A GRADE OR TO A GRADE TO A 20 FT. LONG PAVED TRANSITION SHALL BE PROVIDED BETWEEN THE EDGE OF PAVEMENT AND THE STONE ACCESS PAD.
- A SUB-BASE COURSE WILL BE APPLIED IMMEDIATELY FOLLOWING ROUGH GRADING AND INSTALLATION OF IMPROVEMENTS IN ORDER TO STABILIZE STREETS, ROADS, DRIVEWAYS AND PARKING AREAS. IN AREAS WHERE NO UTILITIES ARE PRESENT, THE SUB-BASE SHALL BE INSTALLED WITHIN 15 DAYS OF PRELIMINARY GRADING, PROVIDED THAT ALL OTHER REQUIREMENTS RELATED TO DETENTION BASINS, SWALES AND THE SEQUENCE OF CONSTRUCTION HAVE BEEN MET.
- ANY DISTURBED AREAS THAT WILL BE LEFT EXPOSED MORE THAN 14 DAYS AND NOT SUBJECT TO CONSTRUCTION ACTIVITY WILL IMMEDIATELY RECEIVE TEMPORARY STABILIZATION. IF THE SEASON PREVENTS ESTABLISHMENT OF A PERMANENT VEGETATIVE COVER, OR IF THE AREA IS NOT TOPSOILED, THEN THE DISTURBED AREAS WILL BE MULCHED WITH STRAW OR EQUIVALENT MATERIAL, AT A RATE OF TWO (2) TONS PER ACRE, ACCORDING TO STATE STANDARDS. SLOPED AREAS IN EXCESS OF 30% SHALL BE PROVIDED WITH EROSION CONTROL BLANKETS. CRITICAL AREAS SUBJECT TO EROSION (I.E. STEEP SLOPES, ROADWAY EMBANKMENTS, ENVIRONMENTALLY SENSITIVE AREAS) WILL RECEIVE TEMPORARY STABILIZATION IMMEDIATELY AFTER INITIAL DISTURBANCE OR ROUGH GRADING.
- ANY STEEP SLOPES (I.E. RECEIVING PIPELINE OR UTILITY INSTALLATION WILL BE BACKFILLED AND STABILIZED ONLY AS THE INSTALLATION PROCEEDS.
- PERMANENT VEGETATION SHALL BE SEEDED OR SOWN ON ALL EXPOSED AREAS WITHIN TEN (10) DAYS AFTER FINAL GRADING AND TOPSOILING. ALL AGRONOMIC REQUIREMENTS CONTAINED WITHIN THE STANDARDS AND ON THE CERTIFIED PLAN SHALL BE EMPLOYED. MULCH WITH BINDER, IN ACCORDANCE WITH THE STANDARDS, SHALL BE USED ON ALL SEEDED AREAS. SAVE ALL TAGS AND/OR BAGS USED FOR SEED, LIME AND FERTILIZER, AND PROVIDE THEM TO THE DISTRICT INSPECTOR TO VERIFY THAT MIXTURES AND RATES MEET THE STANDARDS.
- AT THE TIME WHEN THE SITE PREPARATION OR PERMANENT VEGETATIVE STABILIZATION IS GOING TO BE ACCOMPLISHED, ANY SOIL THAT WILL NOT PROVIDE A SUITABLE ENVIRONMENT TO SUPPORT ADEQUATE VEGETATIVE GROUND COVER, SHALL BE REMOVED OR TREATED IN SUCH A WAY THAT WILL PERMANENTLY ADJUST THE SOIL CONDITIONS AND RENDER IT SUITABLE FOR VEGETATIVE GROUND COVER. IF THE REMOVAL OR TREATMENT OF THE SOIL WILL NOT PROVIDE SUITABLE CONDITIONS, THEN NON-VEGETATIVE MEANS OF PERMANENT GROUND STABILIZATION WILL HAVE TO BE EMPLOYED.
- DURING THE COURSE OF CONSTRUCTION, SOIL COMPACTION MAY OCCUR WITHIN HAUL ROUTES, STAGING AREAS AND OTHER PROJECT AREAS. IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PH OF 5 OR MORE PRIOR TO TOPSOIL APPLICATION AND SEEDING PREPARATION. IF THE AREA IS TO RECEIVE TREE OR SHRUB PLANTINGS, OR IS LOCATED ON A SLOPE, THEN THE AREA SHALL BE COVERED WITH A MINIMUM OF 2" OF SOIL HAVING A PH OF 5 OR MORE.
- IN ACCORDANCE WITH THE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, ANY SOIL HAVING A PH OF 4 OR LESS OR CONTAINING 1 FROM SURFACES SHALL BE BURED WITH LIMESTONE IN ACCORDANCE WITH THE STANDARDS AND BE COVERED WITH A MINIMUM OF 1/2" OF SOIL HAVING A PH OF 5 OR MORE.
- HYDROSEEDING IS A TWO-STEP PROCESS. THE FIRST STEP INCLUDES SEED, FERTILIZER, LIME, ETC., ALONG WITH MINIMAL AMOUNTS OF MULCH TO PROMOTE CONSISTENCY. GOOD SEED-TO-SOIL CONTACT, AND GIVE A VISUAL INDICATION OF COVERAGE. UPON COMPLETION OF THE SEEDING OPERATION, HYDROSEEDING SHOULD BE APPLIED AT A MINIMUM RATE OF 1500 LBS. PER ACRE IN SECOND STEP, THE USE OF HYDROSEEDING, AS OPPOSED TO STRAW, IS LIMITED TO OPTIMUM SEEDING DATES AS LISTED IN THE STANDARDS. THE USE OF HYDROSEEDING ON SLOPED AREAS IS DISCOURAGED.
- THE CONTAINER OR RESPONSIBLE LIFE OF LIQUID MULCH CANNOT EXCEED THE LIFE OF THE CONSTRUCTION PROJECT. ALL LIQUID MULCHES (DROPPED, BROADCAST OR SPILLED) ONTO PAVED SURFACES SHALL BE IMMEDIATELY REMOVED.
- THE DEVELOPER SHALL BE RESPONSIBLE FOR REMEDIATING ANY EROSION OR SEDIMENT PROBLEMS THAT ARISE AS A RESULT OF ONGOING CONSTRUCTION, AND FOR EMPLOYING ADDITIONAL EROSION AND SEDIMENT CONTROL MEASURES AT THE REQUEST OF THE MERCER COUNTY SOIL CONSERVATION DISTRICT.
- CONDUIT CULVERT PROTECTION MUST BE INSTALLED AT ALL REQUIRED CULVERTS PRIOR TO THE DRAINAGE.
- ALL DETENTION / RETENTION BASINS MUST BE FULLY CONSTRUCTED (INCLUDE ALL STRUCTURAL COMPONENTS AND LINERS) AND PERMANENTLY STABILIZED PRIOR TO PAVING OR PRIOR TO THE ADDITION OF ANY IMPERVIOUS SURFACES. PERMANENT STABILIZATION INCLUDES, BUT IS NOT LIMITED TO: TOPSOIL, SEED, STRAW MULCH AND BINDERS OR EROSION CONTROL BLANKETS ON ALL SEEDING, ALL AGRONOMIC REQUIREMENTS AS SPECIFIED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN, STRUCTURES AND PROTECTIVE STORM CHANNELS. EROSION CONTROL BLANKETS SHALL BE INSTALLED IMMEDIATELY AFTER CONSTRUCTION OF THE BASIN. THE SIZES OF CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
- THE RIDING SURFACE OF ALL UTILITY TRENCHES WITH PAVED AREAS SHALL BE 3/4" CLEAN STONE OR BASE PAVEMENT UNTIL SUCH TIME AS PERMANENT STABILIZATION HAS BEEN INSTALLED. TEMPORARY SOIL RIDING SURFACES ARE PROHIBITED.
- ALL CONSTRUCTION DRAINAGE (TRENCHES, EXCAVATIONS, ETC.) MUST BE DONE THROUGH AN INLET OR OUTLET FILTER IN ACCORDANCE WITH THE STANDARD FOR DRAINAGE OR AS DEPICTED ON THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN. DISCHARGE LOCATIONS FOR THE DRAINAGE OPERATION MUST CONTAIN PERENNIAL VEGETATION OR SIMILAR STABLE SURFACE.
- ALL SWALES OR CHANNELS THAT WILL RECEIVE FLOW FROM PAVED SURFACES MUST BE PERMANENTLY STABILIZED PRIOR TO THE INSTALLATION OF PAVEMENT. IF THE SEASON PREVENTS THE ESTABLISHMENT OF PERMANENT STABILIZATION, THE SIZES OF CHANNELS MAY BE TEMPORARILY STABILIZED IN ACCORDANCE WITH THE STANDARDS.
- N.J.S.A. 4:24-39 ET SEQ. REQUIRES THAT NO CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY BE ISSUED BY THE MUNICIPALITY BEFORE THE PROVISIONS OF THE CERTIFIED SOIL EROSION AND SEDIMENT CONTROL PLAN HAVE BEEN SATISFIED. THEREFORE, ALL SITE WORK BEFORE SITE PLANS AND ALL WORK AROUND INDIVIDUAL LOTS IN SUBDIVISIONS MUST BE COMPLETED BEFORE THE DISTRICT ISSUES A REPORT OF COMPLIANCE OR CONDITIONAL REPORT OF COMPLIANCE, WHICH MUST BE FORWARDED TO THE MUNICIPALITY PRIOR TO THE ISSUANCE OF A CERTIFICATE OF OCCUPANCY OR TEMPORARY CERTIFICATE OF OCCUPANCY, RESPECTIVELY.

MERCER COUNTY SOIL CONSERVATION DISTRICT
 508 HUGHES DRIVE
 HAMILTON SQUARE, N.J. 08690

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING, PG. 19-1.
 - IMMEDIATELY NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - IMMEDIATELY PRIOR TO SEEDING, THE SURFACE SHOULD BE SCARIFIED TO A DEPTH OF 2 TO 12 INCHES WHERE THERE IS NO DAMAGE TO UNDERGROUND UTILITIES (CABLES, IRRIGATION SYSTEMS, ETC.).
 - SEEDBED PREPARATION
 - APPLY GROUND LIMESTONE AND FERTILIZER ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES.
 - FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 14 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE.
 - CALCIUM CARBONATE IS THE EQUIPMENT AND STANDARD FOR MEASURING THE AMOUNT OF LIQUID MULCH TO NEUTRALIZE SOIL ACIDITY AND SUPPLY CALCIUM AND MAGNESIUM TO GRASSES AND LEGUMES.
 - WORK LIME AND FERTILIZER INTO THE SOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRINGTOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - INSPECT BEFORE SEEDING. IF SOIL HAS LEFT THE SOIL CONTACT, THE AREA MUST BE RETILED IN ACCORDANCE WITH THE ABOVE.
 - SOILS HIGH IN SULFIDES OR HAVING A PH OF 4 OR LESS REFER TO STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS, PG. 1-1.
 - SEEDING
 - TEMPORARY VEGETATIVE STABILIZATION GRASSES, SEEDING RATES, DATES AND DEPTHS
 - PERENNIAL RYEGRASS - 100 LBS / ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 0.5 INCHES.
 - SPRING OATS - 80 LBS / ACRE; PLANT BETWEEN MARCH 1 AND MAY 15 BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - WINTER BARLEY - 90 LBS / ACRE; PLANT BETWEEN AUGUST 15 AND OCTOBER 1; AT A DEPTH OF 1.0 INCHES.
 - ANNUAL RYEGRASS - 100 LBS / ACRE; PLANT BETWEEN MARCH 1 AND JUNE 15 BETWEEN AUGUST 1 AND SEPTEMBER 15; AT A DEPTH OF 0.5 INCHES.
 - WINTER CEREAL RYE - 112 LBS / ACRE; PLANT BETWEEN MARCH 1 AND NOVEMBER 15; AT A DEPTH OF 1.0 INCHES.
 - WARM SEASON GRASSES:
 - PEARL MILLET - 20 LBS / ACRE; PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
 - MILLET (GERMAN OR HUNGARIAN) - 30 LBS / ACRE; PLANT BETWEEN MAY 15 AND AUGUST 15; AT A DEPTH OF 1.0 INCHES.
 - CONVENTIONAL SEEDING: APPLY SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL, TO A DEPTH OF 1/4 TO 1/2 INCH, BY RANKING OR BRACING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE TEXTURED SOIL.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK OR TRAILER MOUNTED TANK WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, REDUCED SEED GERMINATION AND GROWTH. HYDROSEEDING MAY BE USED FOR AREAS 100' STEEP FOR CONVENTIONAL EQUIPMENT TO TRAVERSE OR TOO OBSTRUCTED WITH ROCKS, STUMPS, ETC.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
- MULCHING
 - MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL INSURE AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
 - STRAW OR HAY, UNROTATED SMALL GRASS STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1-1/2 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.



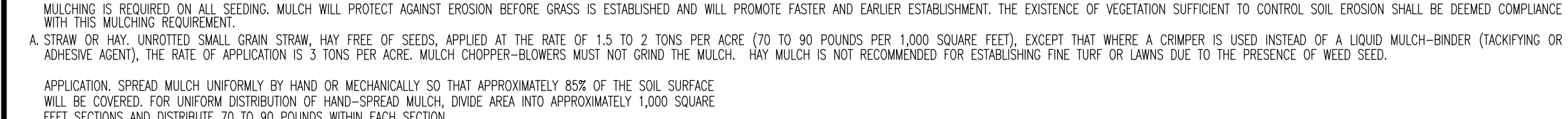
- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COST:
 - PEE AND TWINE
 - MULCH NETTINGS
 - CRIMPER MULCH ANCHORING COULTER TOOL
 - LIQUID MULCH-BINDERS

- WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- PELLETIZED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFYING AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

- SITE PREPARATION
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARD FOR LAND GRADING.
 - IMMEDIATELY NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
 - TOPSOIL SHOULD BE HANDLED ONLY WHEN IT IS DRY ENOUGH TO WORK WITHOUT DAMAGING THE SOIL STRUCTURE. A UNIFORM APPLICATION TO A DEPTH OF 5 INCHES (UNSETTLED) IS REQUIRED ON ALL SITES. TOPSOIL SHALL BE AMENDED WITH ORGANIC MATTER, AS NEEDED.
 - ACCORDANCE WITH THE STANDARD FOR TOPSOILING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS.
- SEEDBED PREPARATION
 - UNIFORMLY APPLY GROUND LIMESTONE AND FERTILIZER TO TOPSOIL WHICH HAS BEEN SPREAD AND FIRMED, ACCORDING TO SOIL TEST RECOMMENDATIONS SUCH AS OFFERED BY RUTGERS CO-OPERATIVE EXTENSION SOIL SAMPLE MAILERS ARE AVAILABLE FROM THE LOCAL RUTGERS COOPERATIVE EXTENSION OFFICES (HTTP://AMES.RUTGERS.EDU/COUNTY/).
 - FERTILIZER SHALL BE APPLIED AT THE RATE OF 500 POUNDS PER ACRE OR 14 POUNDS PER 1,000 SQUARE FEET OF 10-20-10 OR EQUIVALENT WITH 50% WATER INSOLUBLE NITROGEN UNLESS A SOIL TEST INDICATES OTHERWISE AND INCORPORATED INTO THE SURFACE 4 INCHES. IF FERTILIZER IS NOT INCORPORATED, APPLY ONE-HALF THE RATE DESCRIBED ABOVE DURING SEEDBED PREPARATION AND REPEAT ANOTHER ONE-HALF RATE APPLICATION OF THE SAME FERTILIZER WITHIN 3 TO 5 WEEKS AFTER SEEDING.
 - WORK LIME AND FERTILIZER INTO THE TOPSOIL AS NEARLY AS PRACTICAL TO A DEPTH OF 4 INCHES WITH A DISC, SPRING-TOOTH HARROW, OR OTHER SUITABLE EQUIPMENT. THE FINAL HARROWING OR DISKING OPERATION SHOULD BE ON THE GENERAL CONTOUR. CONTINUE TILLAGE UNTIL A REASONABLE UNIFORM SEEDBED IS PREPARED.
 - HIGH ACID PRODUCING SOILS HAVING A PH OF 4 OR LESS OR CONTAINING IRON SULFIDE SHALL BE COVERED WITH A MINIMUM OF 12 INCHES OF SOIL HAVING A PH OF 5 OR MORE BEFORE INITIATING SEEDBED PREPARATION. SEE STANDARD FOR MANAGEMENT OF HIGH ACID PRODUCING SOILS FOR SPECIFIC REQUIREMENTS.
- SEEDING
 - PERMANENT VEGETATIVE MIXTURES & PLANTING RATES

(1) HARD FESCUE -	175 LBS/ACRE	4 LBS/1000 SQ.FT.
(2) CHEWING FESCUE -	175 LBS/ACRE	4 LBS/1000 SQ.FT.
(3) STRONG CREEPING RED FESCUE -	175 LBS/ACRE	4 LBS/1000 SQ.FT.
(4) PERENNIAL RYEGRASS -	45 LBS/ACRE	1 LBS/1000 SQ.FT.
(5) KY. BLUEGRASS -	45 LBS/ACRE	1 LBS/1000 SQ.FT.
 - CONVENTIONAL SEEDING IS PERFORMED BY APPLYING SEED UNIFORMLY BY HAND, CYCLONE (CENTRIFUGAL) SEEDER, DROP SEEDER, DRILL OR CULTPACKER SEEDER. EXCEPT FOR DRILLED, HYDROSEEDED OR CULTPACKED SEEDINGS, SEED SHALL BE INCORPORATED INTO THE SOIL WITHIN 24 HOURS OF SEEDBED PREPARATION TO A DEPTH OF 1/4 TO 1/2 INCH, BY RANKING OR BRACING. DEPTH OF SEED PLACEMENT MAY BE 1/4 INCH DEEPER ON COARSE-TEXTURED SOIL.
 - AFTER SEEDING, FIRING THE SOIL WITH A CORRUGATED ROLLER WILL ASSURE GOOD SEED-TO-SOIL CONTACT, RESTORE CAPILLARITY, AND IMPROVE SEEDLING EMERGENCE. THIS IS THE PREFERRED METHOD. WHEN PERFORMED ON THE CONTOUR, SHEET EROSION WILL BE MINIMIZED AND WATER CONSERVATION ON SITE WILL BE MAXIMIZED.
 - HYDROSEEDING IS A BROADCAST SEEDING METHOD USUALLY INVOLVING A TRUCK, OR TRAILER-MOUNTED TANK, WITH AN AGITATION SYSTEM AND HYDRAULIC PUMP FOR MIXING SEED, WATER AND FERTILIZER AND SPRAYING THE MIX ONTO THE PREPARED SEEDBED. MULCH SHALL NOT BE INCLUDED IN THE TANK WITH SEED. SHORT FIBERED MULCH MAY BE APPLIED WITH A HYDROSEEDER FOLLOWING SEEDING. (ALSO SEE SECTION 4-MULCHING BELOW). HYDROSEEDING IS NOT A PREFERRED SEEDING METHOD BECAUSE SEED AND FERTILIZER ARE APPLIED TO THE SURFACE AND NOT INCORPORATED INTO THE SOIL. WHEN POOR SEED TO SOIL CONTACT OCCURS, THERE IS A REDUCED SEED GERMINATION AND GROWTH.
- MULCHING
 - MULCHING IS REQUIRED ON ALL SEEDING. MULCH WILL PROTECT AGAINST EROSION BEFORE GRASS IS ESTABLISHED AND WILL PROMOTE FASTER AND EARLIER ESTABLISHMENT. THE EXISTENCE OF VEGETATION SUFFICIENT TO CONTROL SOIL EROSION SHALL BE DEEMED COMPLIANCE WITH THIS MULCHING REQUIREMENT.
 - STRAW OR HAY, UNROTATED SMALL GRASS STRAW, HAY FREE OF SEEDS, APPLIED AT THE RATE OF 1.5 TO 2 TONS PER ACRE (70 TO 90 POUNDS PER 1,000 SQUARE FEET), EXCEPT THAT WHERE A CRIMPER IS USED INSTEAD OF A LIQUID MULCH-BINDER (TACKIFYING OR ADHESIVE AGENT), THE RATE OF APPLICATION IS 3 TONS PER ACRE. MULCH CHOPPER-BLOWERS MUST NOT GRIND THE MULCH. HAY MULCH IS NOT RECOMMENDED FOR ESTABLISHING FINE TURF OR LAWNS DUE TO THE PRESENCE OF WEED SEED.



- ANCHORING SHALL BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA, STEEPNESS OF SLOPES, AND COST:
 - PEE AND TWINE
 - MULCH NETTINGS
 - CRIMPER MULCH ANCHORING COULTER TOOL
 - LIQUID MULCH-BINDERS

- WOOD-FIBER OR PAPER-FIBER MULCH - SHALL BE MADE FROM WOOD, PLANT FIBERS OR PAPER CONTAINING NO GROWTH OR GERMINATION INHIBITING MATERIALS. USED AT THE RATE OF 1,500 POUNDS PER ACRE (OR AS RECOMMENDED BY THE PROJECT MANUFACTURER) AND MAY BE APPLIED BY A HYDROSEEDER. MULCH SHALL NOT BE MIXED WITH SEED. USE IS LIMITED TO FLATTER SLOPES AND DURING OPTIMUM SEEDING PERIODS IN SPRING AND FALL.
- PELLETIZED MULCH - COMPRESSED AND EXTRUDED PAPER AND/OR WOOD FIBER PRODUCT, WHICH MAY CONTAIN CO-POLYMERS, TACKIFIERS, FERTILIZERS AND COLORING AGENTS. THE DRY PELLETS, WHEN APPLIED TO A SEEDBED AREA AND WATERED, FORM A MULCH MAT. PELLETIZED MULCH SHALL BE APPLIED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. MULCH MAY BE APPLIED BY HAND OR MECHANICAL SPREADER AT THE RATE OF 60-75 LBS/1,000 SQUARE FEET AND ACTIVATED WITH 0.2 TO 0.4 INCHES OF WATER. THIS MATERIAL HAS BEEN FOUND TO BE BENEFICIAL FOR USE ON SMALL LAWN OR RENOVATION AREAS. SEEDED AREAS WHERE WEED-SEED FREE MULCH IS DESIRED OR ON SITES WHERE STRAW MULCH AND TACKIFYING AGENT ARE NOT PRACTICAL OR DESIRABLE. APPLYING THE FULL 0.2 TO 0.4 INCHES OF WATER AFTER SPREADING PELLETIZED MULCH ON THE SEED BED IS EXTREMELY IMPORTANT FOR SUFFICIENT ACTIVATION AND EXPANSION OF THE MULCH TO PROVIDE SOIL COVERAGE.

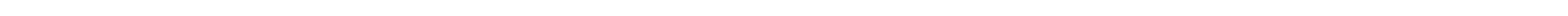
STANDARD FOR STABILIZATION WITH MULCH ONLY

- SITE PREPARATION
 - GRADE AS NEEDED AND FEASIBLE TO PERMIT THE USE OF CONVENTIONAL EQUIPMENT FOR SEEDBED PREPARATION, SEEDING, MULCH APPLICATION, AND MULCH ANCHORING. ALL GRADING SHOULD BE DONE IN ACCORDANCE WITH STANDARDS FOR LAND GRADING.
 - INSTALL NEEDED EROSION CONTROL PRACTICES OR FACILITIES SUCH AS DIVERSIONS, GRADE STABILIZATION STRUCTURES, CHANNEL STABILIZATION MEASURES, SEDIMENT BASINS, AND WATERWAYS. SEE STANDARDS 11 THROUGH 42.
- PROTECTIVE MATERIALS
 - UNROTATED SMALL-GRASS STRAW, AT 2.0 TO 2.5 TONS PER ACRE IS SPREAD UNIFORMLY TO AT APPROXIMATELY 85% OF THE SOIL SURFACE AND ANCHORED WITH A MULCH ANCHORING TOOL, LIQUID MULCH BINDERS, OR NETTING THE DOWN. OTHER SUITABLE MATERIALS MAY BE USED IF APPROVED BY THE SOIL CONSERVATION DISTRICT. THE APPROVED RATES ABOVE HAVE BEEN MET WHEN THE MULCH COVERS THE GROUND COMPLETELY UPON VISUAL INSPECTION, I.E. THE SOIL CANNOT BE SEEN BELOW THE MULCH.
 - SYNTHETIC GRASS MATS OR OTHER PROTECTIVE MATERIALS MAY BE USED UNDER SUITABLE CONDITIONS AND IN QUANTITIES AS RECOMMENDED BY THE MANUFACTURER.
 - WOOD-FIBER OR PAPER-FIBER MULCH AT THE RATE OF 1,500 POUNDS PER ACRE (OR ACCORDING TO THE MANUFACTURER'S REQUIREMENTS) MAY BE APPLIED BY A HYDROSEEDER.
 - MULCH NETTING SUCH AS PAPER-LITE, EXCESSION CONTROL OR PLASTIC MAY BE USED.
 - WOODCHIPS APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 2 INCHES MAY BE USED. WOODCHIPS WILL NOT BE USED ON AREAS WHERE FLOWING WATER COULD WASH THEM INTO AN INLET AND PLUG IT.
 - GRAVEL, CRUSHED STONE, OR SLAG AT THE RATE OF 9 CUBIC YARDS PER 1,000 SQ. FT. APPLIED UNIFORMLY TO A MINIMUM DEPTH OF 3 INCHES MAY BE USED. SIZE 2 OR 3 (ASTM C-33) IS RECOMMENDED.
- MULCH ANCHORING - SHOULD BE ACCOMPLISHED IMMEDIATELY AFTER PLACEMENT OF HAY OR STRAW MULCH TO MINIMIZE LOSS BY WIND OR WATER. THIS MAY BE DONE BY ONE OF THE FOLLOWING METHODS IN ACCORDANCE WITH THE STATE STANDARDS, DEPENDING UPON THE SIZE OF THE AREA AND STEEPNESS OF SLOPES:
 - PEE AND TWINE
 - MULCH NETTINGS
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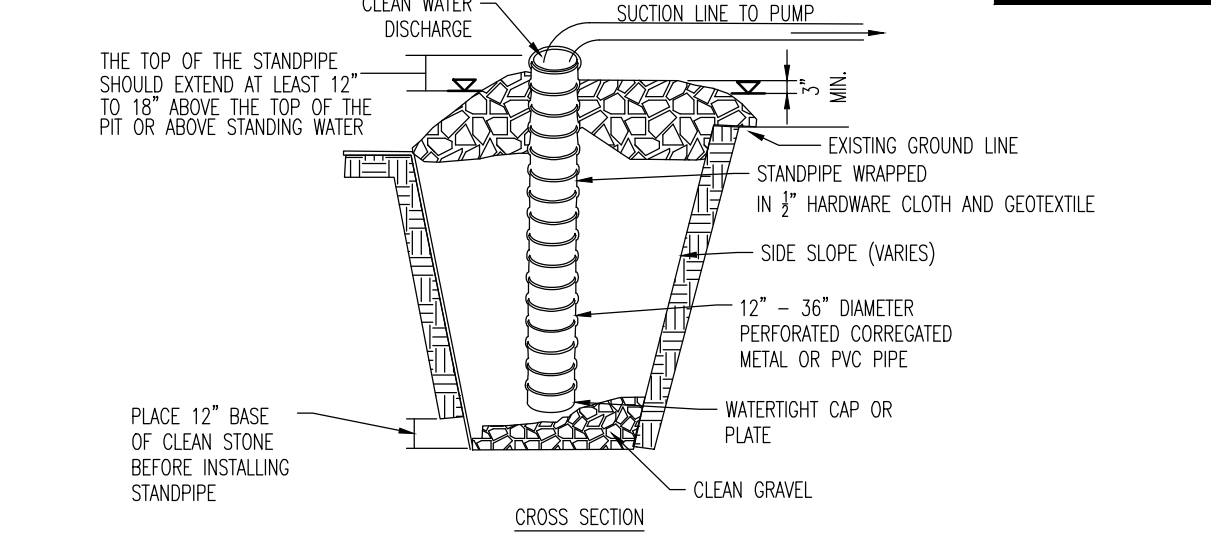
SEQUENCE OF CONSTRUCTION:

- INSTALL STONE ANTI-TRACKING PAD AND OTHER SOIL EROSION SEDIMENT CONTROL MEASURES INCLUDING DOWN SLOPE PERIMETER HAY BALES AND SILT FENCING.
- CLEAR AND ROUGH GRADING OF BUILDINGS AND OTHER STRUCTURES INCLUDING EXCAVATION.
- EXCAVATE AND INSTALL UNDERGROUND PIPING AND DRAINAGE STRUCTURES.
- EXCAVATE FOR BUILDING.
- COMPLETE BUILDING CONSTRUCTION.
- EXCAVATE AND INSTALL ON SITE IMPROVEMENTS INCLUDING CURBING, UNDERGROUND PIPING, AND DRAINAGE STRUCTURES.
- FINAL GRADING TO A DEPTH OF 1/2" OF TOPSOIL.
- INSTALL PAVING, CONCRETE, AND FINAL VEGETATION INCLUDING SEEDING AND LANDSCAPING.

PREFORMED SCOUR HOLE DETAIL

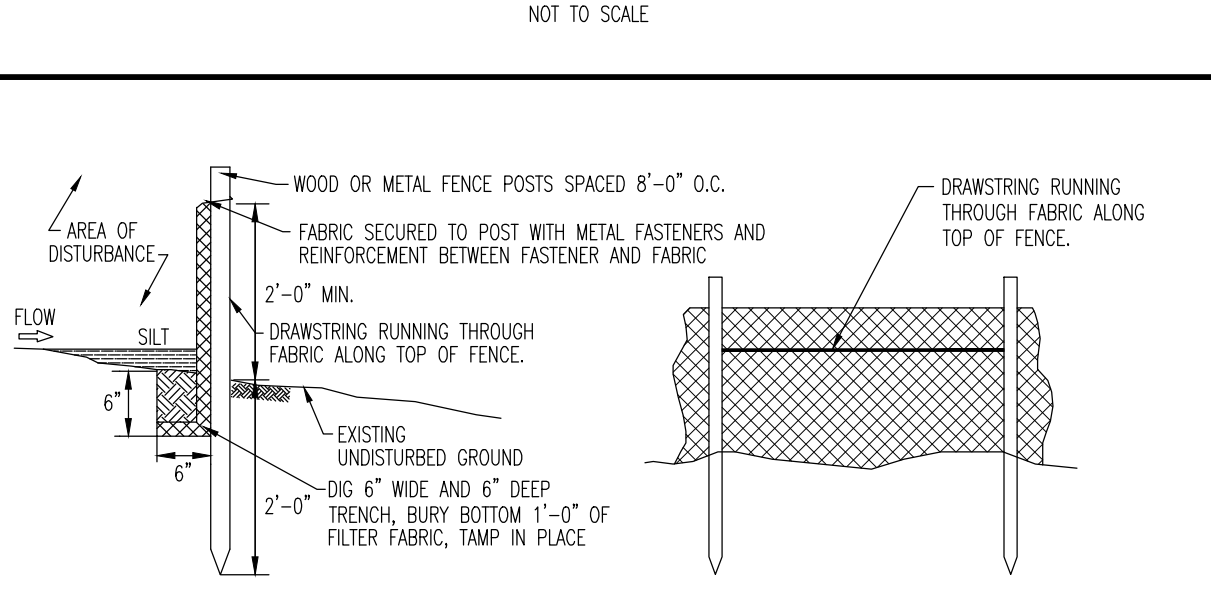


MUNICIPAL, COUNTY, STATE AND MVA DETAILS TO SUPERCEDE DYNAMIC ENGINEERING DETAILS WHERE APPLICABLE

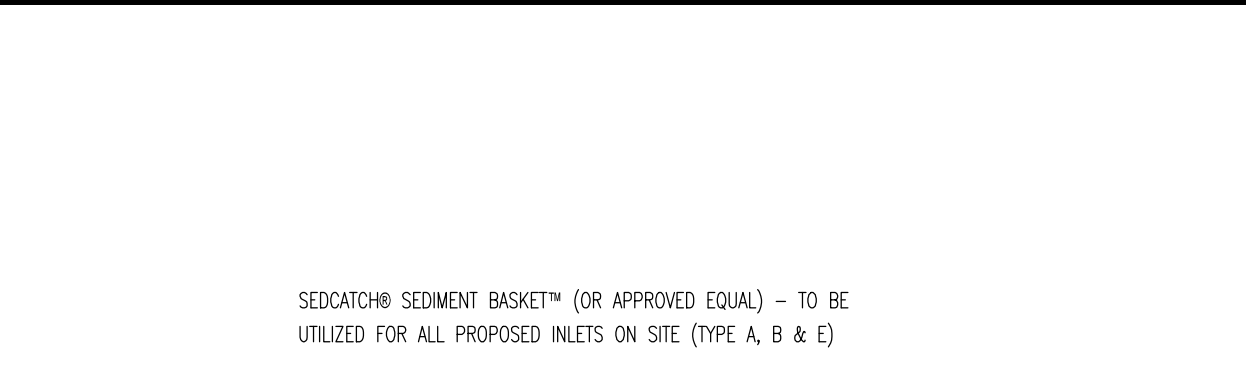


- PIT DIMENSIONS ARE VARIABLE, WITH THE MINIMUM DIAMETER BEING 2 TIMES THE STANDPIPE DIAMETER.
- THE STANDPIPE SHOULD BE CONSTRUCTED BY PERFORATING A 12" TO 24" DIAMETER CORRUGATED OR PVC PIPE, THEN WRAPPING WITH 2" HARDWARE CLOTH AND GEOTEXTILE FABRIC. THE PERFORATIONS SHALL BE 2" X 6" SLOTS OR 1" DIAMETER HOLES.
- A BASE OF FILTER MATERIAL CONSISTING OF CLEAN GRAVEL OR ASTM C33 STONE SHOULD BE PLACED IN THE PIT TO A DEPTH OF 1/2" AFTER INSTALLING THE STANDPIPE. THE PIT SURROUNDING THE STANDPIPE SHOULD THEN BE BACKFILLED WITH THE SAME FILTER MATERIAL.
- THE STANDPIPE SHOULD EXTEND 12" TO 18" ABOVE THE LIP OF THE PIT OR THE RISER GREAT ELEVATION (BASIN DRAINING ONLY) AND THE FILTER MATERIAL SHOULD EXTEND 3" MINIMUM ABOVE THE ANTICIPATED STANDING WATER ELEVATION.

DEWATERING DETAIL



- PLACE SILT FENCE AT LOCATIONS AS SHOWN ON THE SOIL EROSION AND SEDIMENT CONTROL PLAN.
- THE SLOPE OF THE LAND FOR AT LEAST 30 FEET ADJACENT TO ANY SILT FENCE SHALL NOT EXCEED 5 PERCENT.
- SILT FENCE SHALL BE INSTALLED SO MINIMUM BARRIERS THE FENCE SHALL BE INSTALLED TO THE PERKS, USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (POLYIM WEAVING, GRAMMETS, WISHERS ETC.) PLACED BETWEEN THE FASTENERS AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR KICK STRONG.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE MADE AS PROMPTLY AS POSSIBLE.
- SILT FENCE SHALL REMAIN IN PLACE FOR THE DURATION OF THE PROJECT UNLESS OTHERWISE INSTRUCTED BY THE TOWNSHIP ENGINEER OR SOIL CONSERVATION DISTRICT.
- THE BARRIER SHALL BE REMOVED WHEN THE CONTRIBUTING DRAINAGE AREA HAS BEEN STABILIZED SO AS NOT TO BLOCK OR IMPEDIE STORM FLOW OR DRAINAGE.
- FENCE POSTS SHALL BE SPACED 8 FEET CENTER-TO-CENTER OR CLOSER. THEY SHALL EXTEND AT LEAST 2 FEET INTO THE GROUND AND EXTEND AT LEAST 2 FEET ABOVE GROUND. POSTS SHALL BE CONSTRUCTED OF HARDWOOD A MIN. DIAMETER THICKNESS OF 1 1/2 INCHES.
- A METAL FENCE WITH 6 INCH OR SMALLER OPENINGS AND AT LEAST 2 FEET HIGH SHALL BE INSTALLED, FASTENED TO THE FENCE POSTS, TO PROVIDE REINFORCEMENT AND SUPPORT TO THE GEOTEXTILE FABRIC. SPACING FOR OTHER PRACTICES IS LIMITED AND HEAVY SEAMANT LOADING IS EXPECTED.
- A GEOTEXTILE FABRIC, RECOMMENDED FOR SUCH USE BY THE MANUFACTURER, SHALL BE BURIED AT LEAST 6 INCHES DEEP IN THE GROUND. THE FABRIC SHALL EXTEND AT LEAST 2 FEET ABOVE GROUND. FABRIC MUST BE SECURELY FASTENED TO THE PERKS, USING A SYSTEM CONSISTING OF METAL FASTENERS (NAILS OR STAPLES) AND HIGH STRENGTH REINFORCEMENT MATERIAL (POLYIM WEAVING, GRAMMETS, WISHERS ETC.) PLACED BETWEEN THE FASTENERS AND THE GEOTEXTILE FABRIC. THE FASTENING SYSTEM SHALL RESIST TEARING AWAY FROM THE POST. THE FABRIC SHALL INCORPORATE A DRAWSTRING IN THE TOP PORTION OF THE FENCE FOR KICK STRONG.



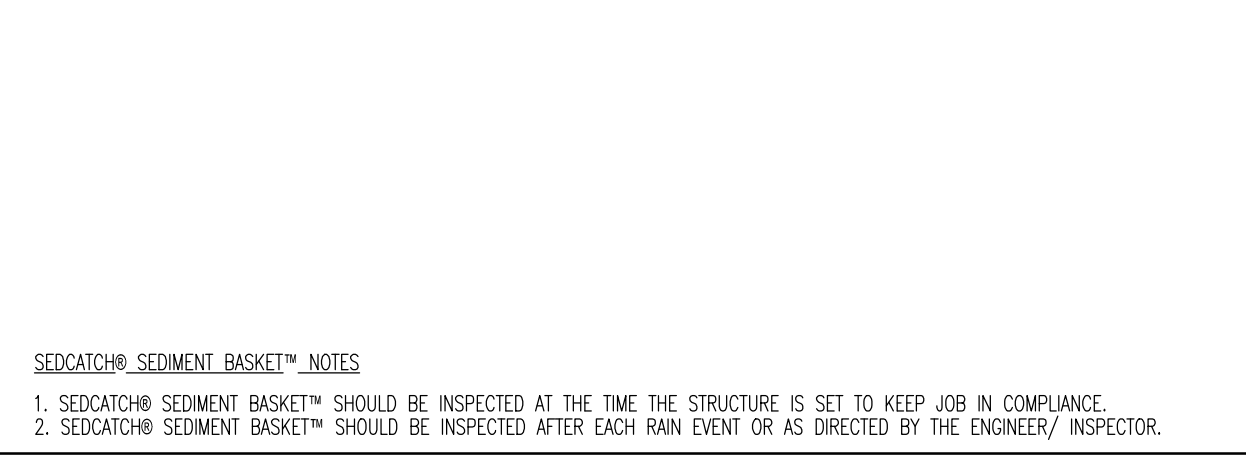
- SEDITACH8 SEDIMENT BASKET™ (OR APPROVED EQUIV.) - TO BE UTILIZED FOR ALL PROPOSED INLETS ON SITE (TYPE A, B & C)
- INSTALLATION INSTRUCTIONS:
- REMOVE GRATE.
 - PLACE MAIN BASKET ON THE LIP OF THE STORM SEWER.
 - PLACE DUMP BASKET™ IN THE MAIN BASKET.
 - REPLACE GRATE.

- MAINTENANCE INSTRUCTIONS:
- INSPECT AFTER EACH RAIN OR AS DIRECTED BY ENGINEER/INSPECTOR.
 - IF SEDITACH8 DUMP BASKET™ CONTAINS SEDIMENT:
 - LIFT DUMP BASKET OUT OF THE MAIN BASKET.
 - DISPOSE OF CONTENTS IN A SUITABLE LOCATION.
 - REPLACE GRATE.
 - REPLACE GRATE.
 - AFTER APPROXIMATELY 10-20 DUMPS, OR AS NEEDED, REMOVE SEDIMENT THAT HAS FOUND ITS WAY AROUND THE DUMP BASKET™ THAT IS RESTING IN THE BOTTOM OF THE MAIN BASKETS:
 - WALK THE DUMP BASKET™ HAS BEEN REMOVED, LIFT OUT THE MAIN BASKET.
 - DISPOSE OF THE CONTENTS IN A SUITABLE LOCATION.
 - REPLACE MAIN BASKET ON STORM SEWER FRAME LIP.
 - PLACE DUMP BASKET™ IN MAIN BASKET.
 - REPLACE GRATE.

- ADVANTAGES:
- SEDIMENT IS COLLECTED IN CONVENIENT DUMP BASKET™
 - NO EQUIPMENT TO REMOVE SEDIMENT
 - LONG LIFE, WELDED WIRE BASKET IS STRONGER THAN FABRIC ALIAS
 - IT IS NOT DEPENDENT UPON THE STRENGTH OF FABRIC
 - THE NECESSARY SEAMS TO PROVIDE SUPPORT
 - THE FABRIC IS NOT AS SUSCEPTIBLE TO DAMAGE FROM DRIFTING, THE PRESSURE VIBRATIONS ULTIMATELY ELIMINATES THE ABRASION, PULLING, AND TEARING WHILE EMPTYING SEDIMENT.

Seditach8 Environmental Products
 www.Seditach.com

INLET PROTECTION DETAIL

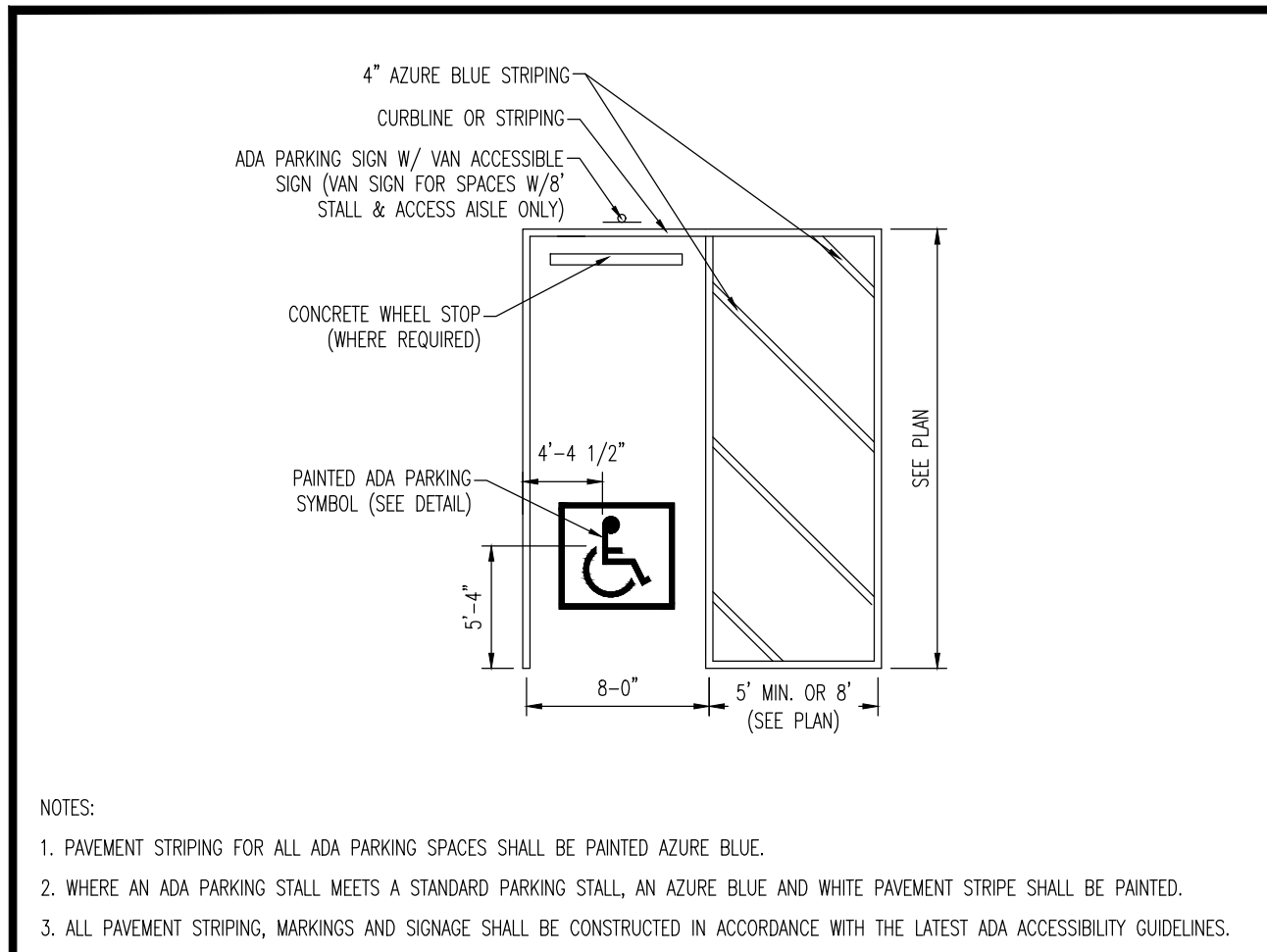


- BALES SHALL BE PLACED AT THE TOP OF A SLOPE OR ON THE CONTOUR AND IN A ROW WITH ENDS TIGHTLY ABUTTING THE ADJACENT BALES.
- EACH BALE SHALL BE PLACED SO THE BANNING IS HORIZONTAL.
- BALES SHALL BE SECURELY ANCHORED IN PLACE BY EITHER TWO STAKES OR RE-BARS DRIVEN THROUGH THE BALE.
- THE FIRST STAKE IN EACH BALE SHALL BE DRIVEN TOWARD THE PROXIMALLY LAID BALE AT AN ANGLE TO THE BALE. TOGETHER STAKES SHALL BE DRIVEN FLUSH WITH THE BALE.
- INSPECTION SHALL BE FREQUENT AND REPAIR OR REPLACEMENT SHALL BE PROMPTLY AS NEEDED.
- BALES SHALL BE REMOVED WHEN THEY HAVE SERVED THEIR USEFULNESS SO AS NOT TO BLOCK OR IMPEDIE STORM FLOW OR DRAINAGE.

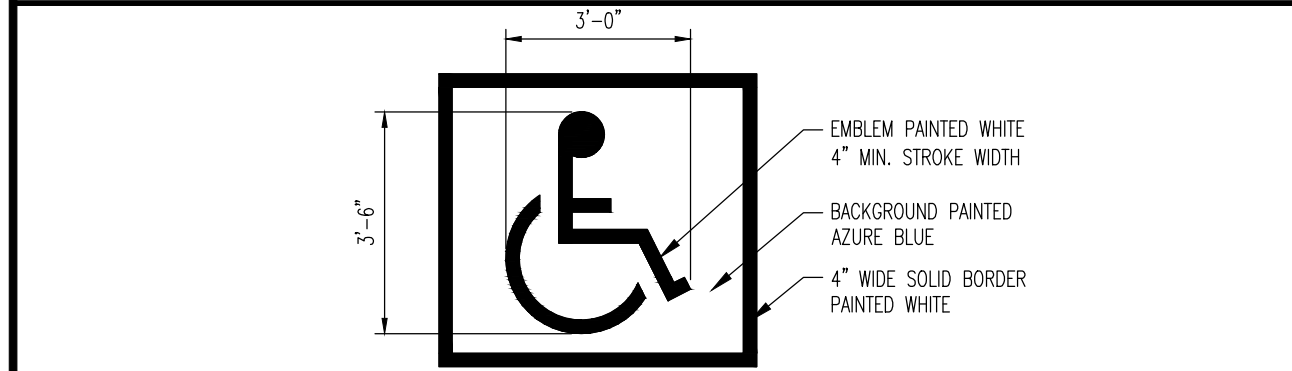
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THIS PLAN SET IS FOR PERMITTING PURPOSES ONLY AND MAY NOT BE USED FOR CONSTRUCTION

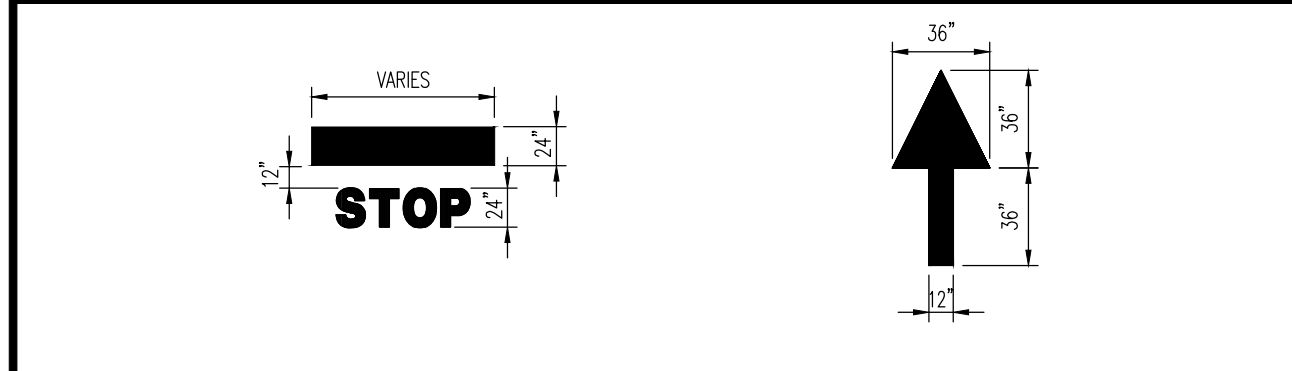
DYNAMIC ENGINEERING
 LAND DEVELOPMENT CONSULTING • PERMITTING • GEOTECHN



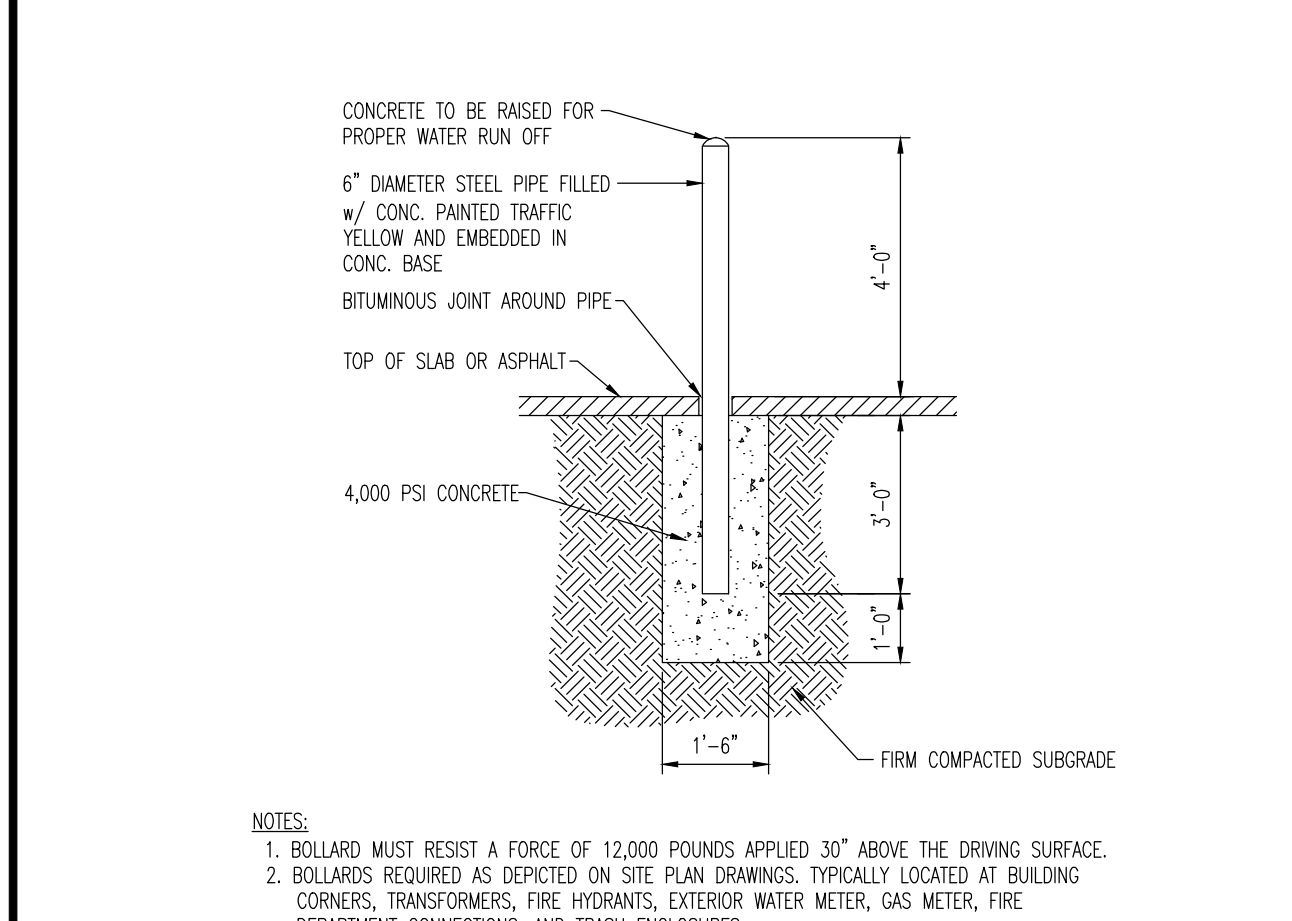
ADA STALL MARKINGS DETAIL
NOT TO SCALE



PAINTED A.D.A. PARKING SYMBOL DETAIL
NOT TO SCALE



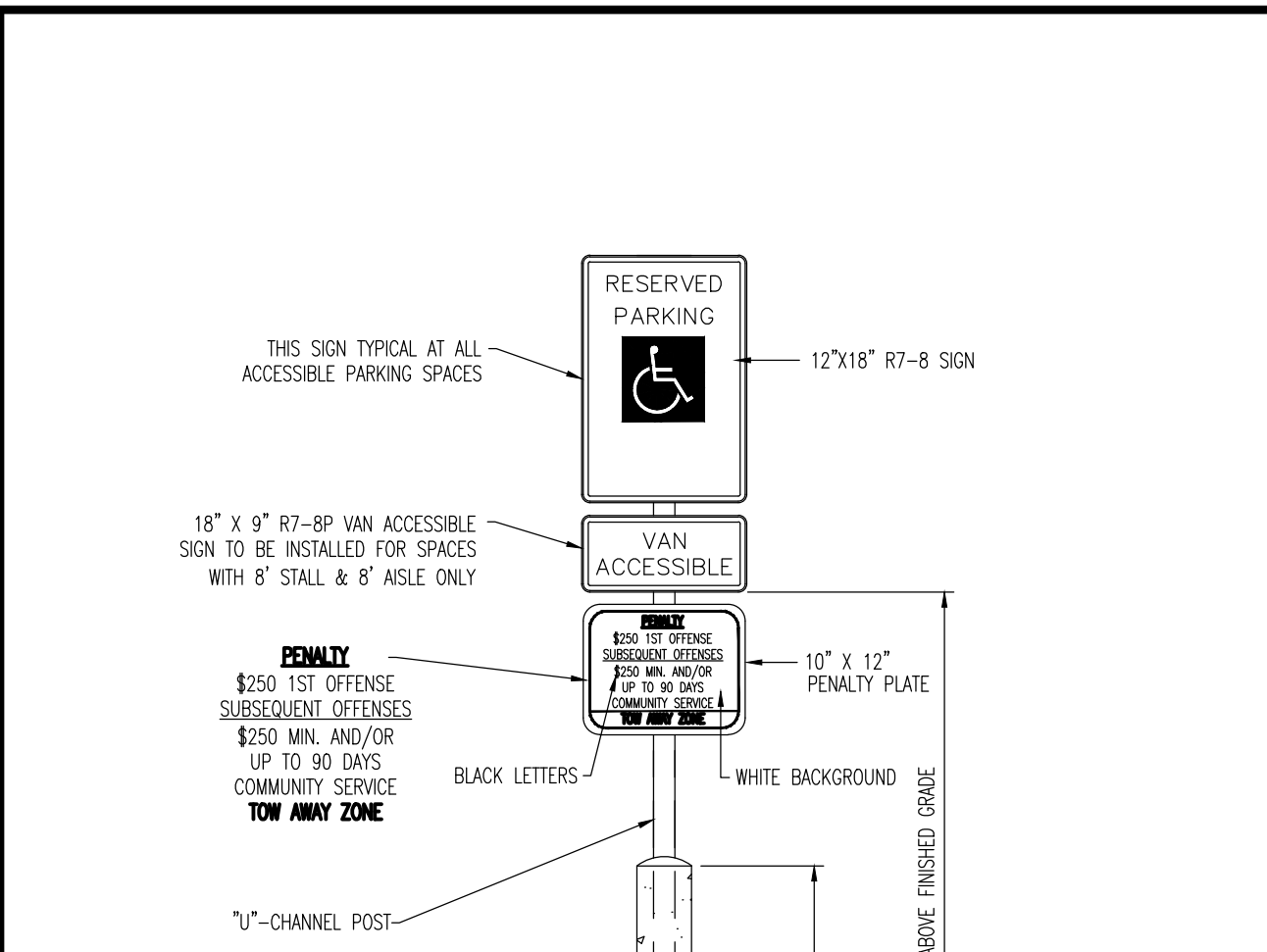
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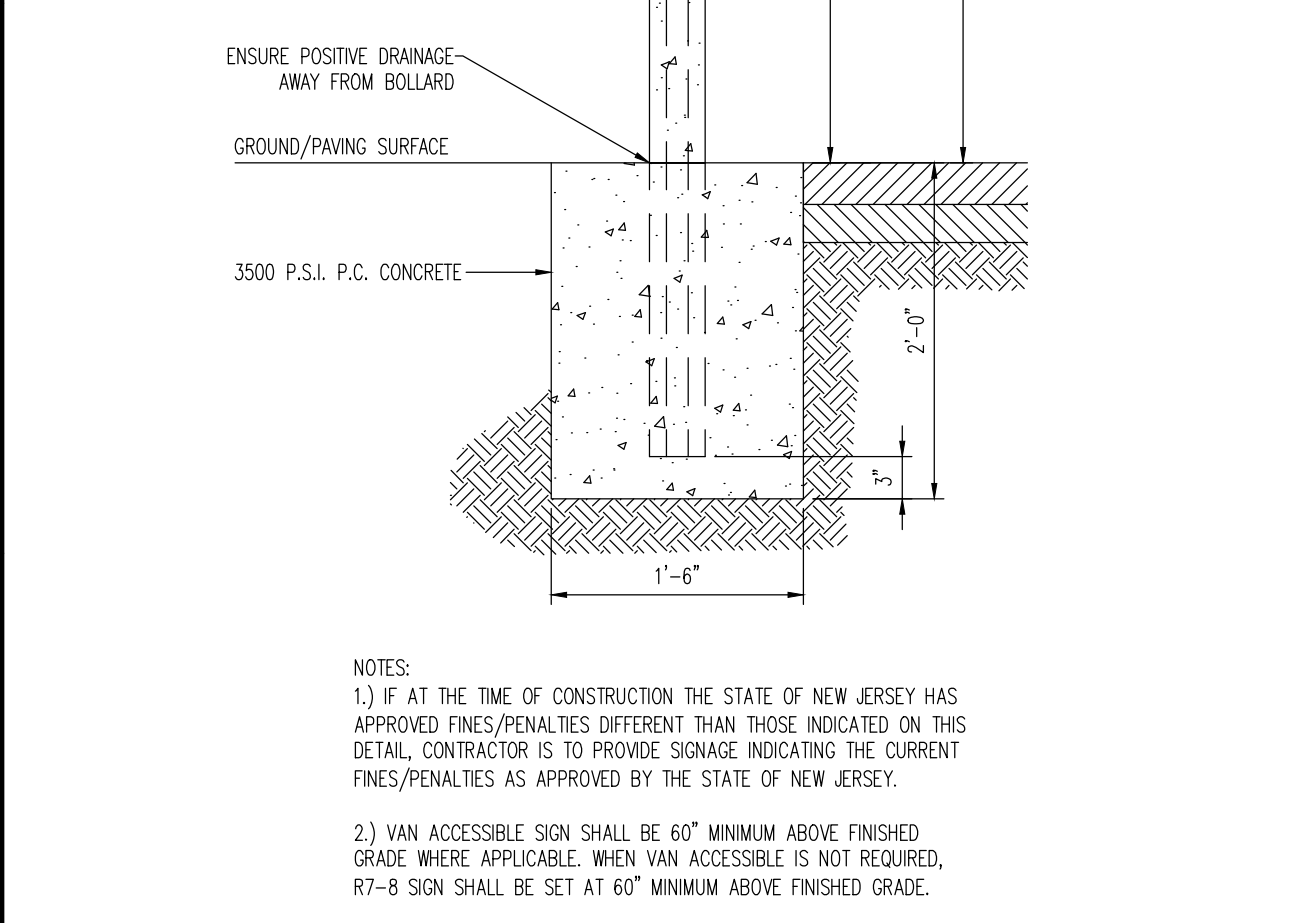
6" BOLLARD DETAIL (HOTEL ONLY)
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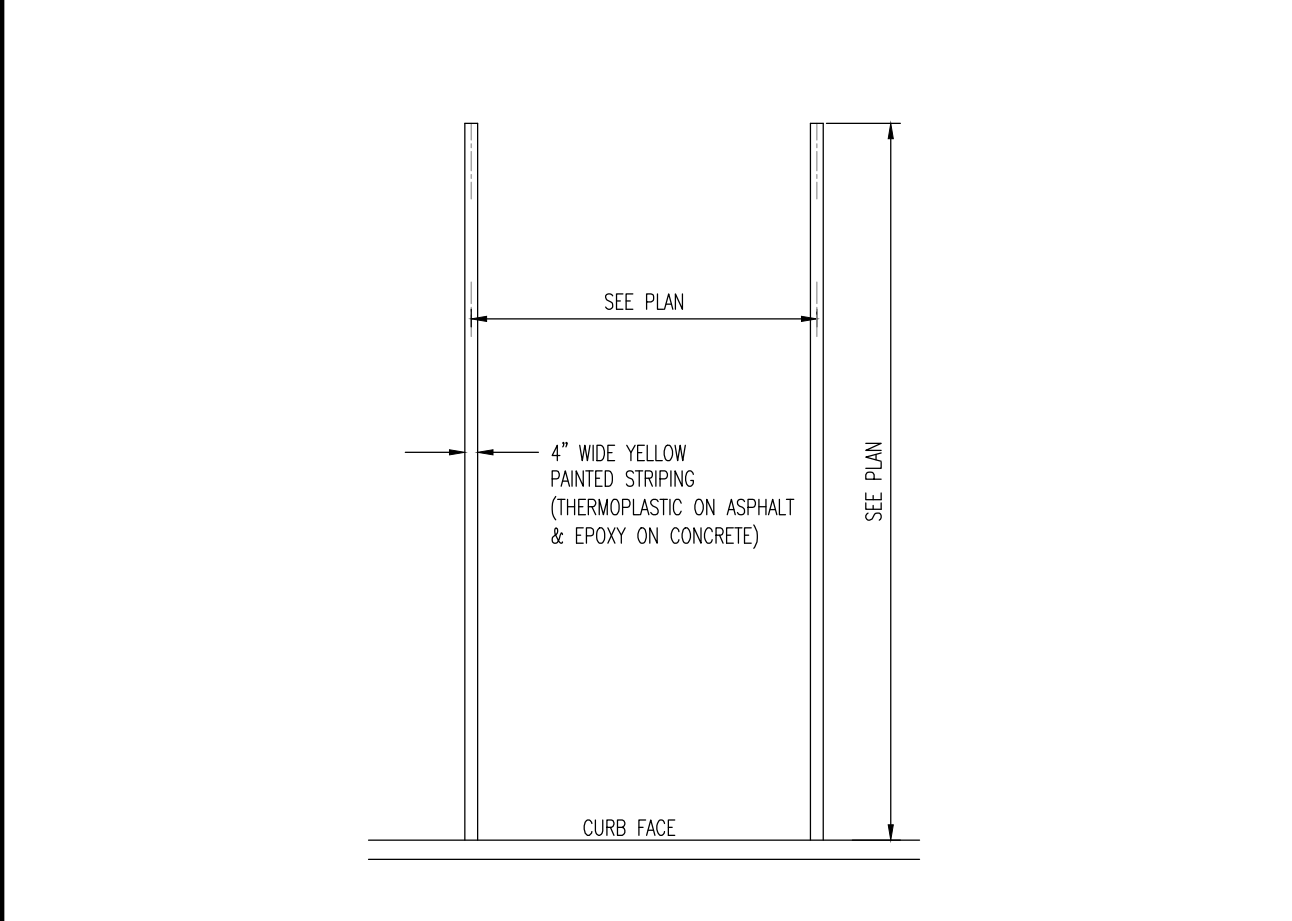
ALUMINUM PICKET FENCE DETAIL
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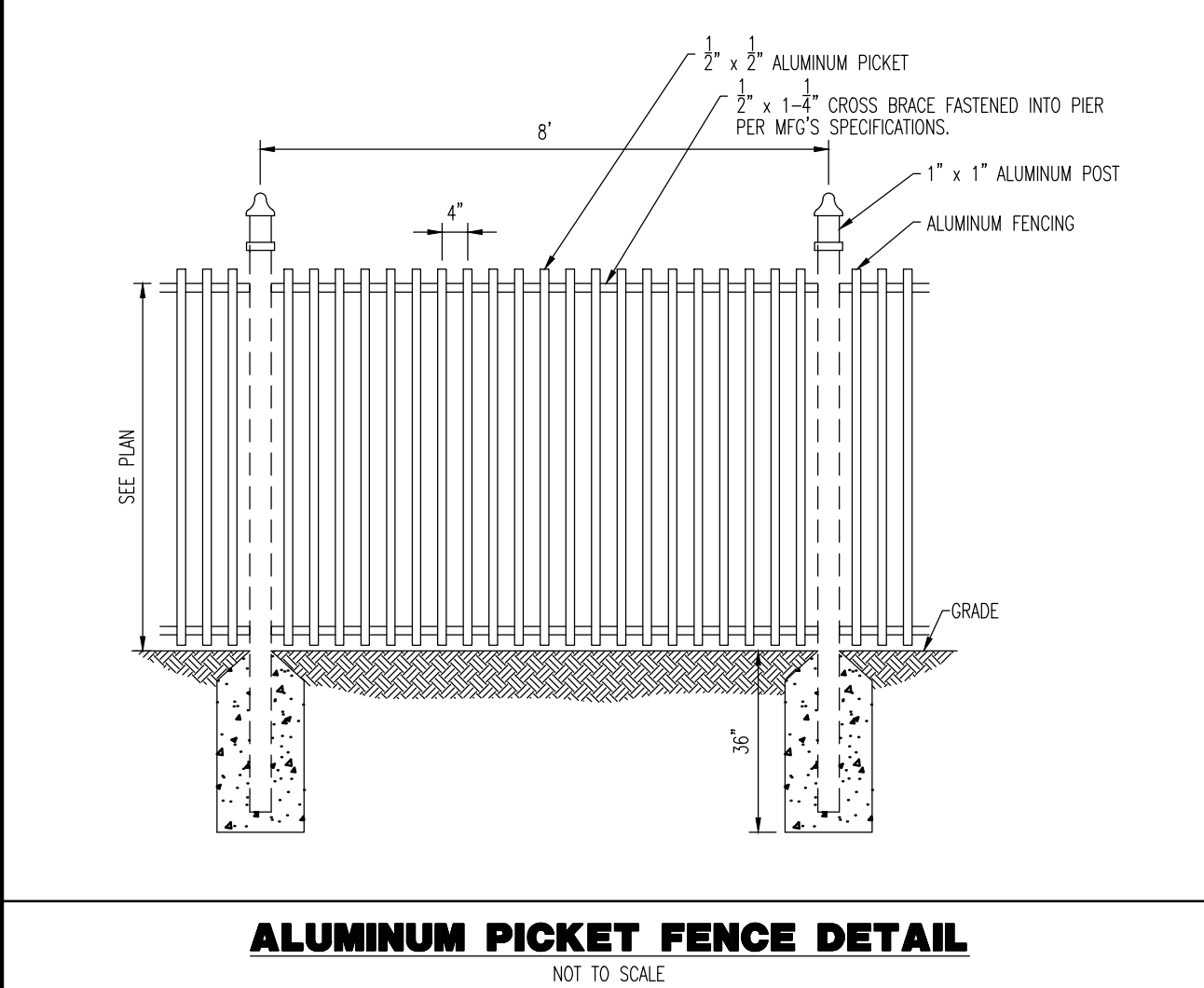
RESERVED PARKING SIGN
NOT TO SCALE



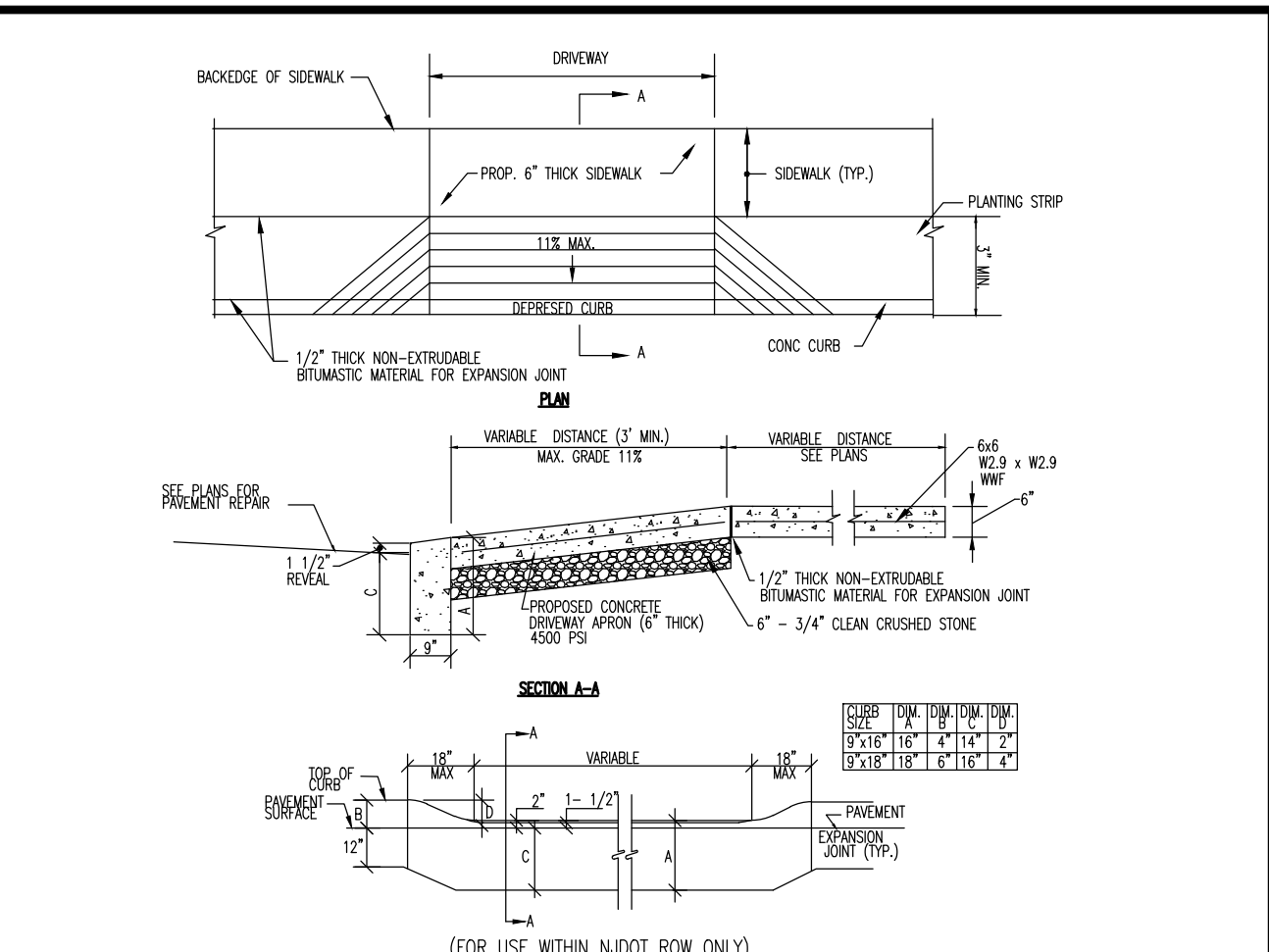
A.D.A. PARKING SIGN ON BOLLARD DETAIL
NOT TO SCALE



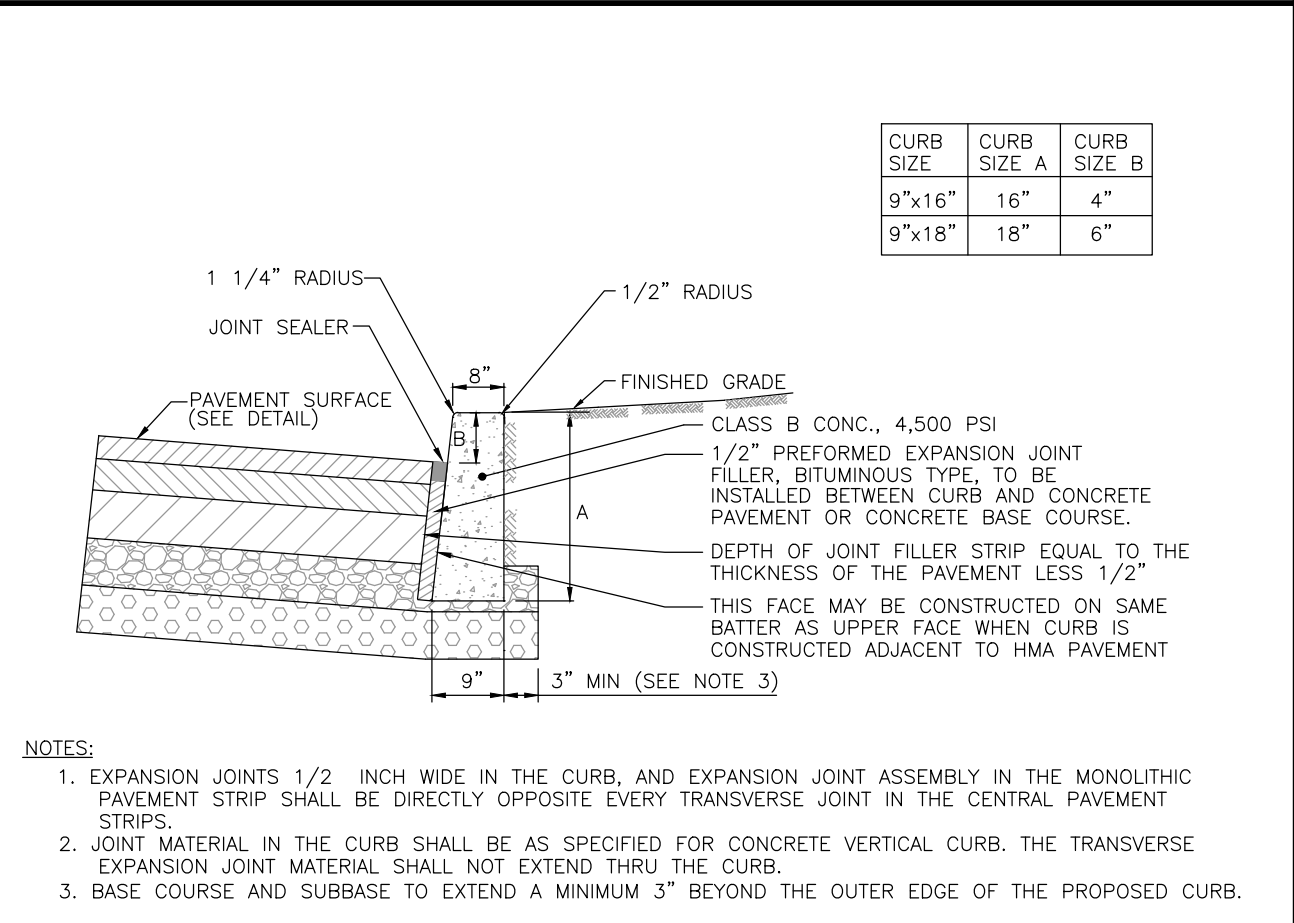
PARKING STALL STRIPING DETAIL
NOT TO SCALE



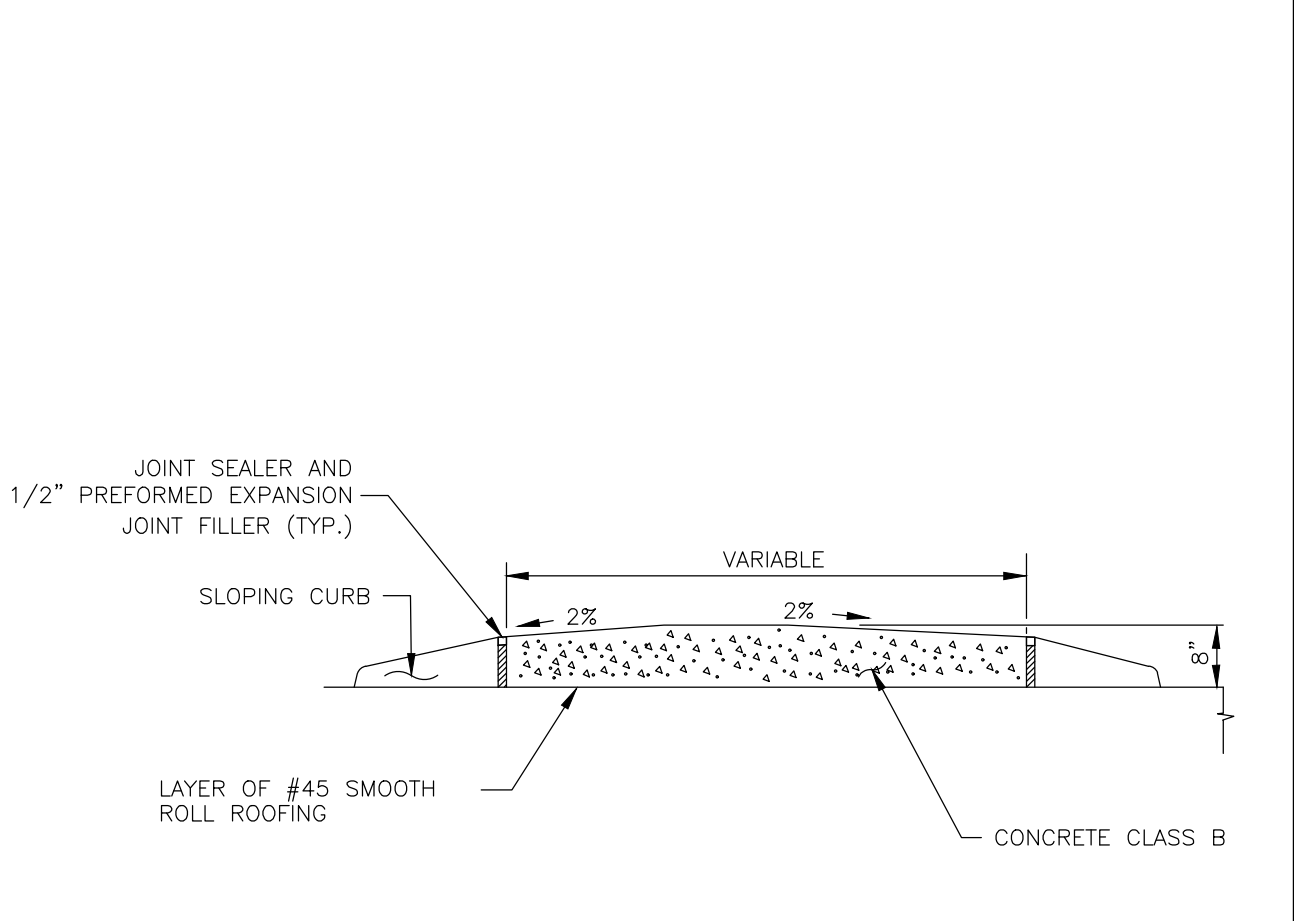
DOGHOUSE MANHOLE DETAIL
NOT TO SCALE



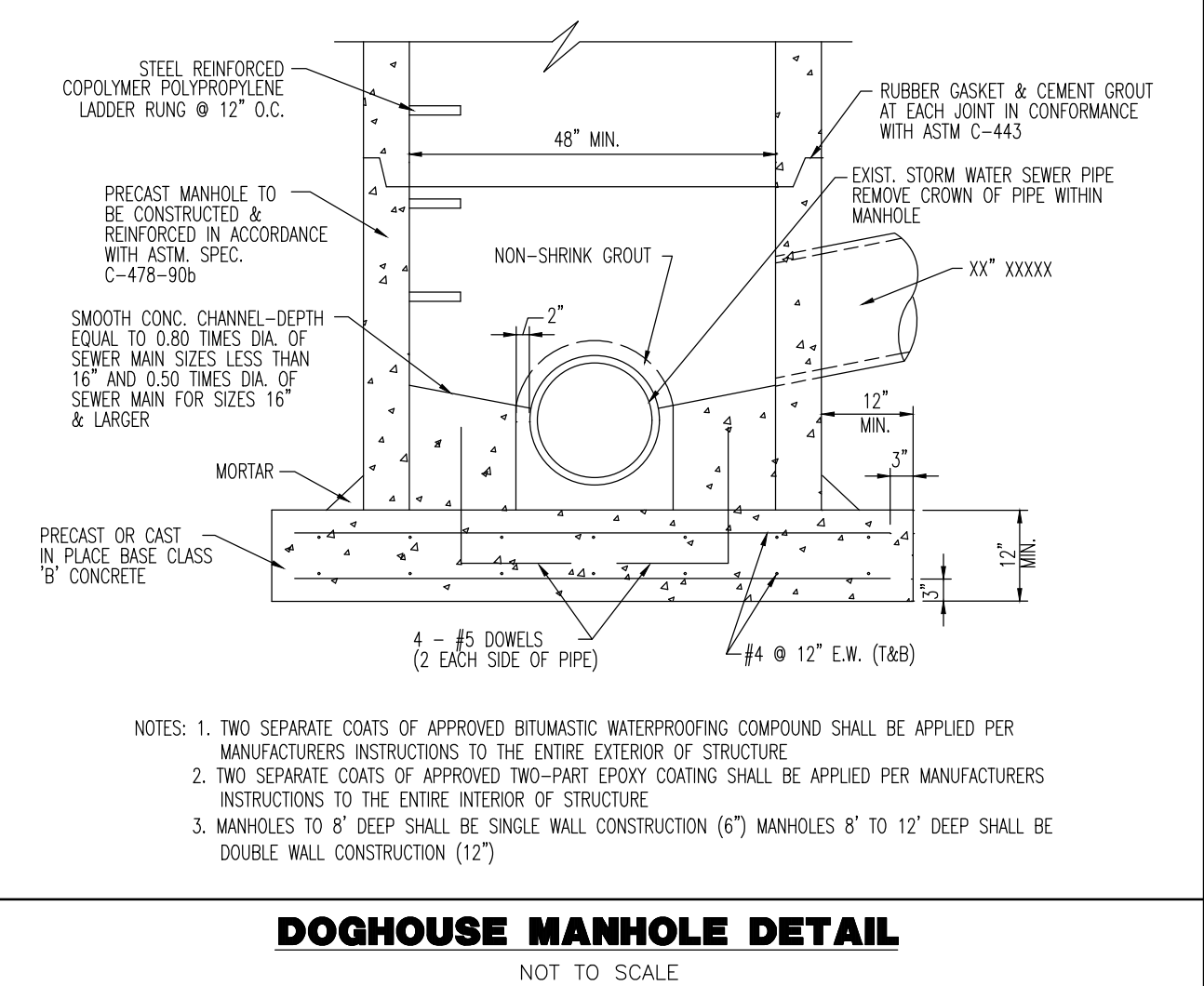
DEPRESSED CURB & CONCRETE APRON AT DRIVEWAY DETAIL
NOT TO SCALE



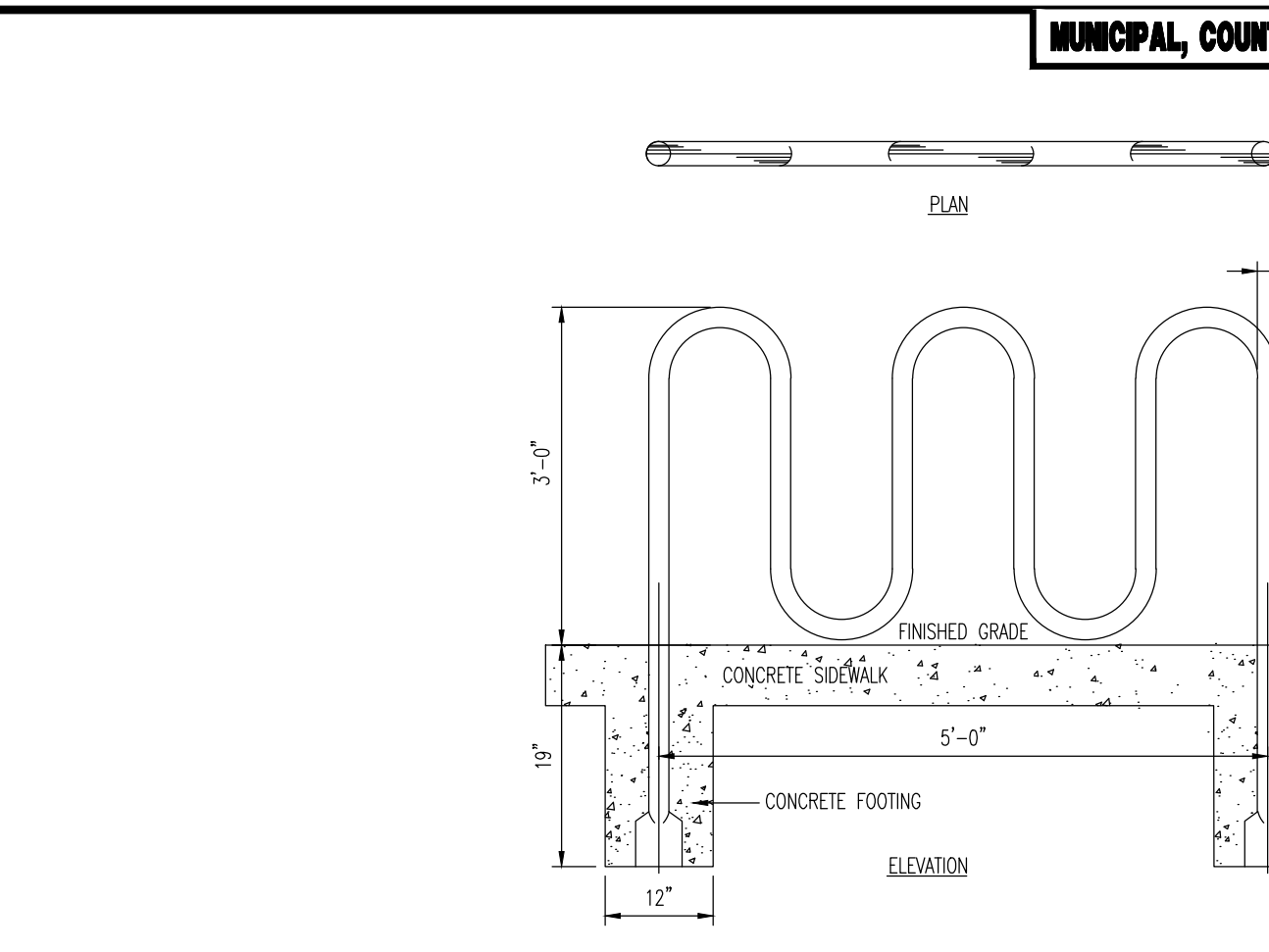
CONCRETE VERTICAL CURB DETAIL
NOT TO SCALE



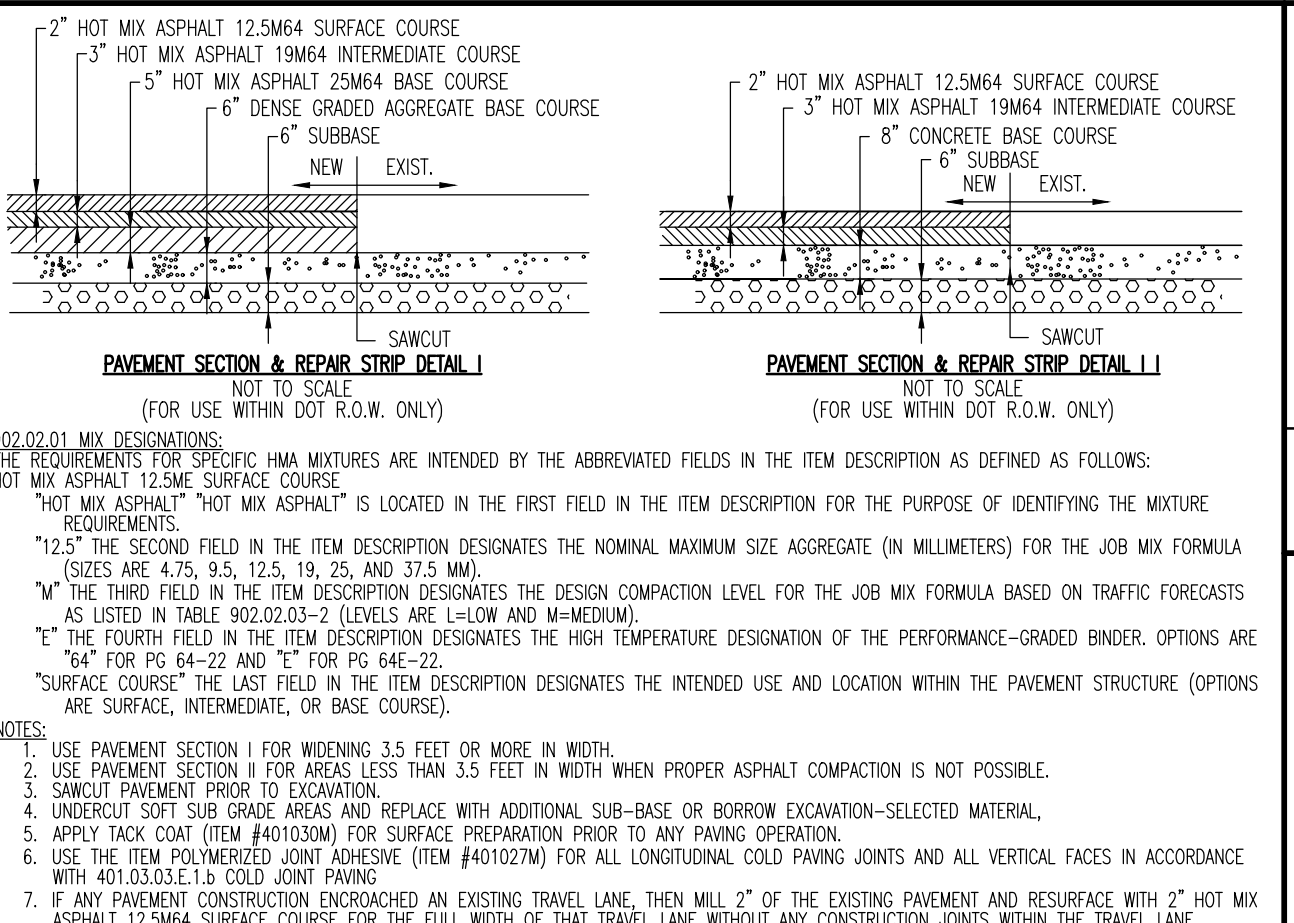
MOUNTABLE CONCRETE/WHITE CONCRETE ISLAND
NOT TO SCALE



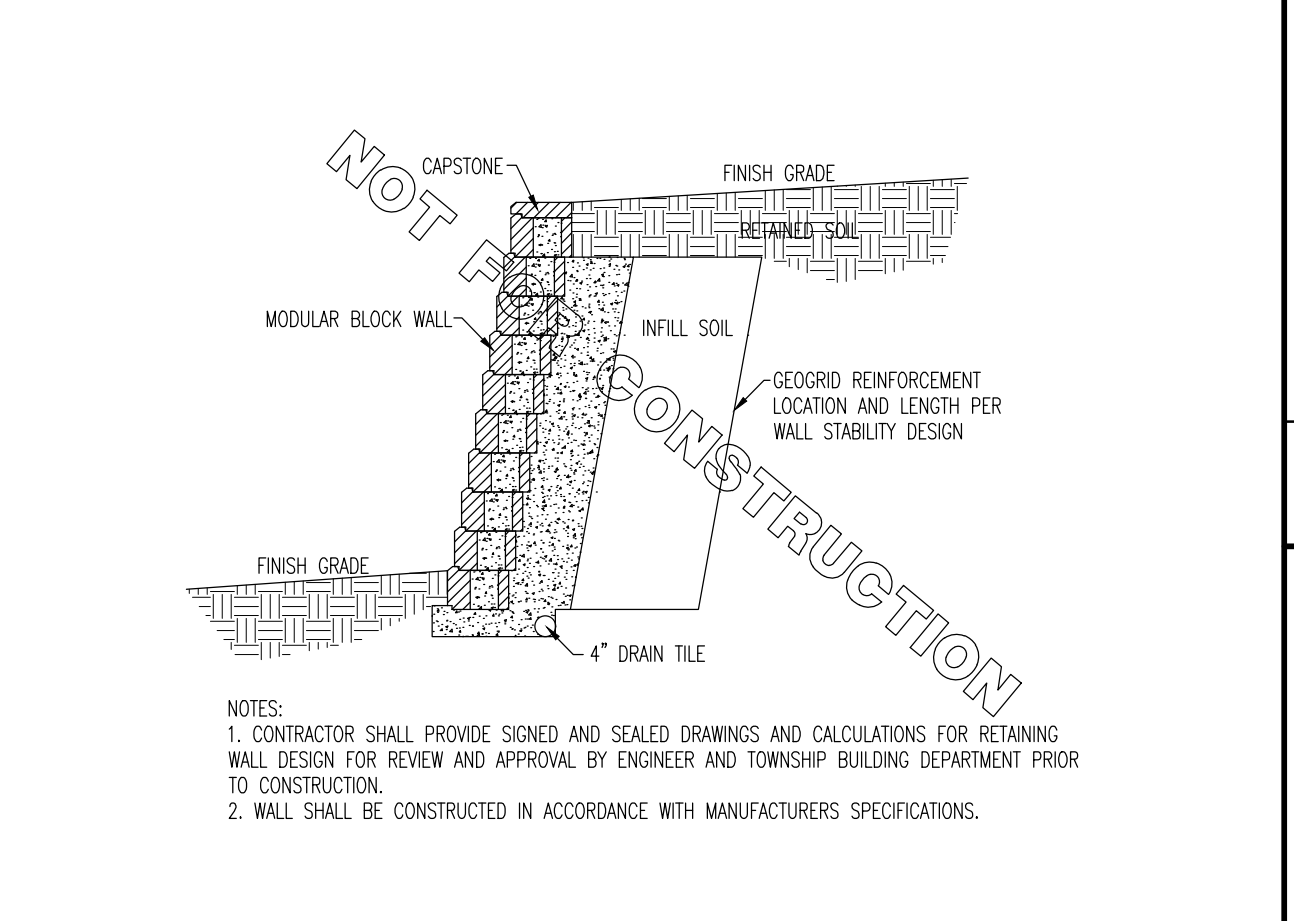
DOGHOUSE MANHOLE DETAIL
NOT TO SCALE



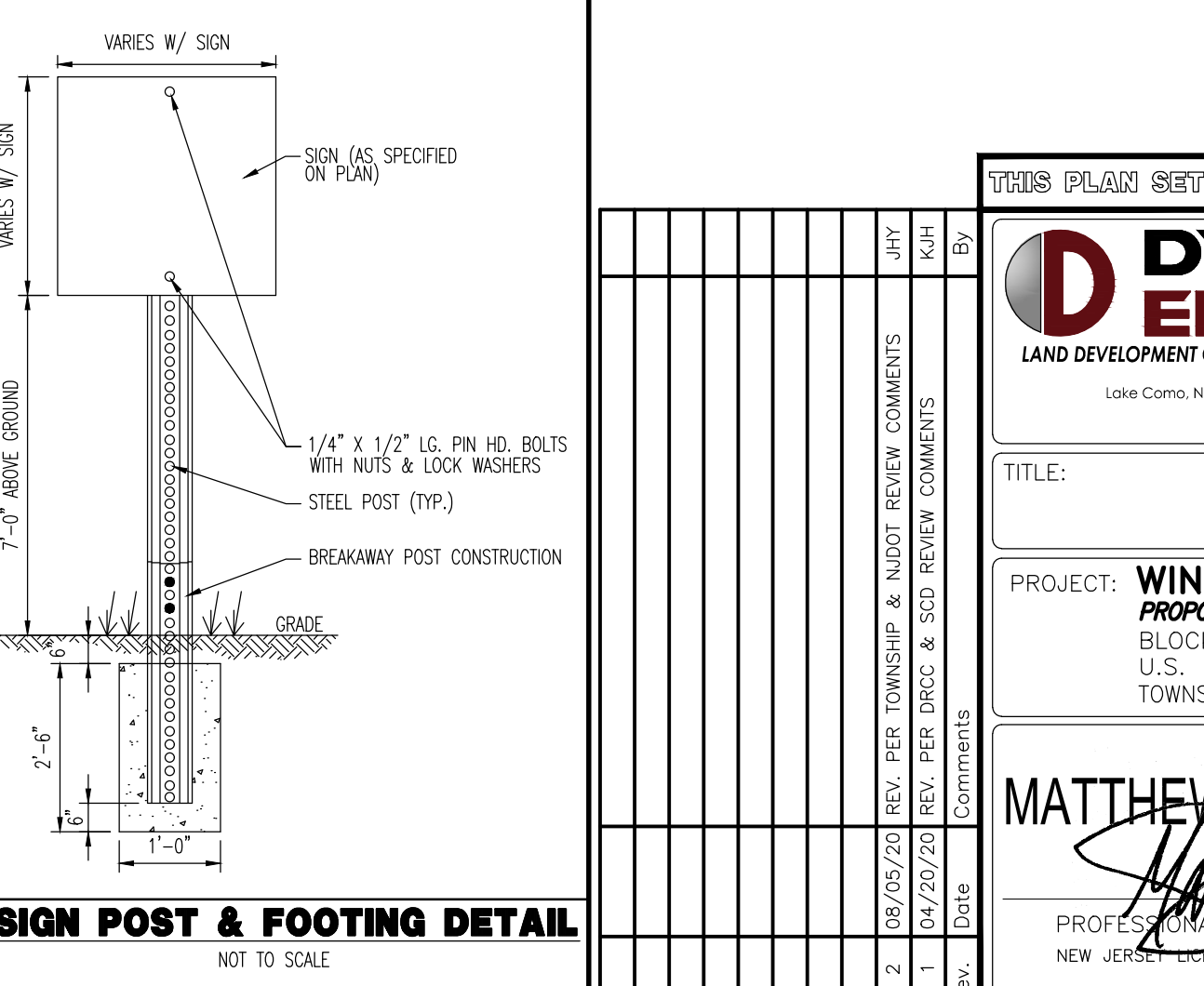
'U' BICYCLE RACK DETAIL
NOT TO SCALE



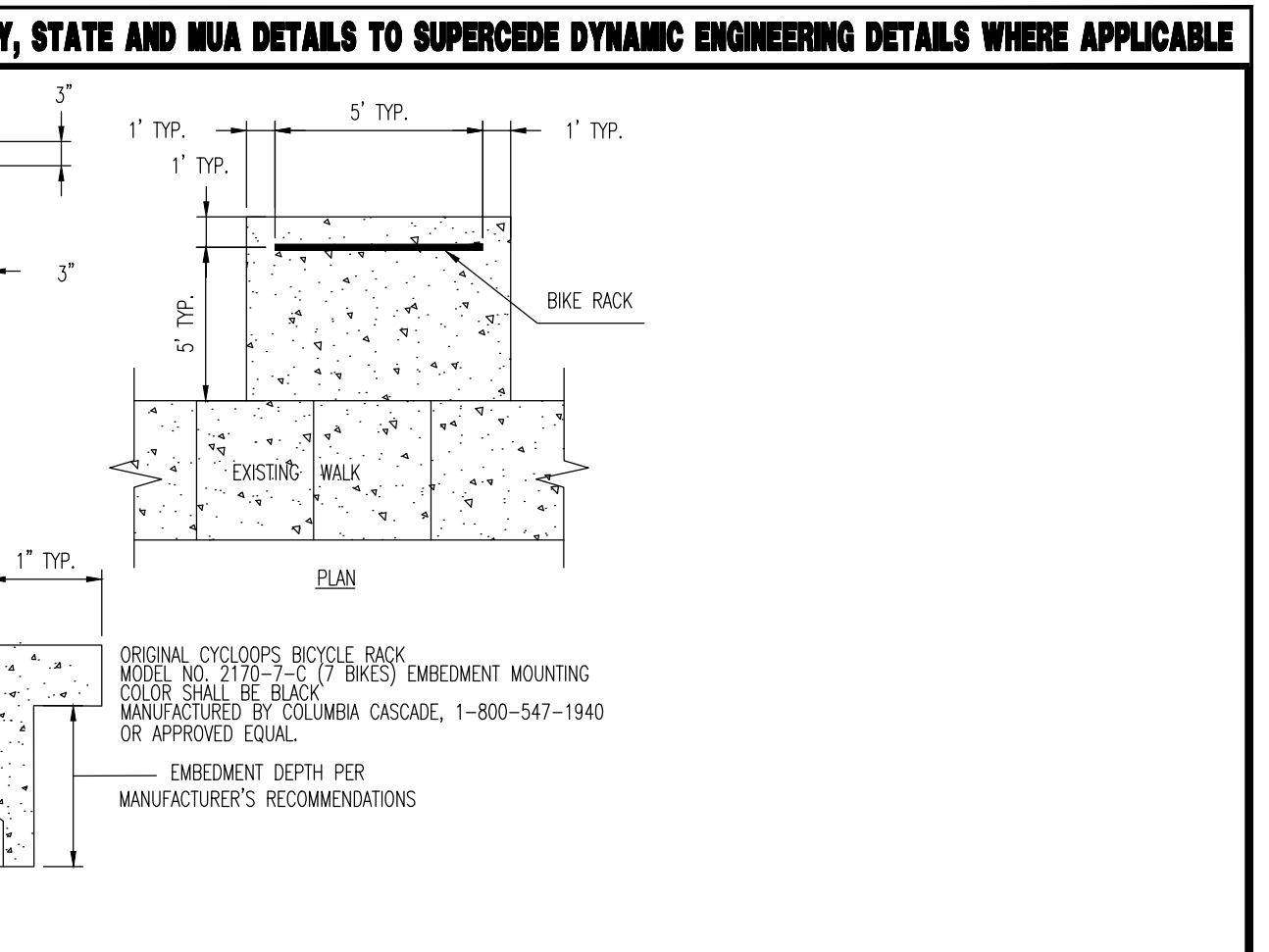
NJDOT PAVEMENT SECTION & REPAIR STRIP DETAILS
NOT TO SCALE (FOR USE WITHIN DOT R.O.W. ONLY)



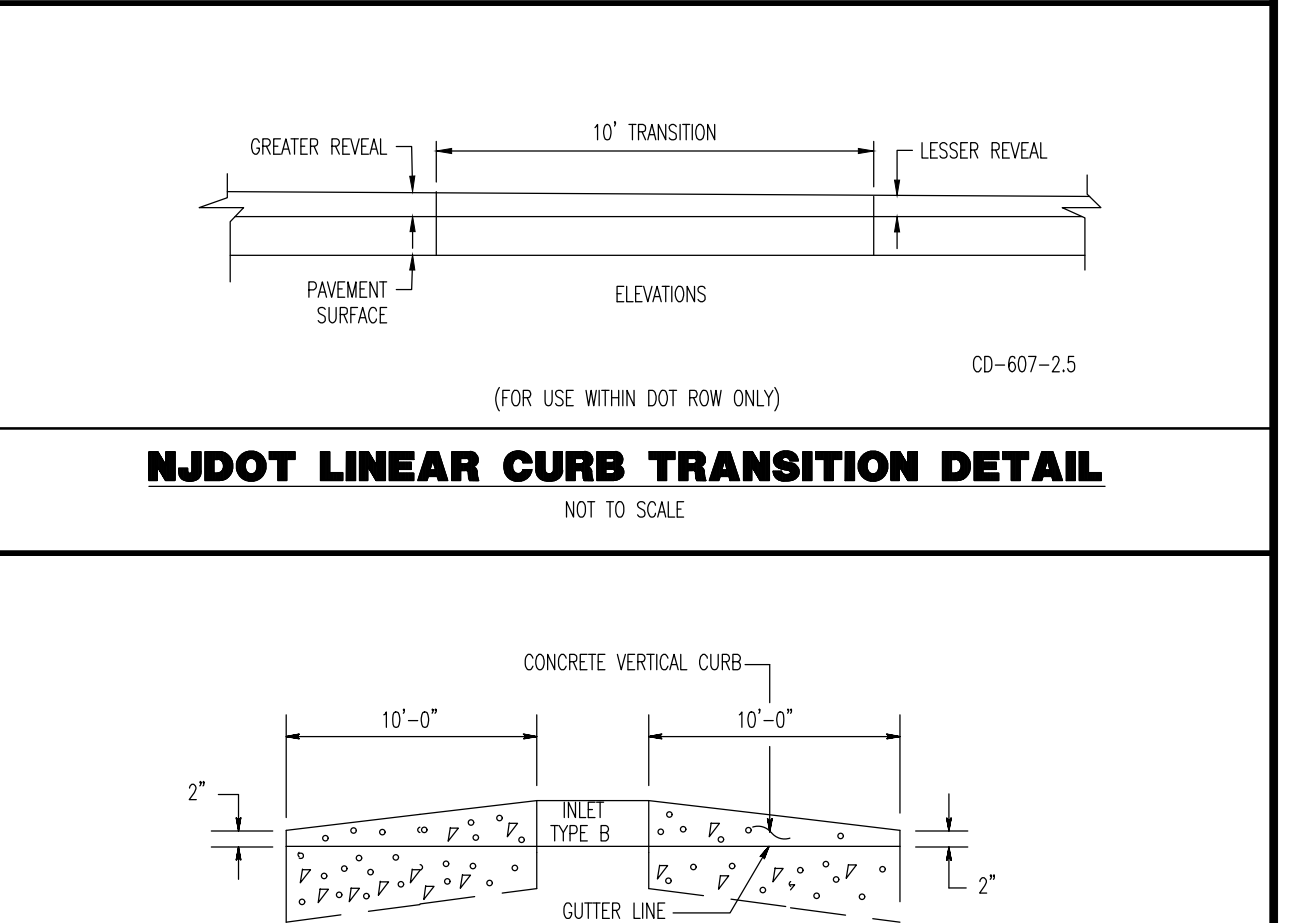
TYPICAL MODULAR BLOCK WALL DETAIL
NOT TO SCALE



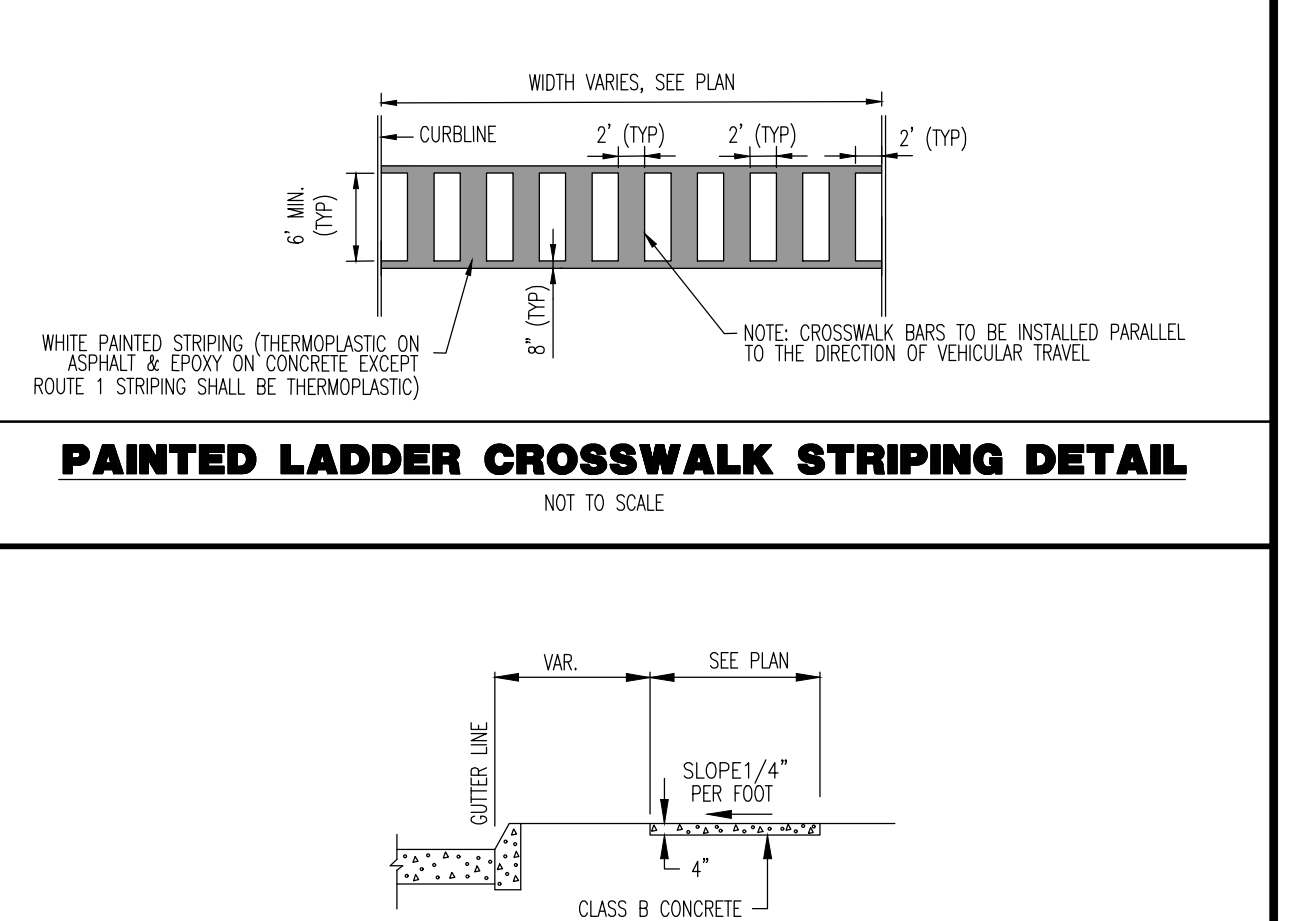
SIGN POST & FOOTING DETAIL
NOT TO SCALE



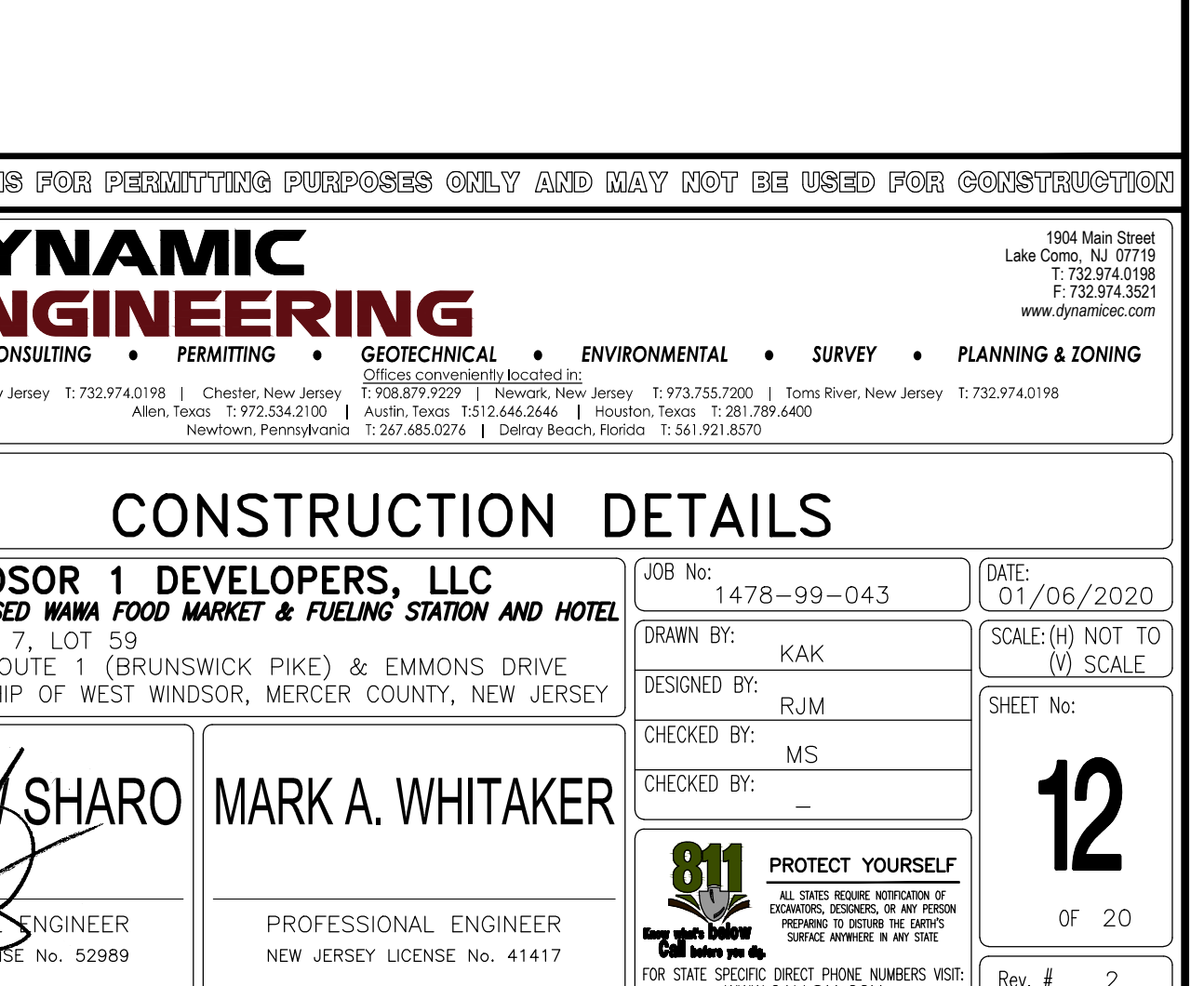
NJDOT LINEAR CURB TRANSITION DETAIL
NOT TO SCALE



CURB TREATMENT AT BERMS SECTION AND ALL CURB ENDS DETAIL
NOT TO SCALE



PAINTED LADDER CROSSWALK STRIPING DETAIL
NOT TO SCALE



CONCRETE SIDEWALK, 4" THICK
NOT TO SCALE

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PROJECT: **WINDSOR 1 DEVELOPERS, LLC**
PROPOSED **WAMA FOOD MARKET & FUELING STATION AND HOTEL**
BLOCK 7, LOT 59
U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

JOB No: 1478-99-043
DATE: 01/06/2020
DRAWN BY: KAK
SCALE: (H) NOT TO SCALE
DESIGNED BY: RJM
SHEET No:
CHECKED BY: MS
CHECKED BY: -

MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

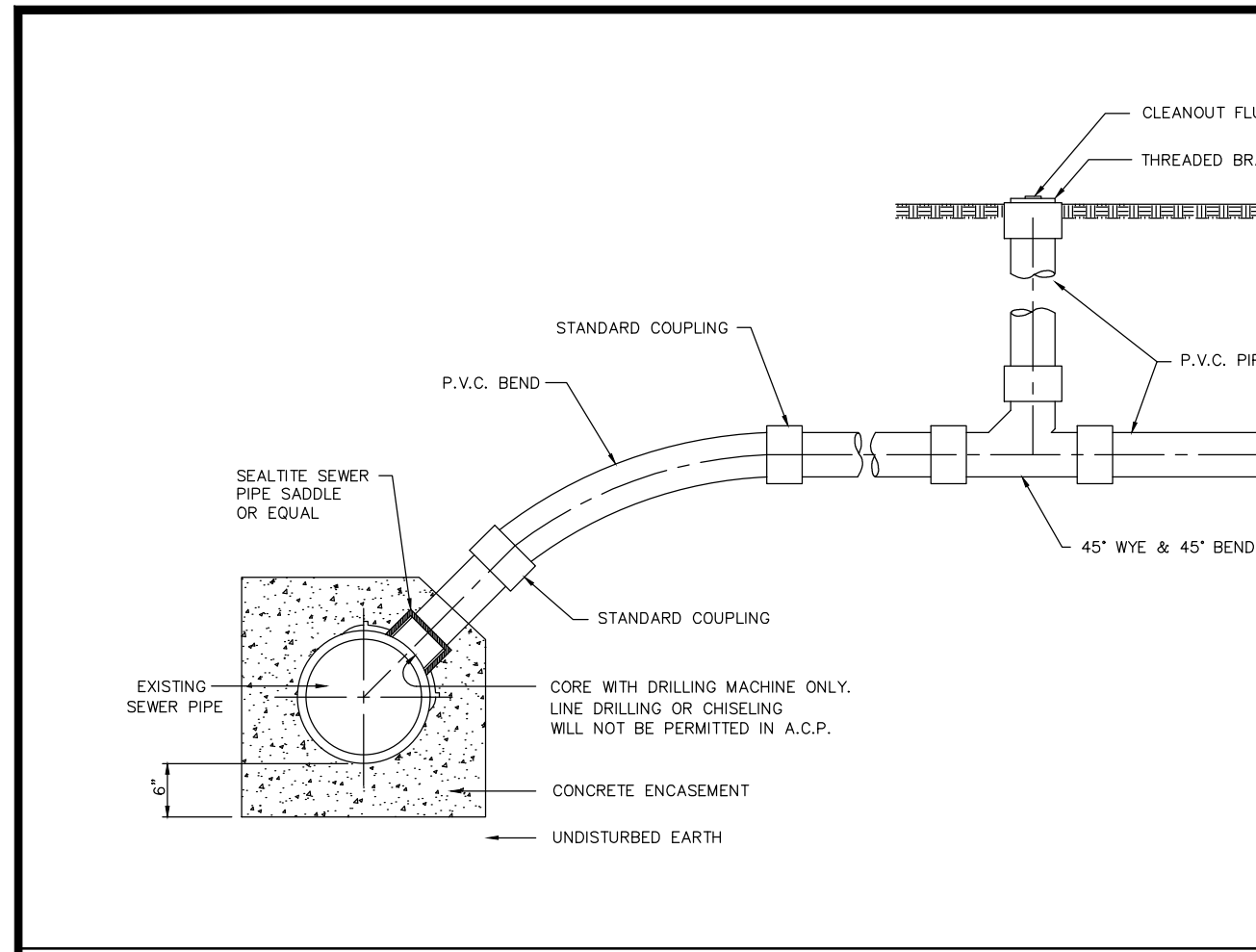
MARK A. WHITAKER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41417

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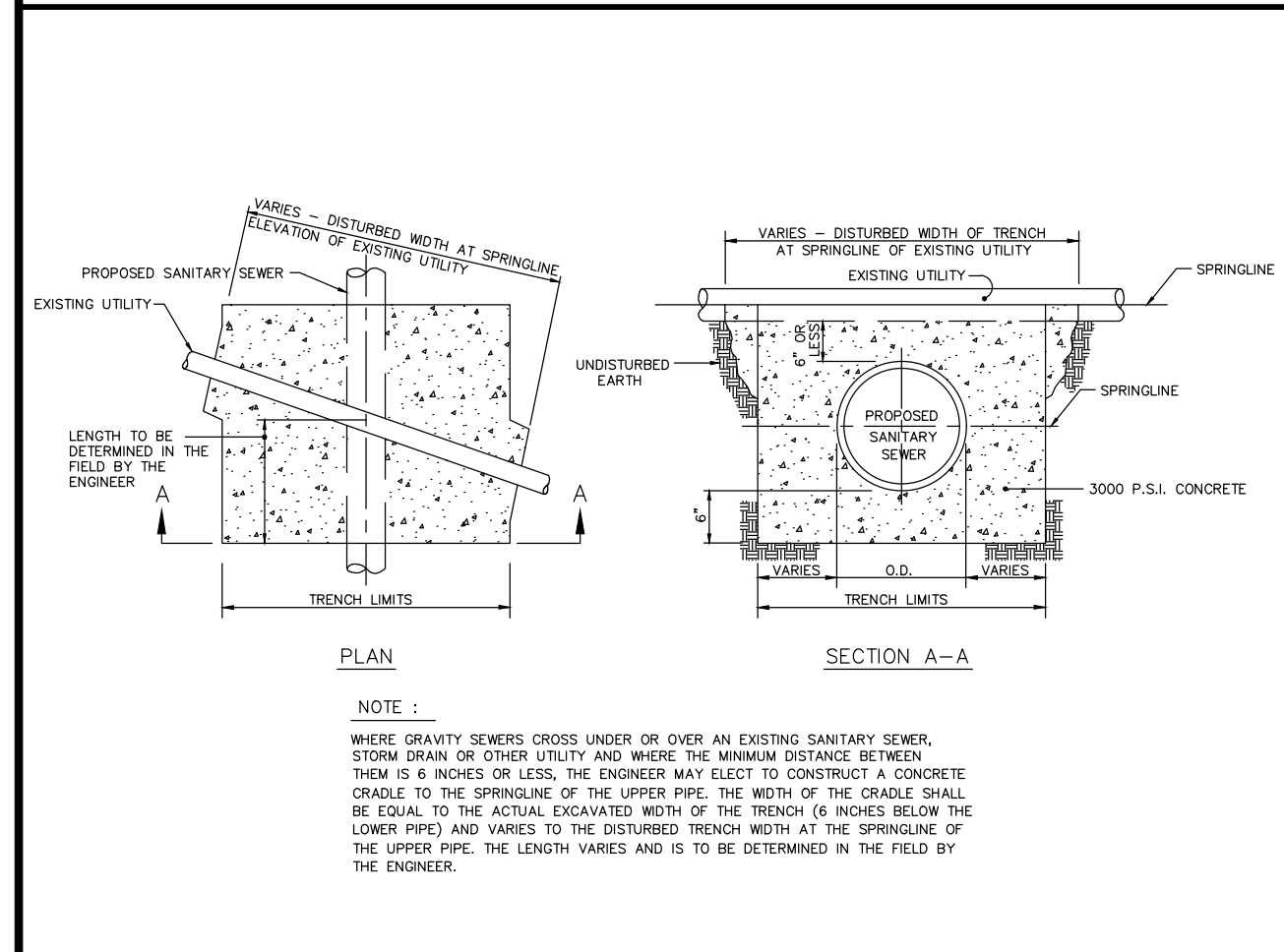
Rev. # 2

Plotted: 08/13/20 - 10:27 AM, By: geowadrick, Product: Ver. 23.1s (LMS Tech)
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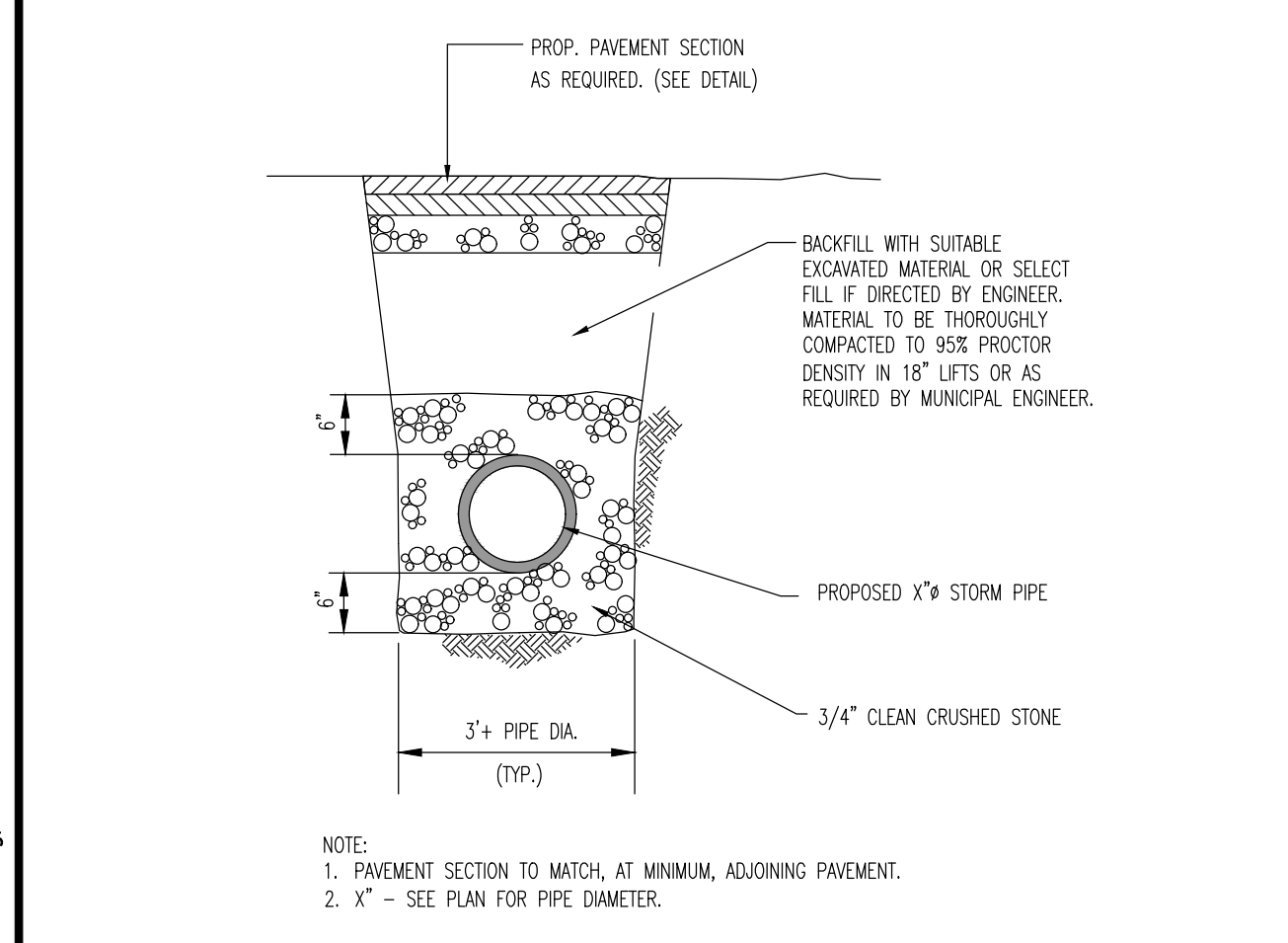
TOWNSHIP OF WEST WINDSOR CONNECTION TO EXISTING SEWER DETAIL

NOT TO SCALE



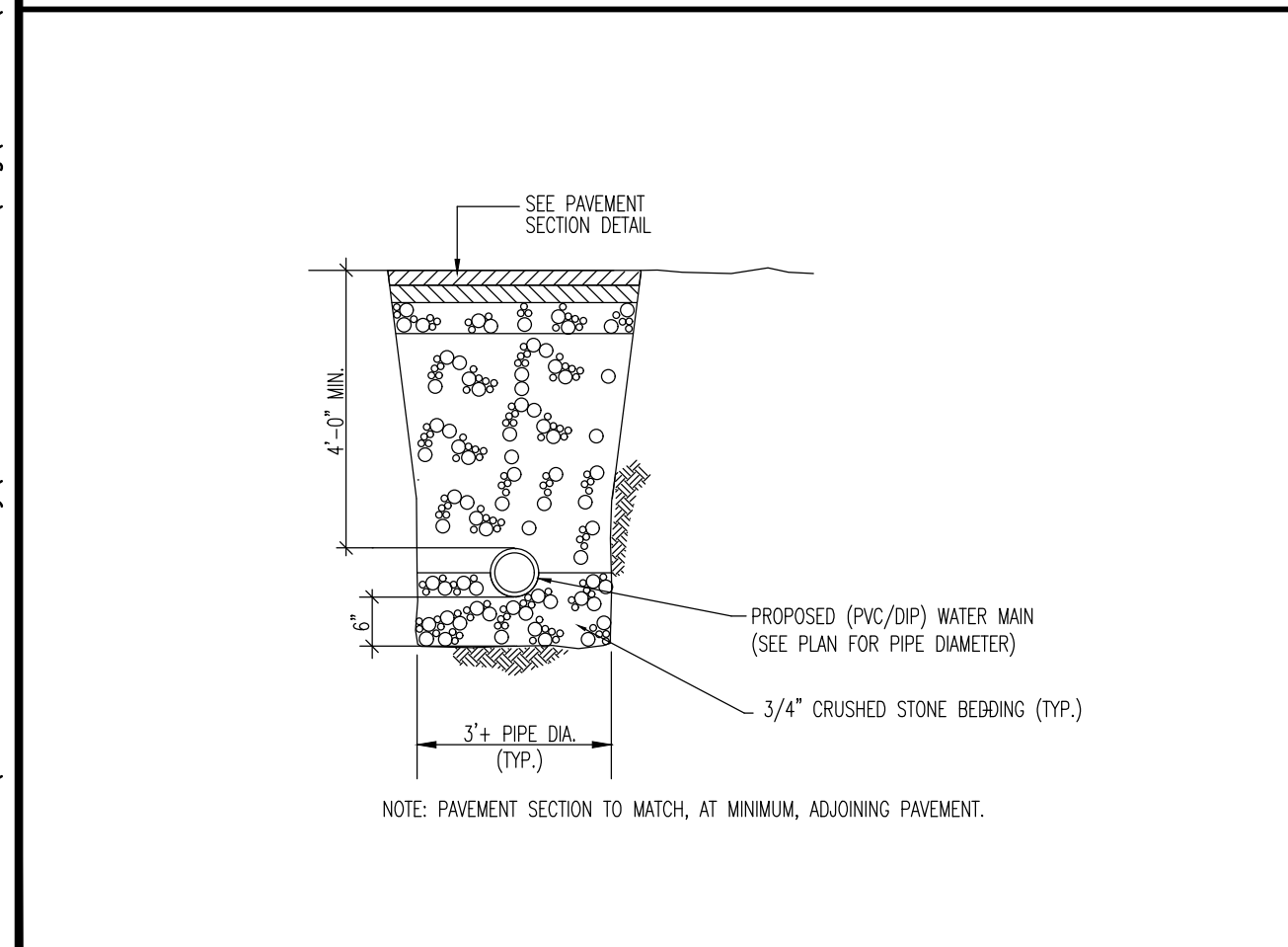
TOWNSHIP OF WEST WINDSOR CONCRETE CRADLE DETAIL

NOT TO SCALE



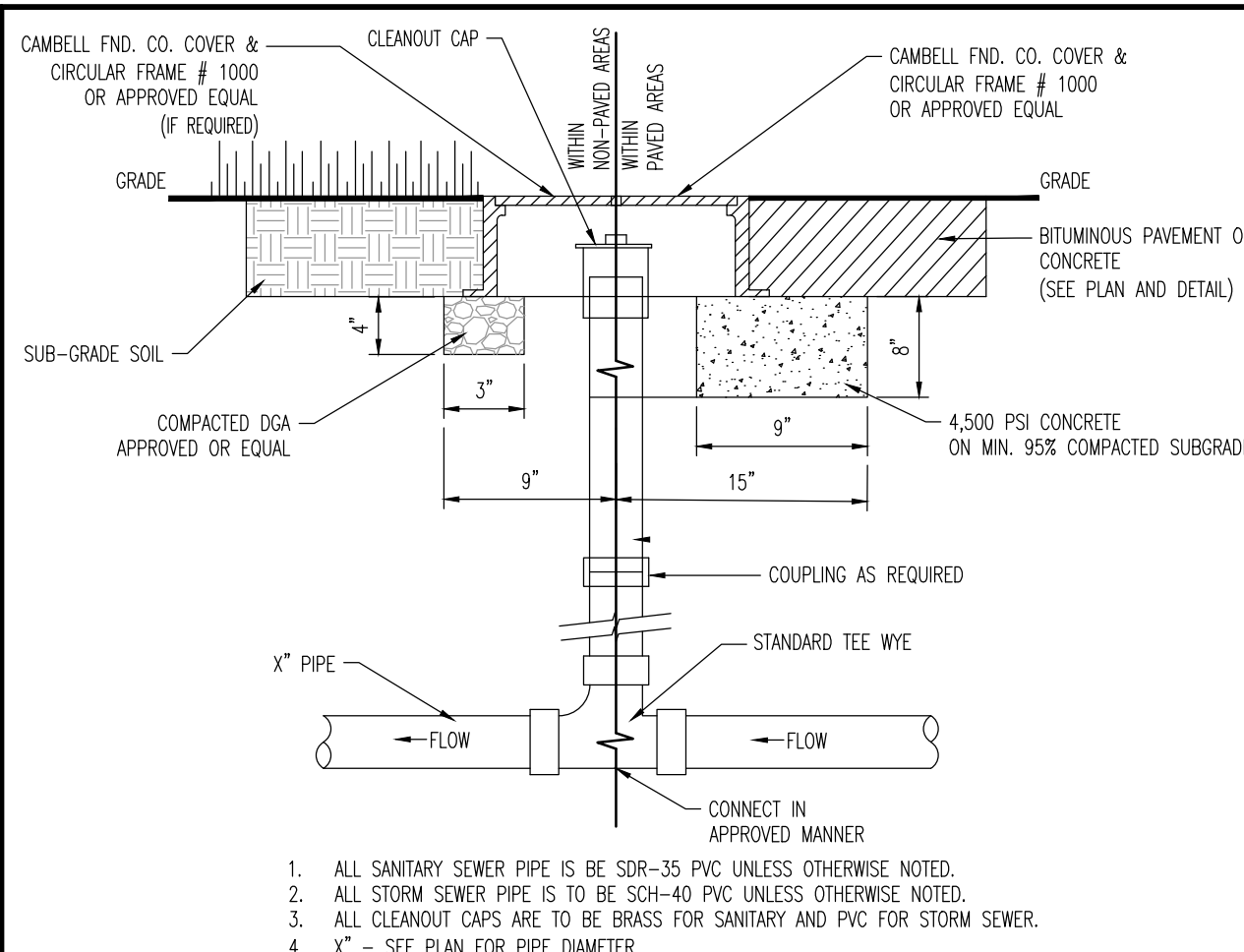
STORM SEWER TRENCH DETAIL (HYATT HOUSE)

NOT TO SCALE



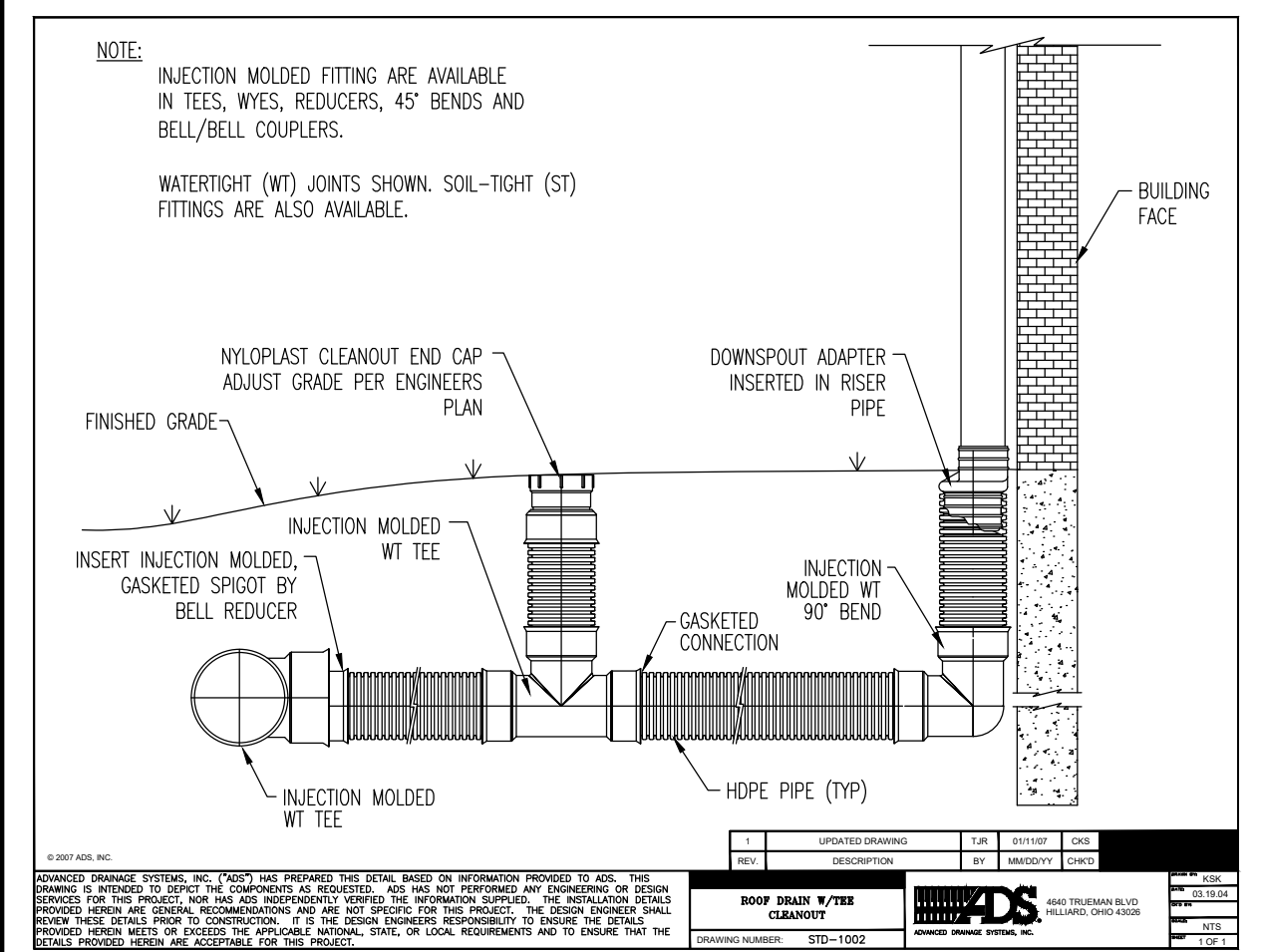
WATER SERVICE TRENCH DETAIL (HYATT HOUSE)

NOT TO SCALE



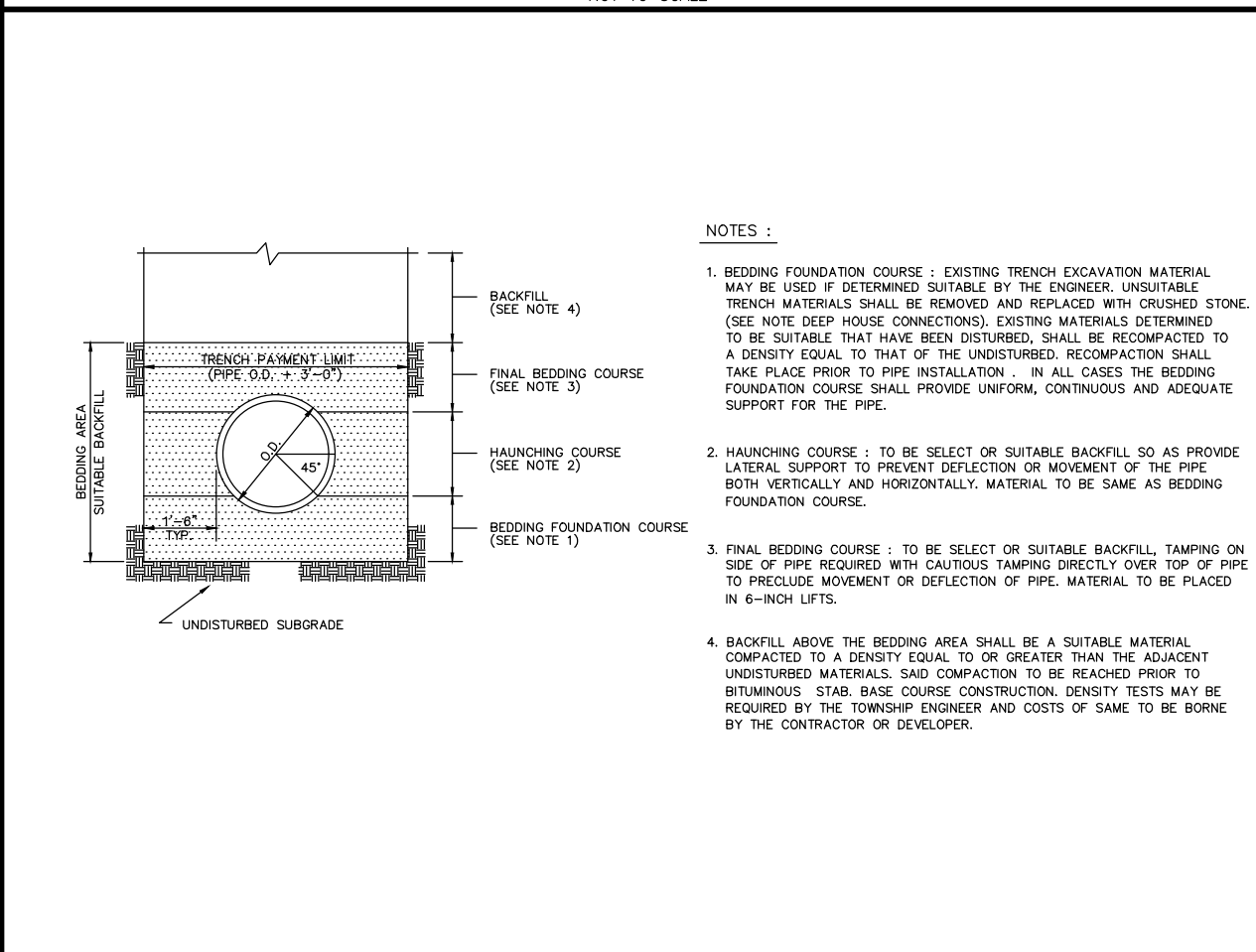
CLEANOUT DETAIL

NOT TO SCALE



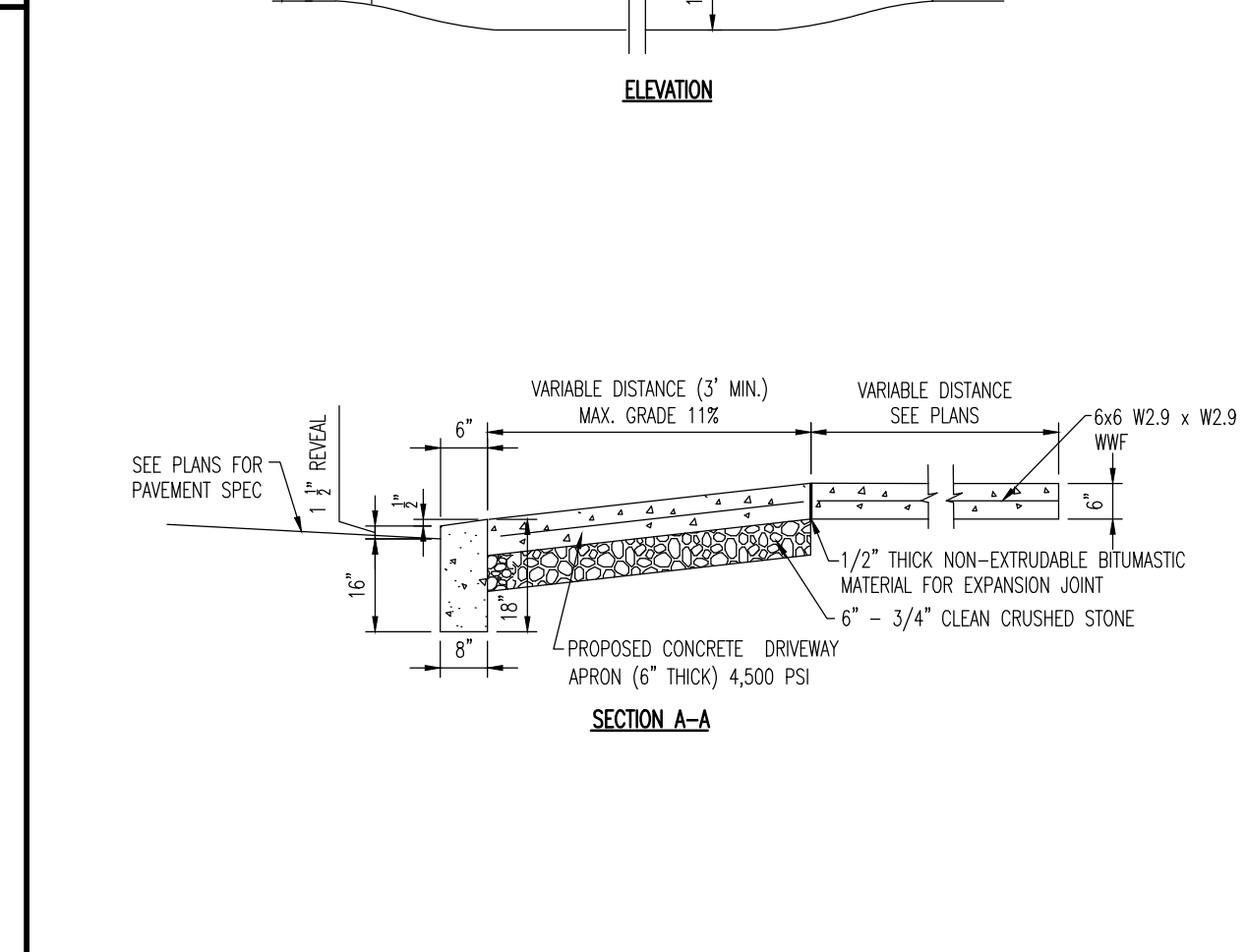
ROOF DRAIN W/TEE CLEANOUT DETAIL

NOT TO SCALE



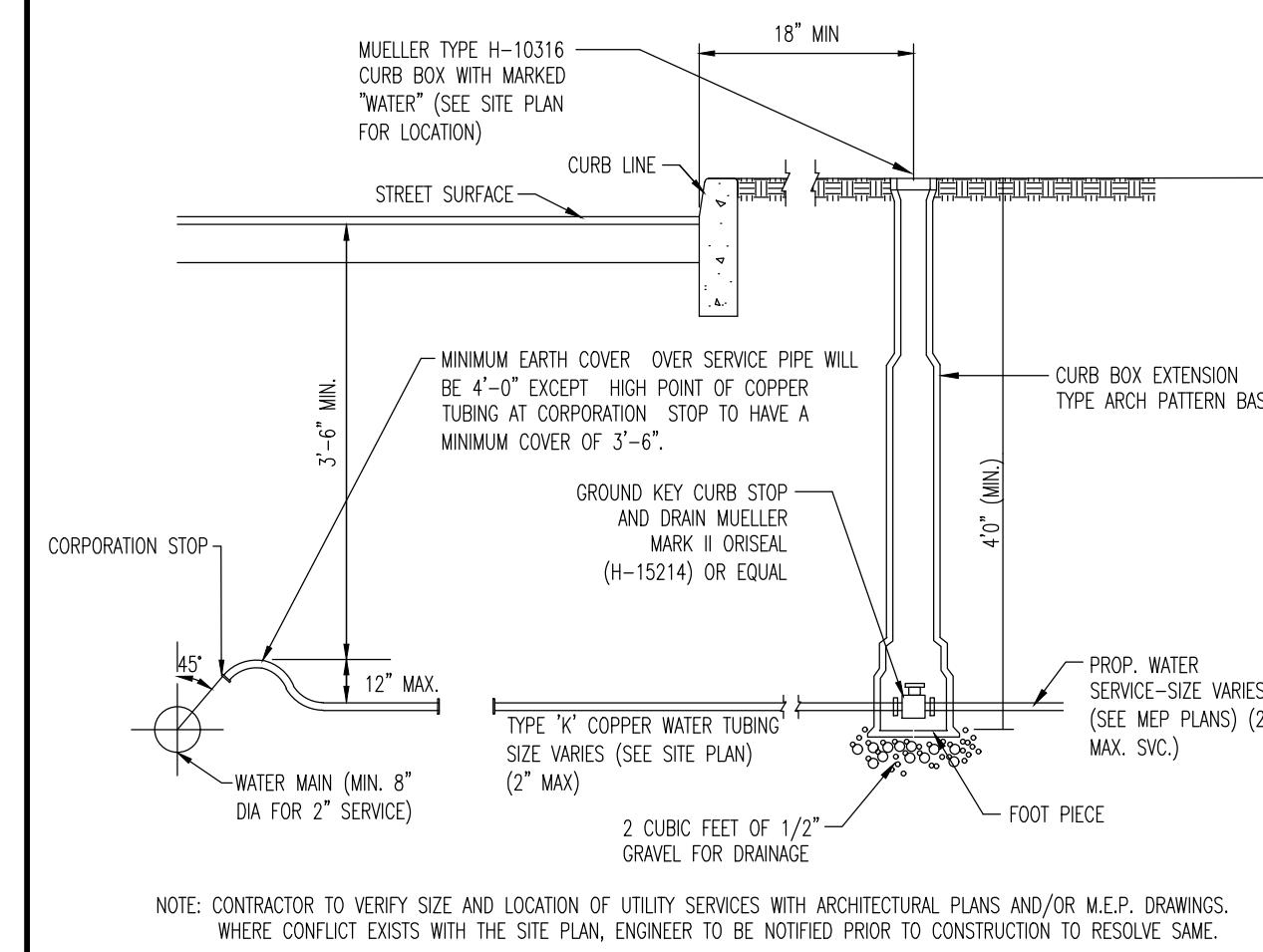
TOWNSHIP OF WEST WINDSOR SANITARY SEWER PIPE BEDDING DETAIL

NOT TO SCALE



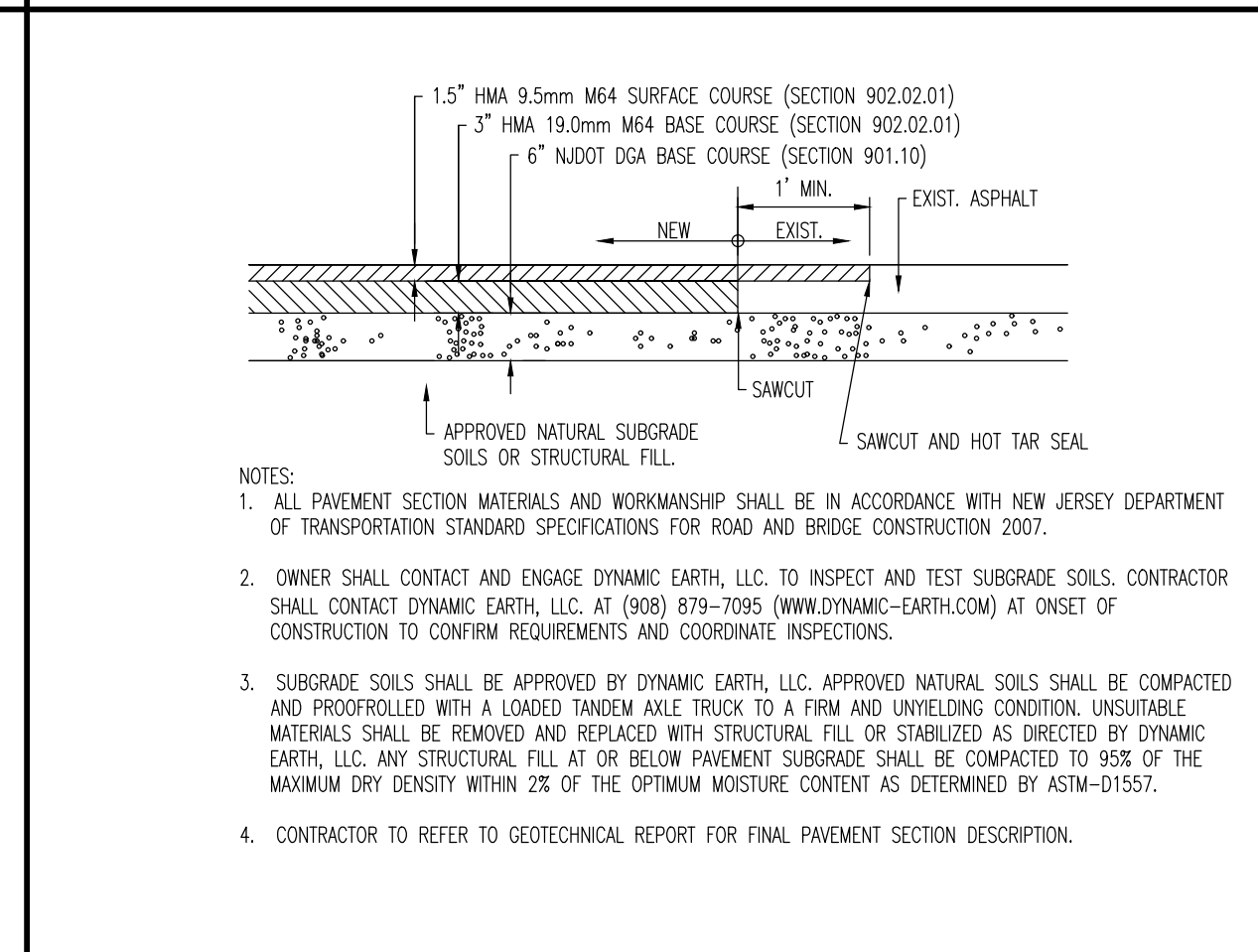
DEPRESSED CURB & CONCRETE APRON AT DRIVEWAY DETAIL

NOT TO SCALE



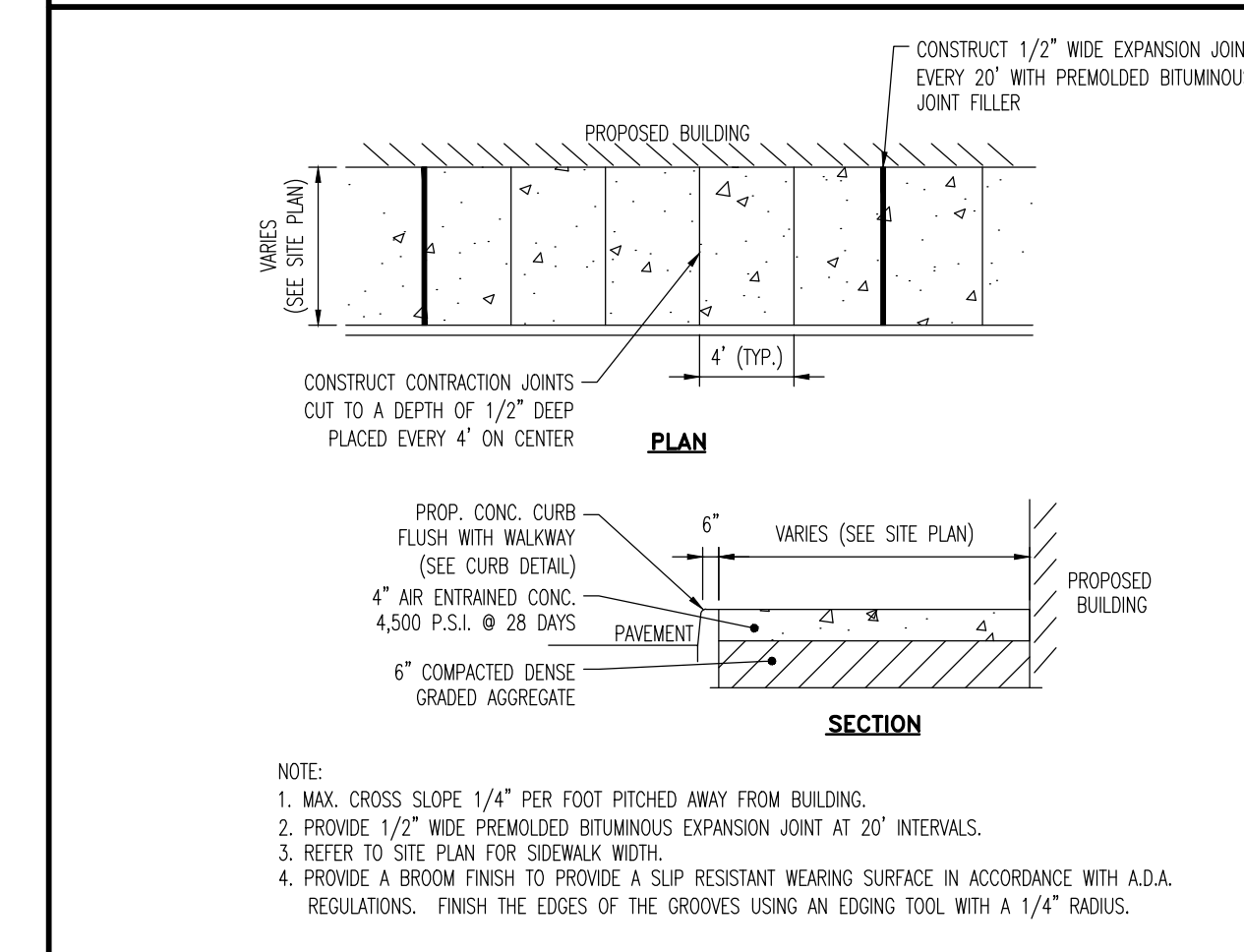
WATER SERVICE CONNECTION

NOT TO SCALE



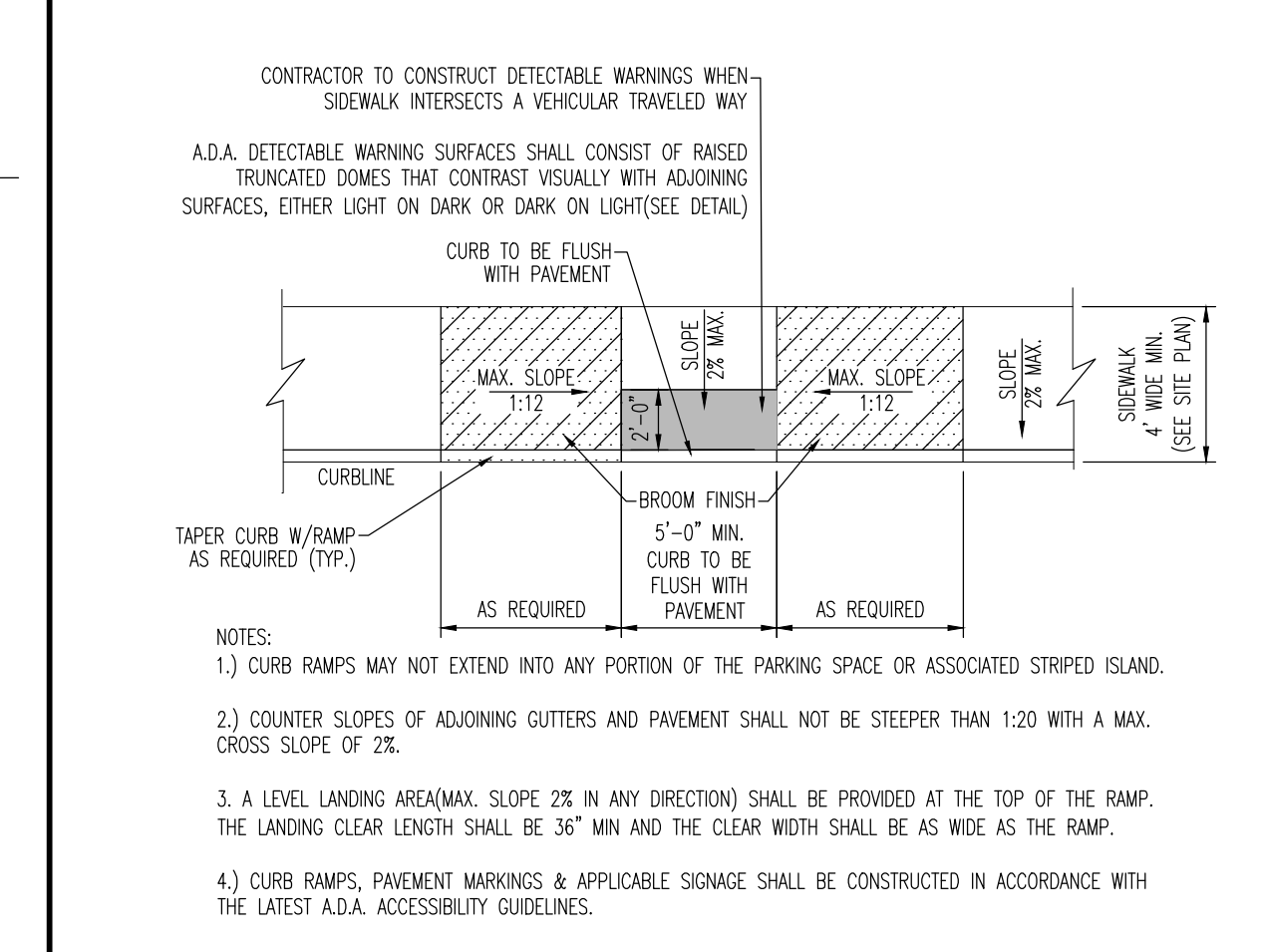
PAVING DETAIL

NOT TO SCALE



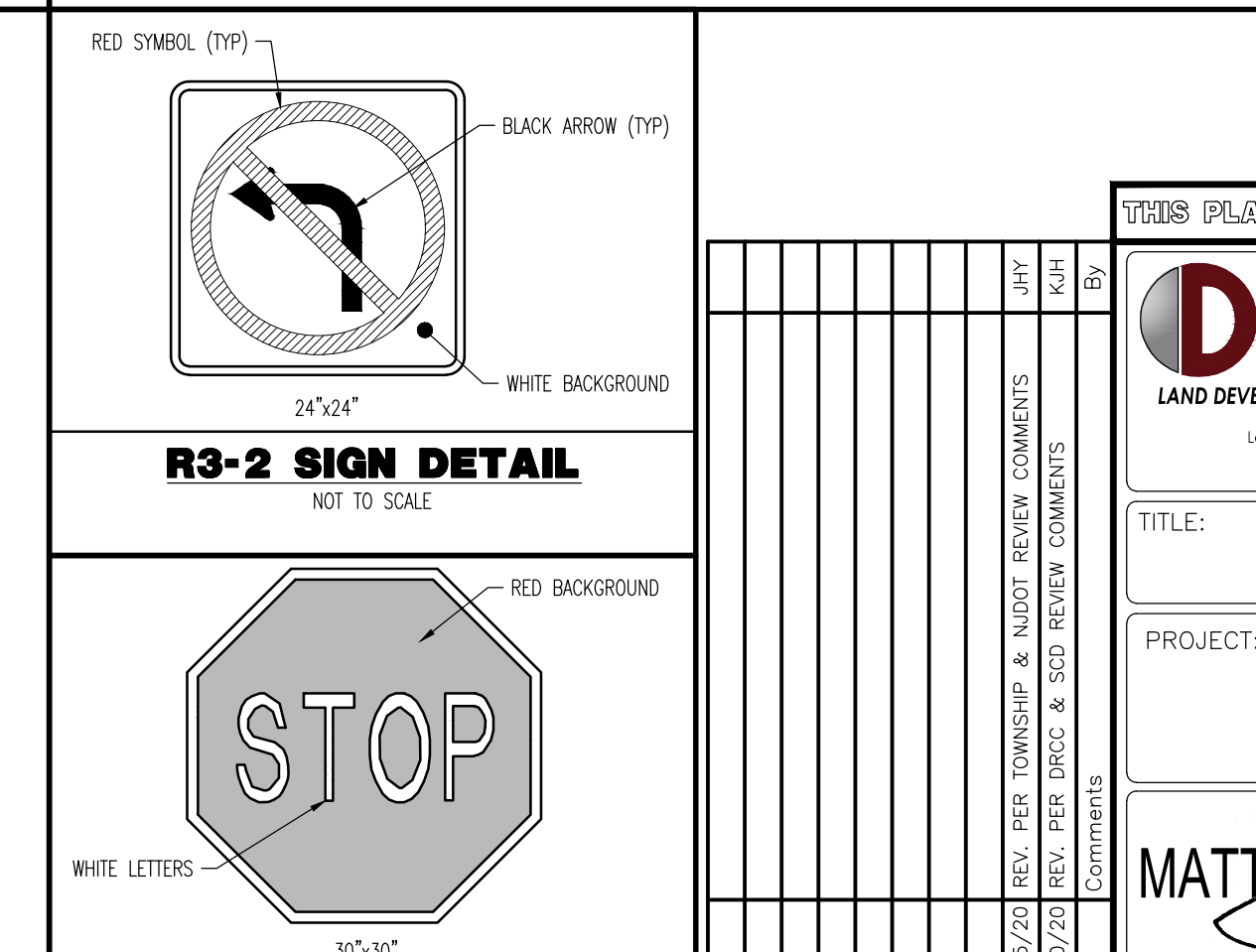
CURB AND WALK DETAIL AT BUILDING

NOT TO SCALE



A.D.A. PARALLEL CURB RAMP DETAIL

NOT TO SCALE



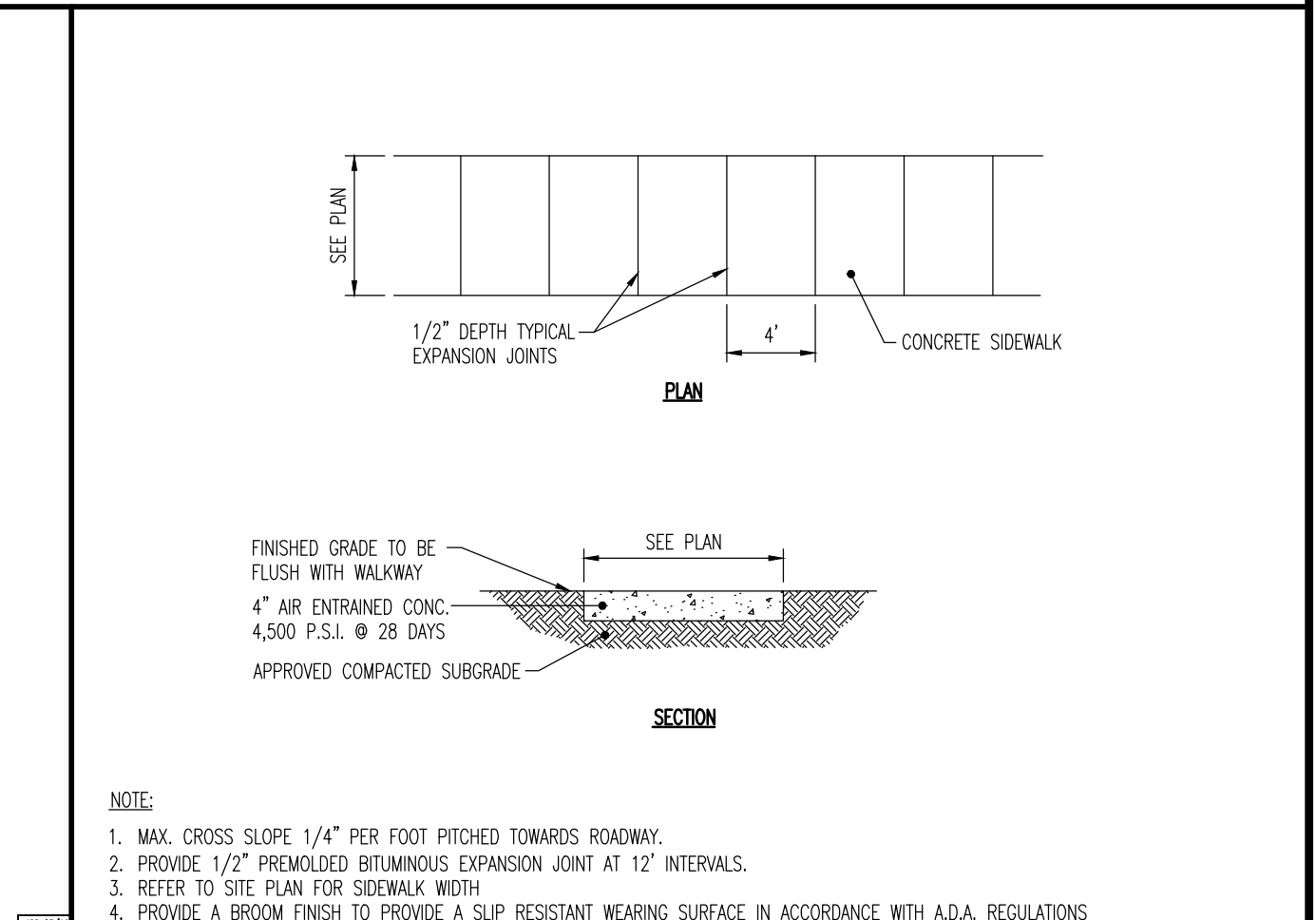
R3-2 SIGN DETAIL

NOT TO SCALE

R1-1 SIGN DETAIL

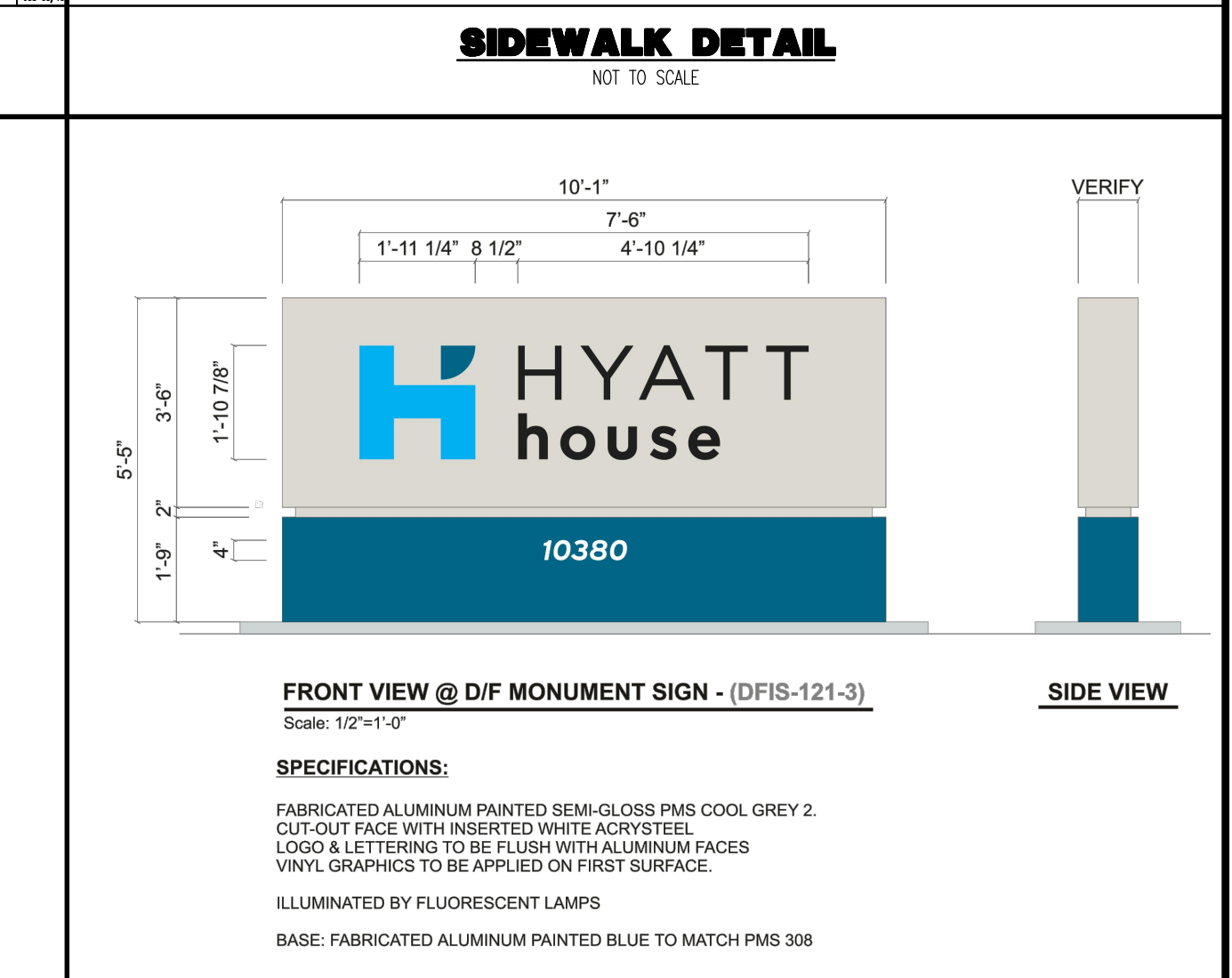
NOT TO SCALE

NOT TO SCALE



CONCRETE CURB DETAIL

NOT TO SCALE



HYATT MONUMENT SIGN DETAIL

NOT TO SCALE

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CONSTRUCTION DETAILS

PROJECT: **WINDSOR 1 DEVELOPERS, LLC**
PROPOSED MARKET FOOD MARKET & FUELING STATION AND HOTEL
 BLOCK 7, LOT 59
 U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

JOB No: 1478-99-043
 DATE: 01/06/2020
 DRAWN BY: KAK
 DESIGNED BY: RJM
 CHECKED BY: MS
 SCALE: (H) NOT TO SCALE
 SHEET No: 13

MATTHEW SHARO PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52989

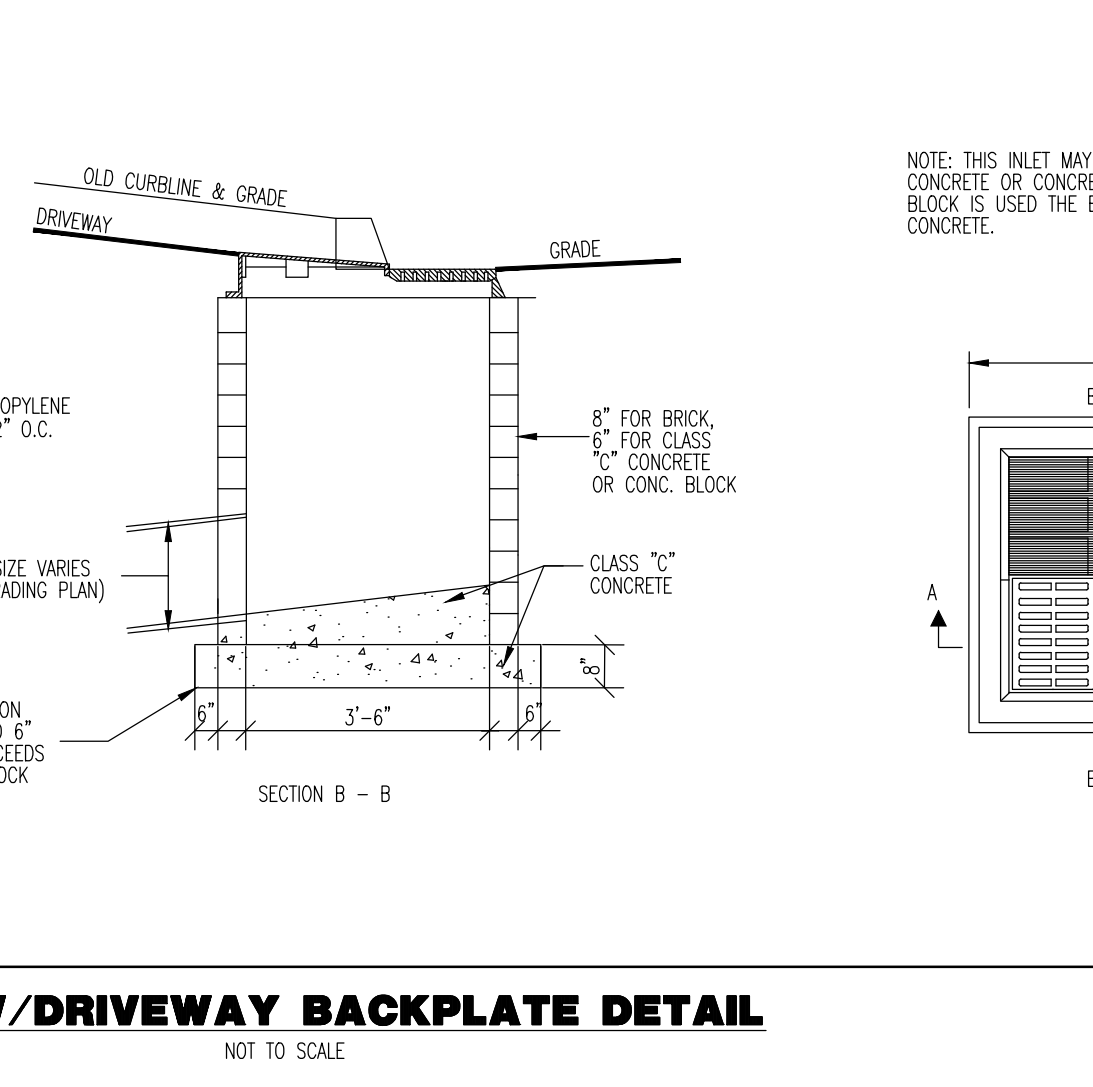
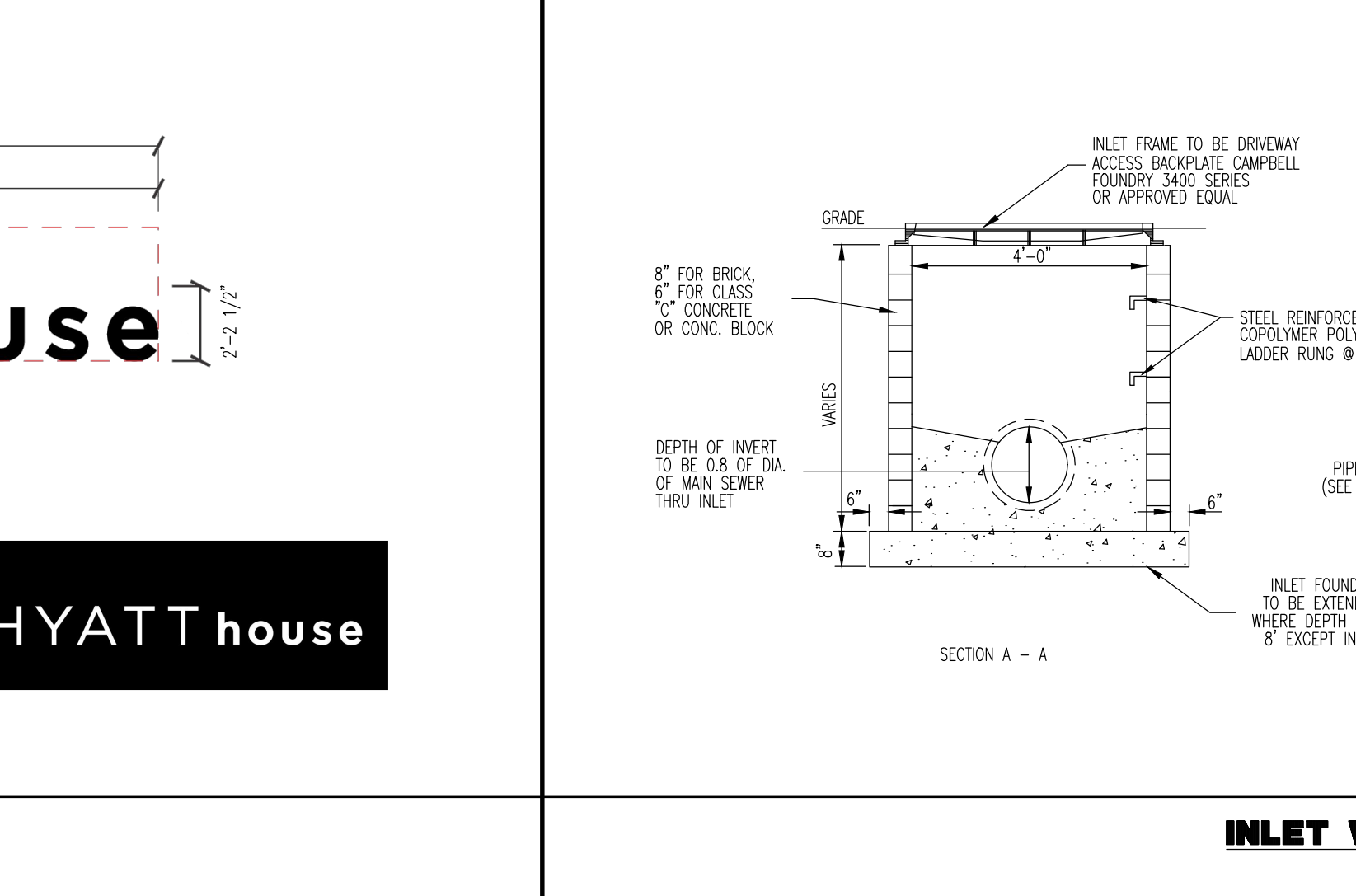
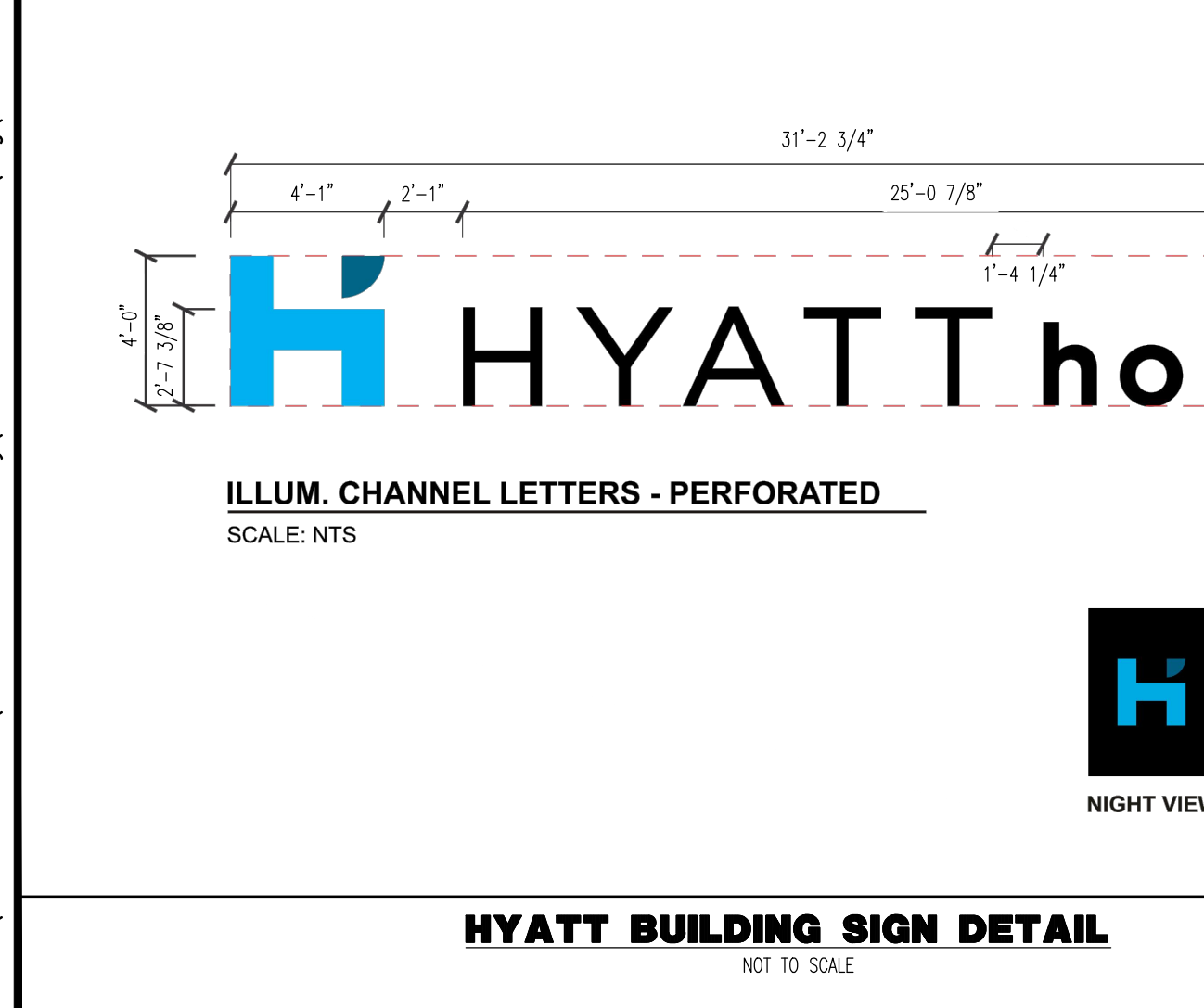
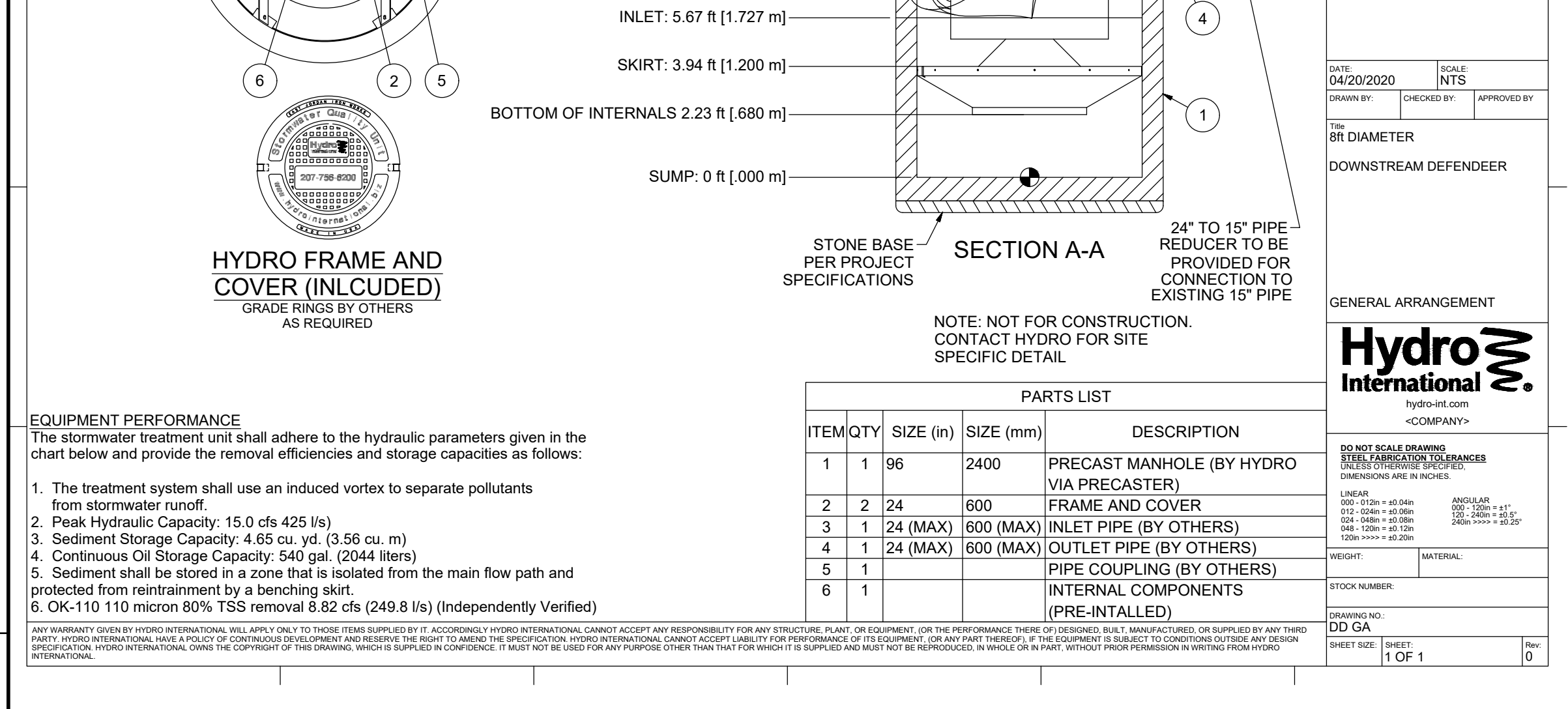
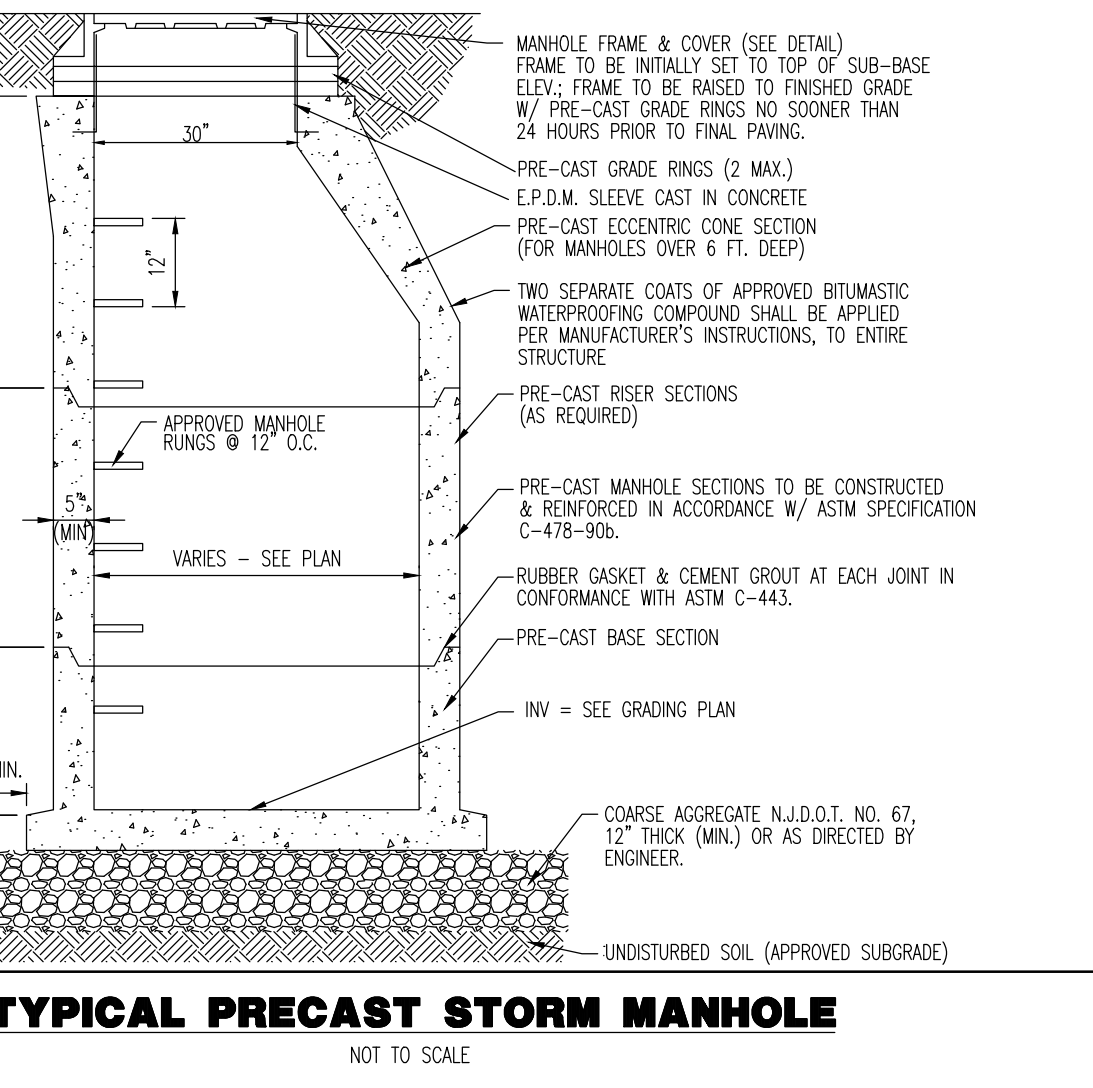
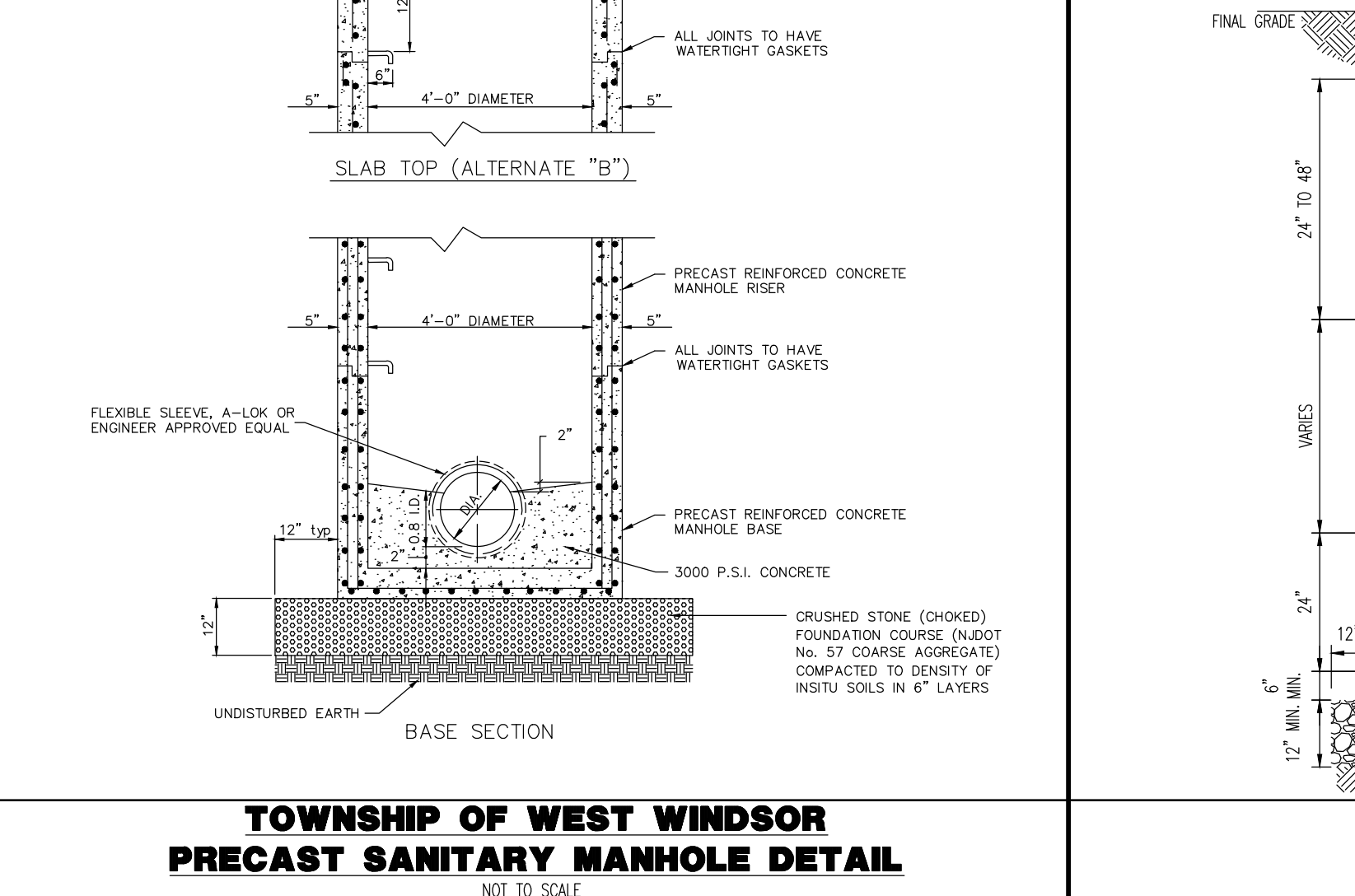
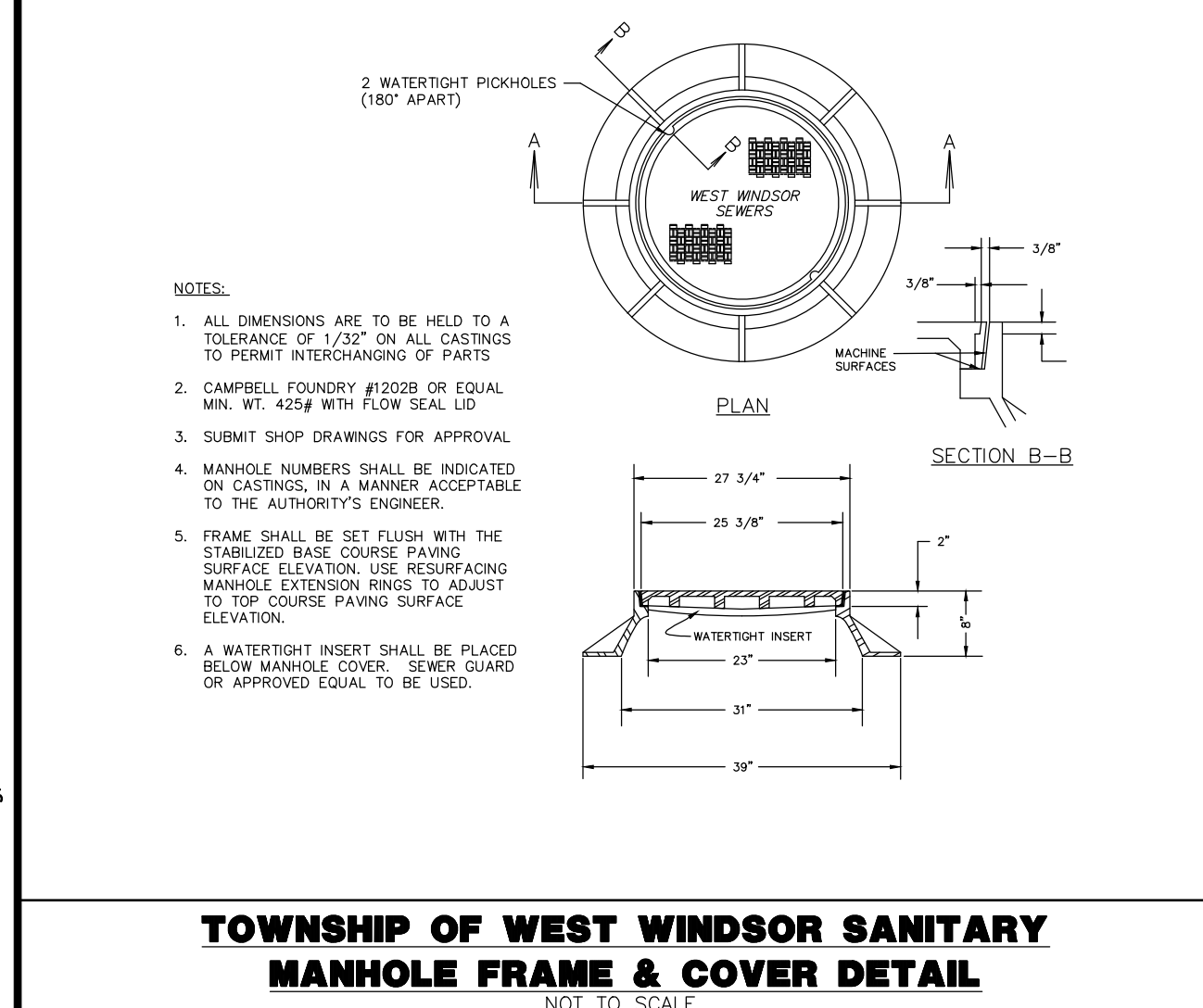
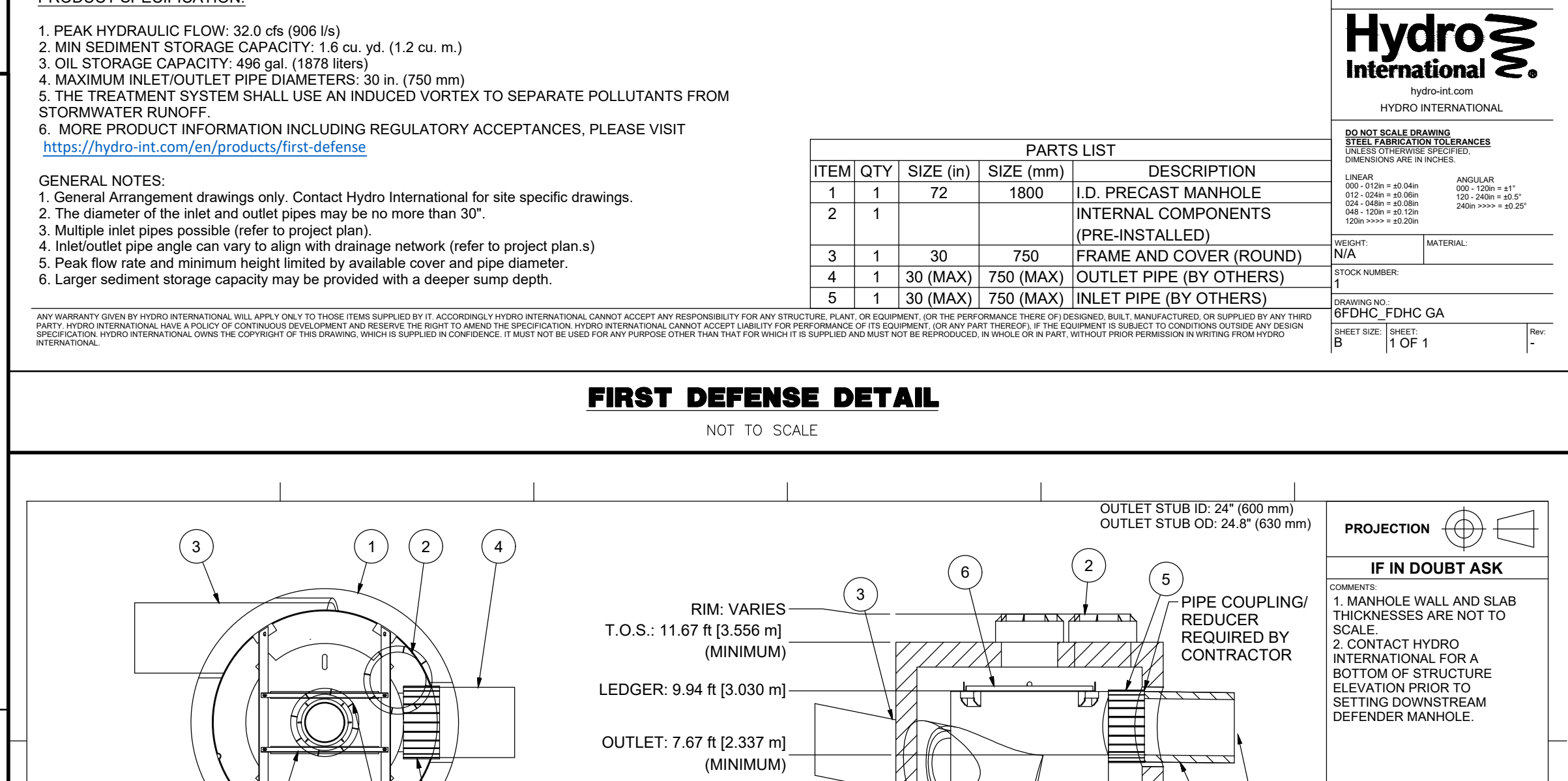
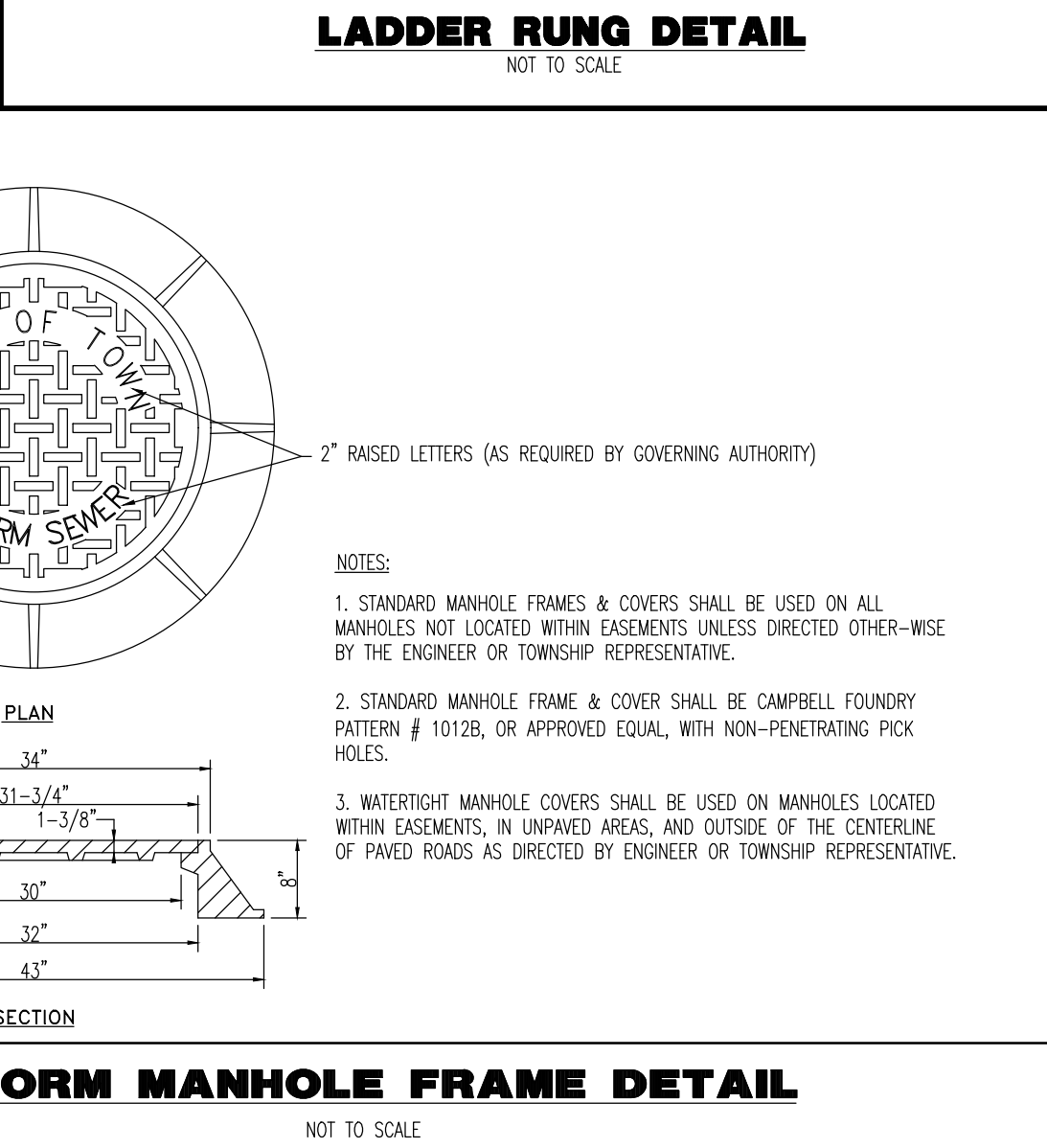
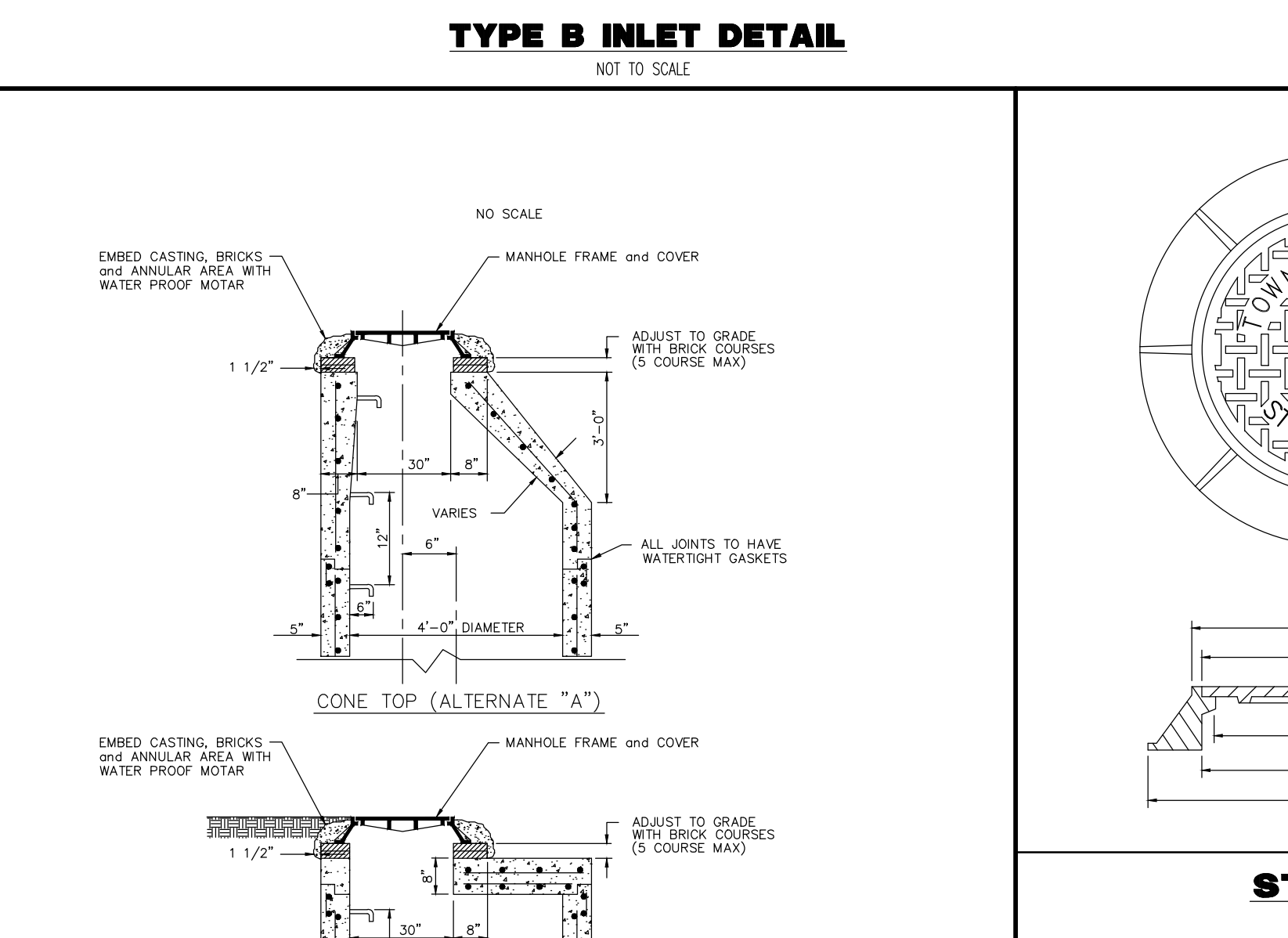
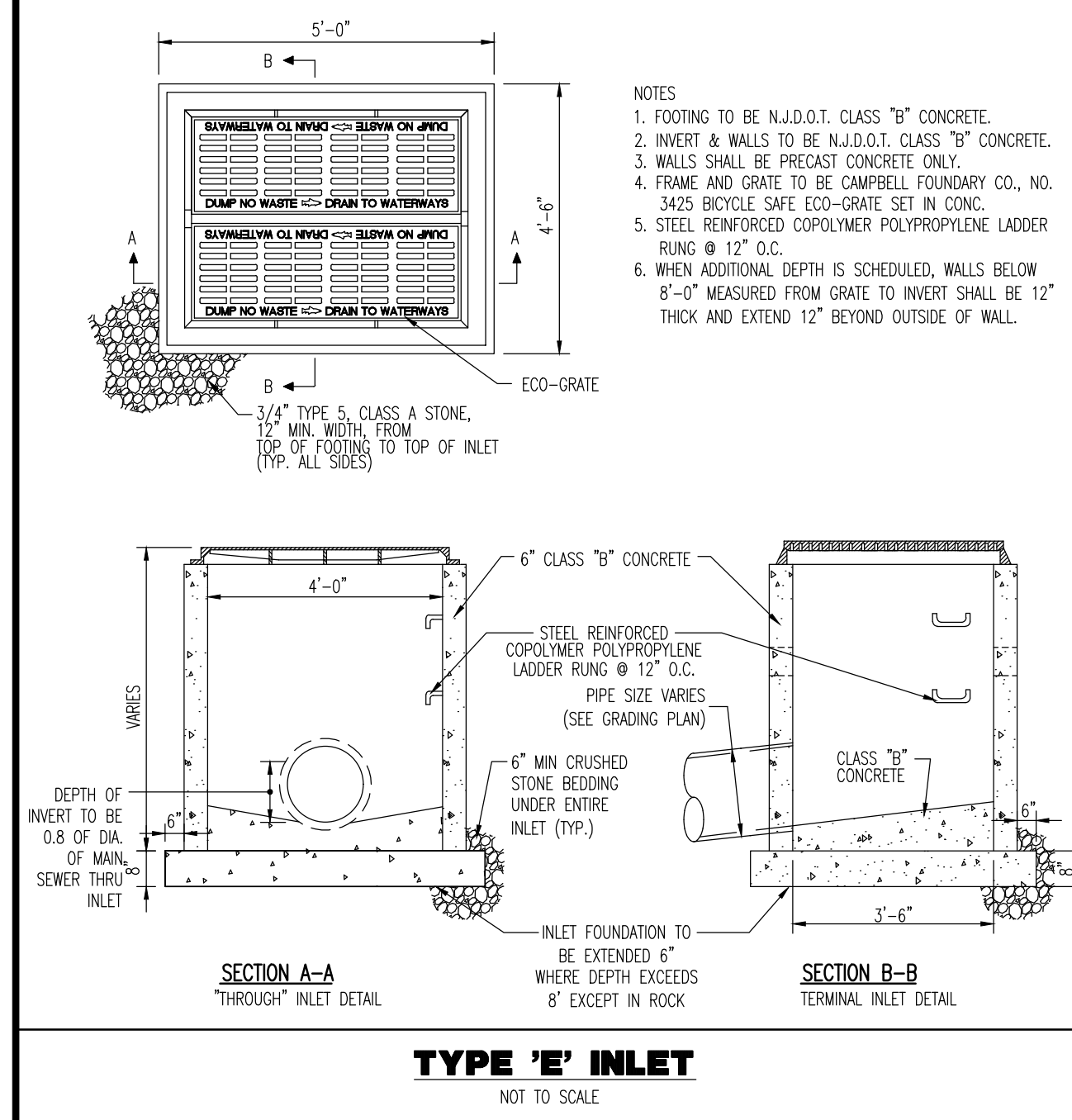
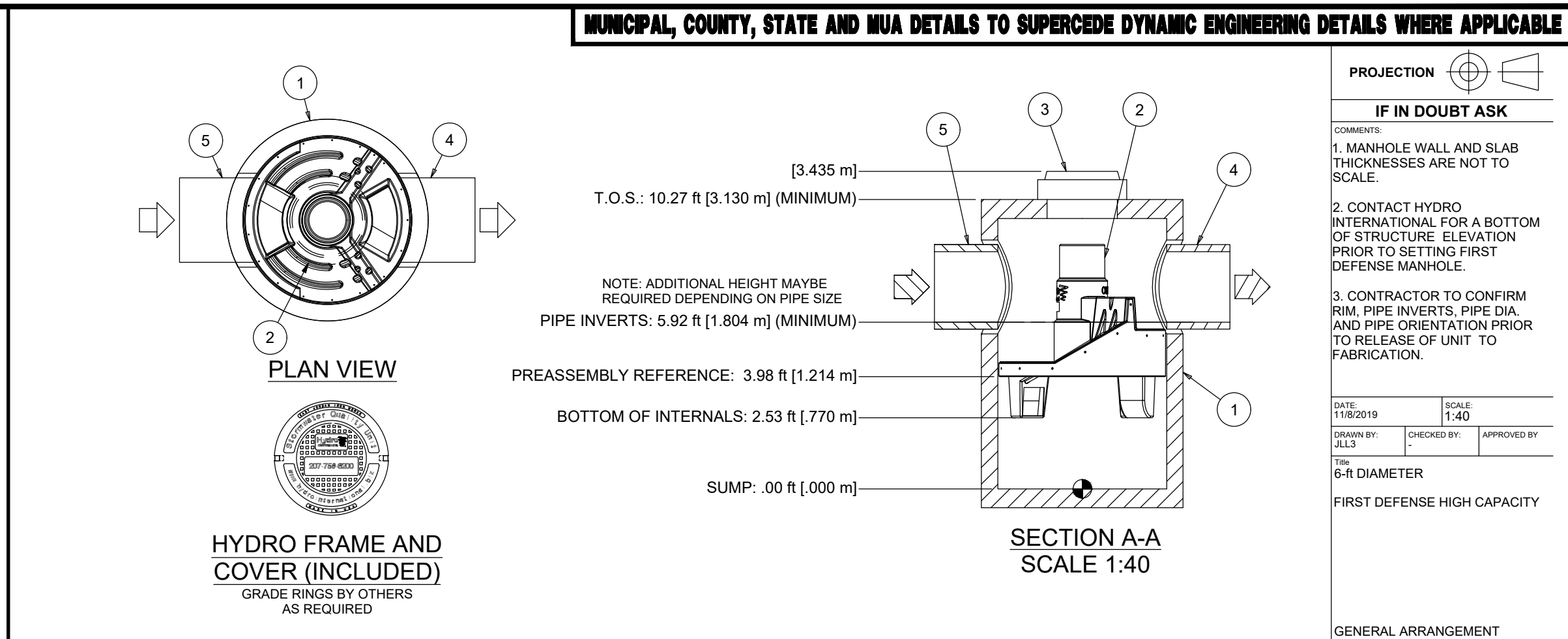
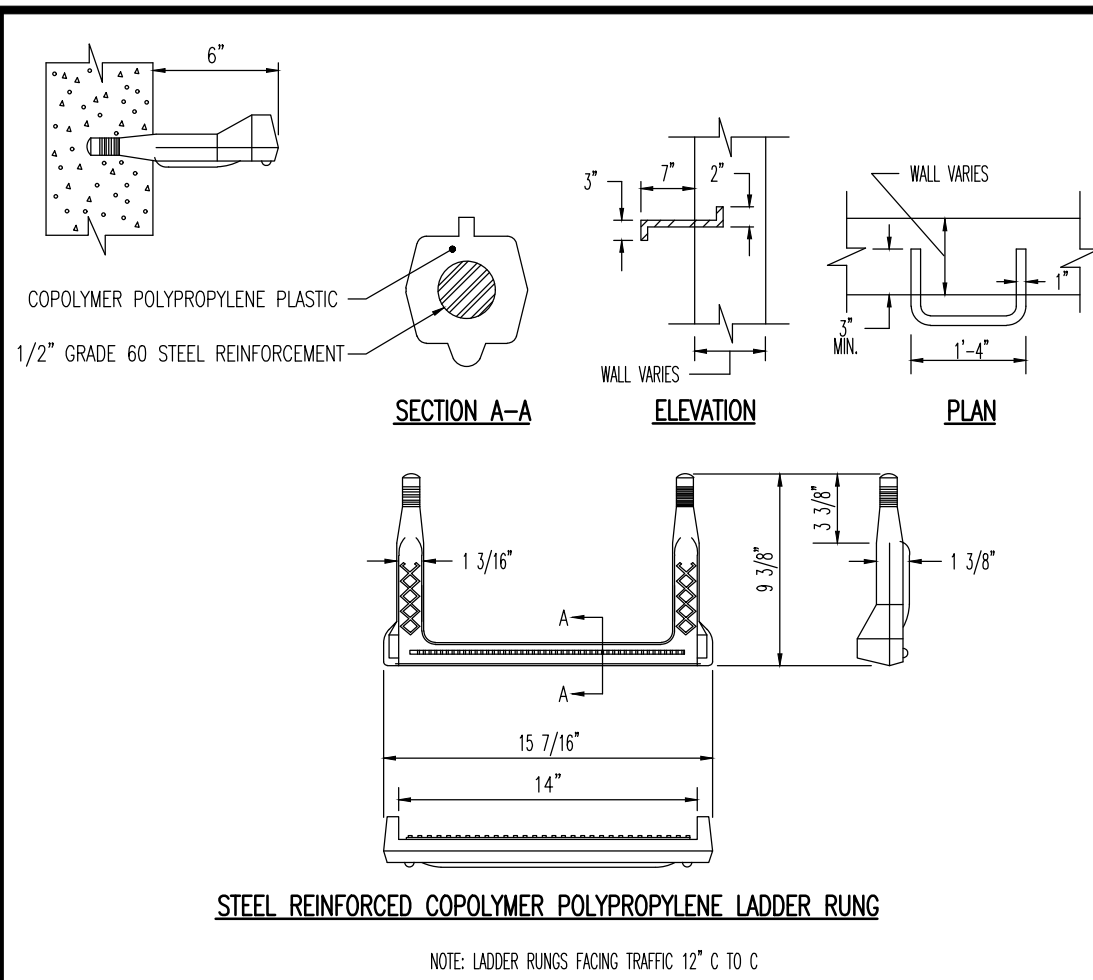
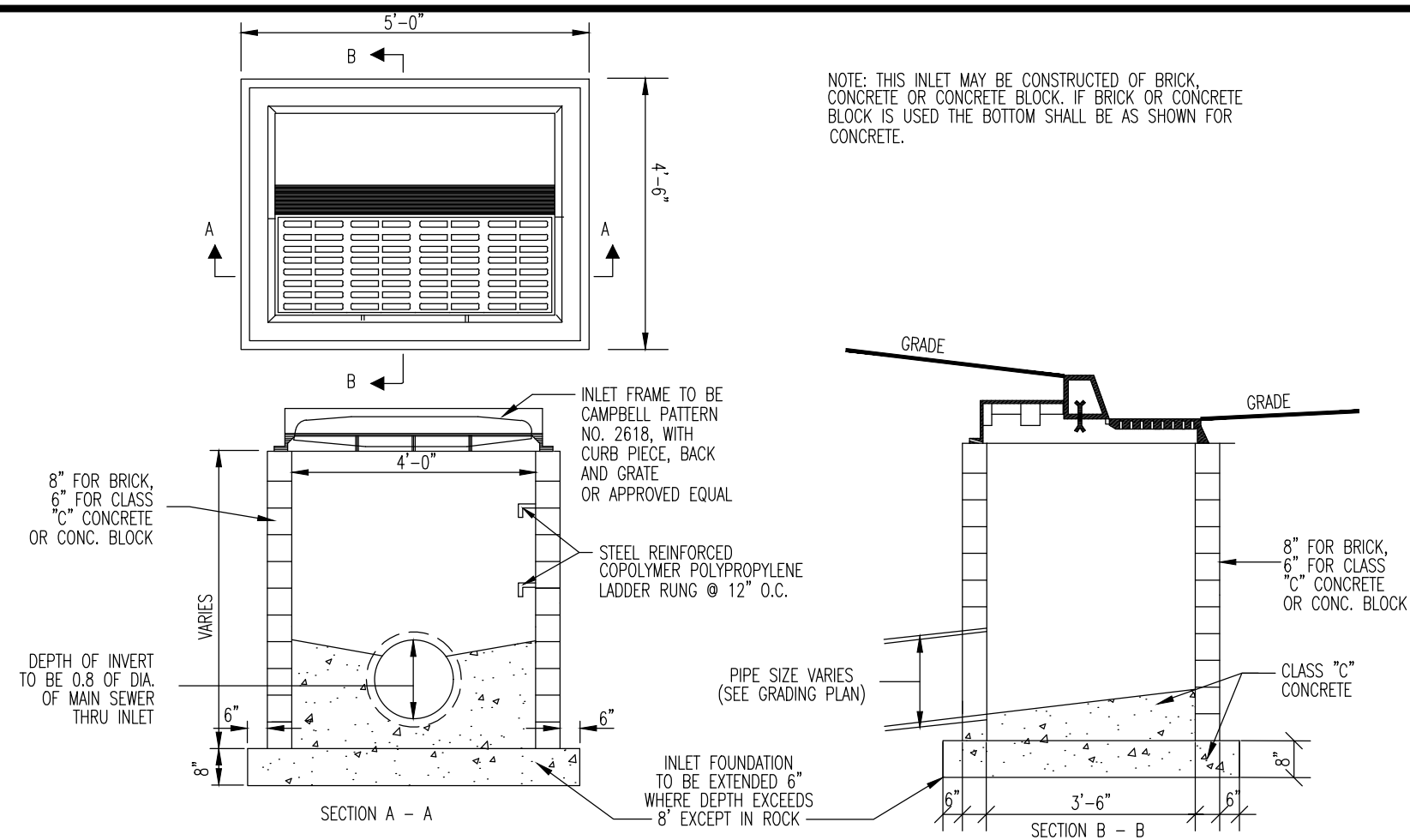
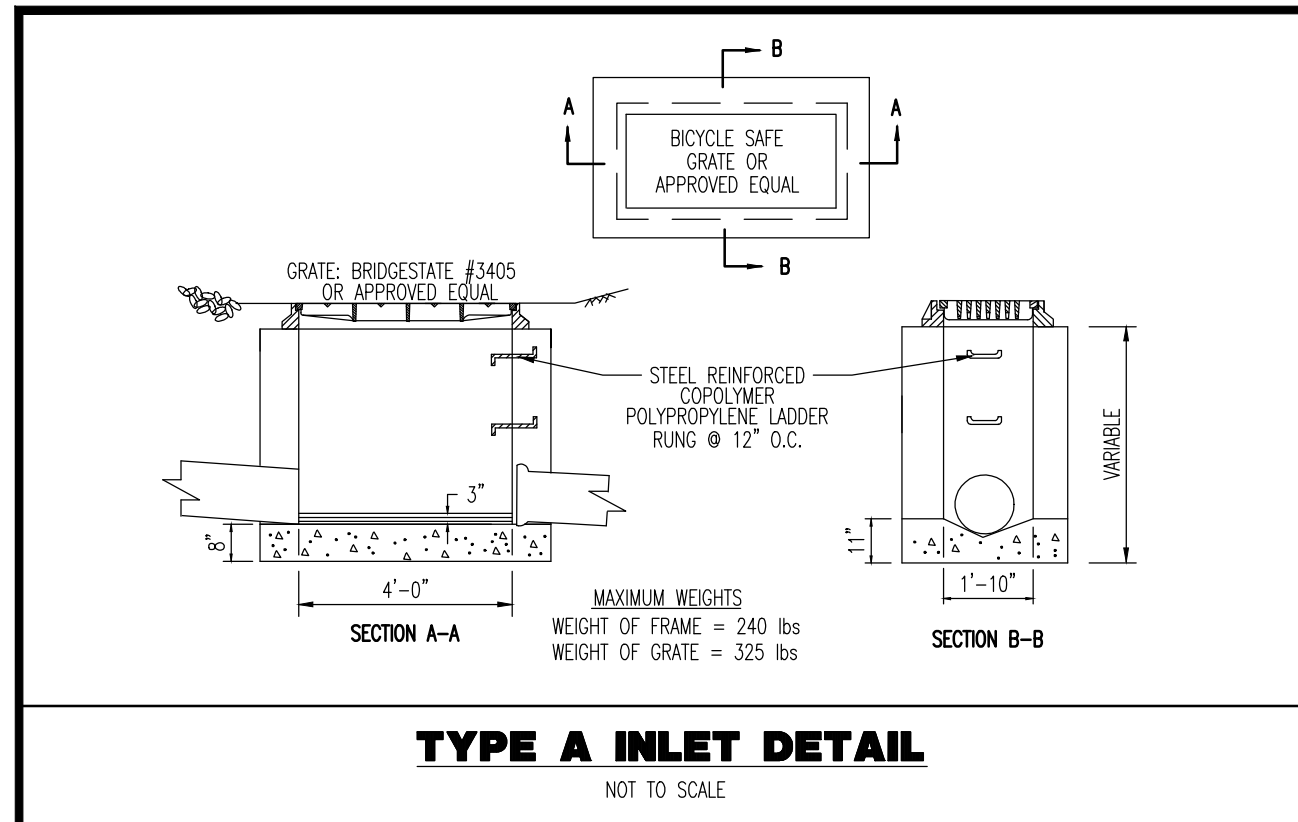
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CONSTRUCTION DETAILS

PROJECT: WINDSOR 1 DEVELOPERS, LLC
PROPOSED WINDSOR FOOD MARKET & FUELING STATION AND HOTEL

DATE: 01/06/2020
JOB No: 1478-99-043

DRAWN BY: KAK
DESIGNED BY: RJM
CHECKED BY: MS

MATTHEW SHARO
PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

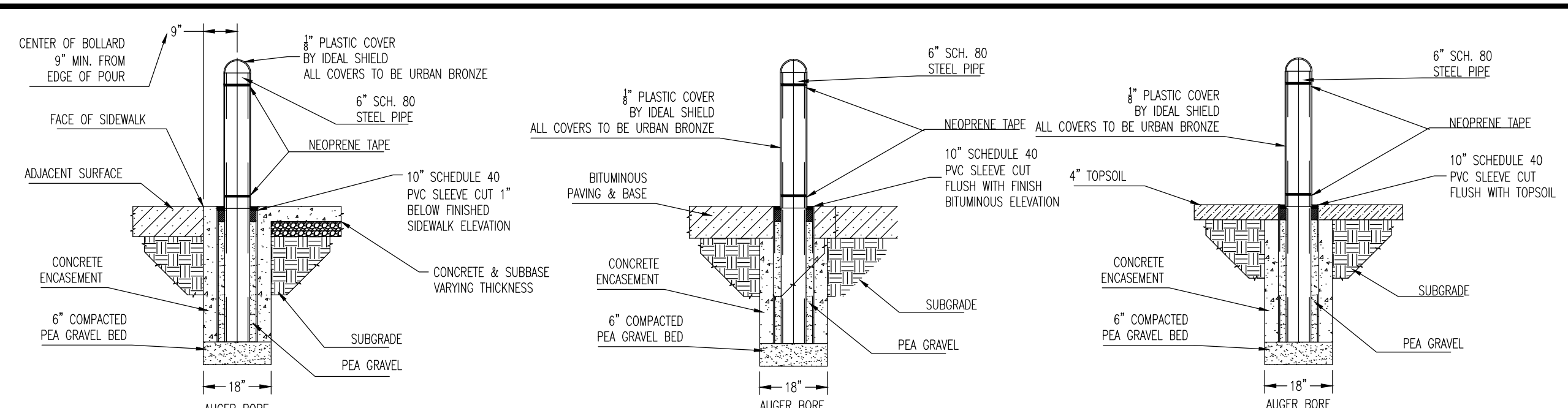
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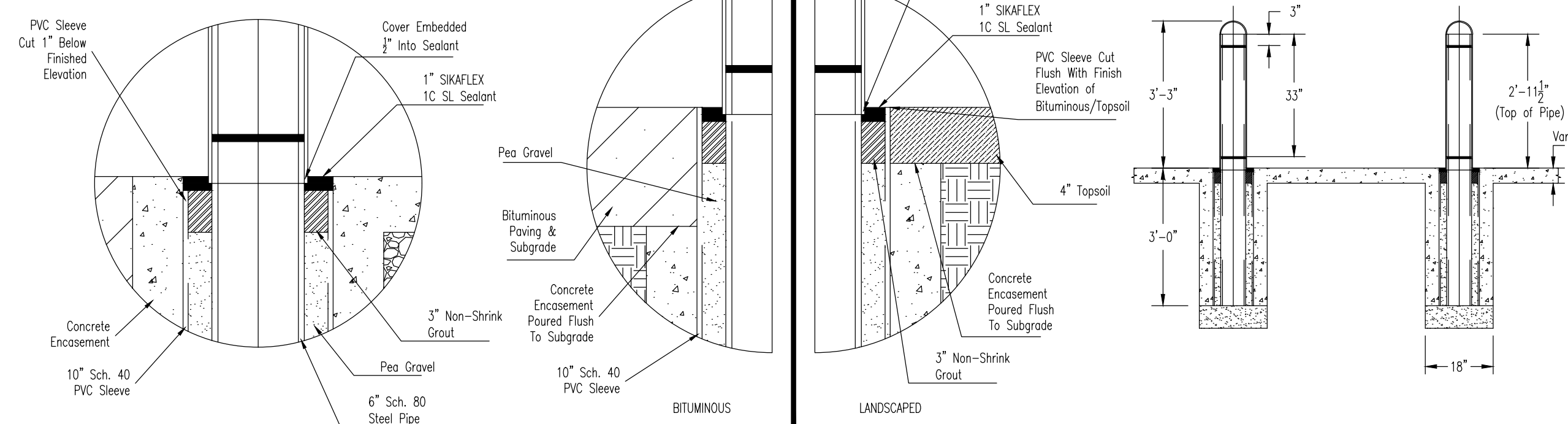
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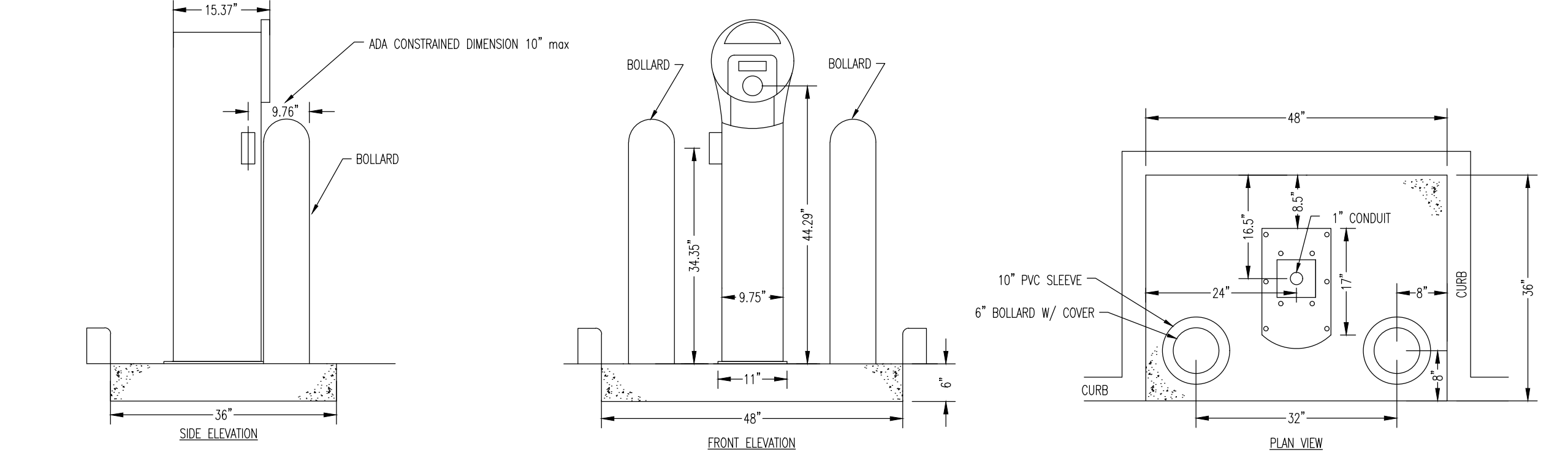


CONCRETE AREAS **BITUMINOUS AREAS** **LANDSCAPED AREAS**

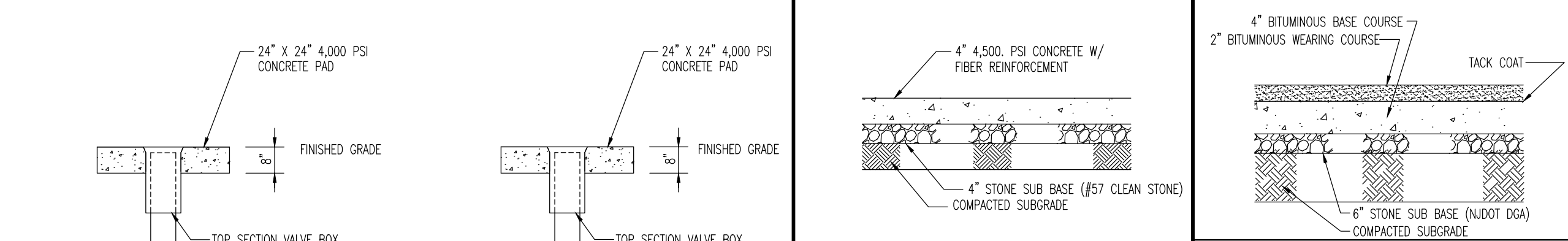


GENERAL DETAILS AND CAULK/GROUT DETAIL FOR CONCRETE AREAS **CAULK/GROUT DETAIL FOR LANDSCAPED & BITUMINOUS AREAS**

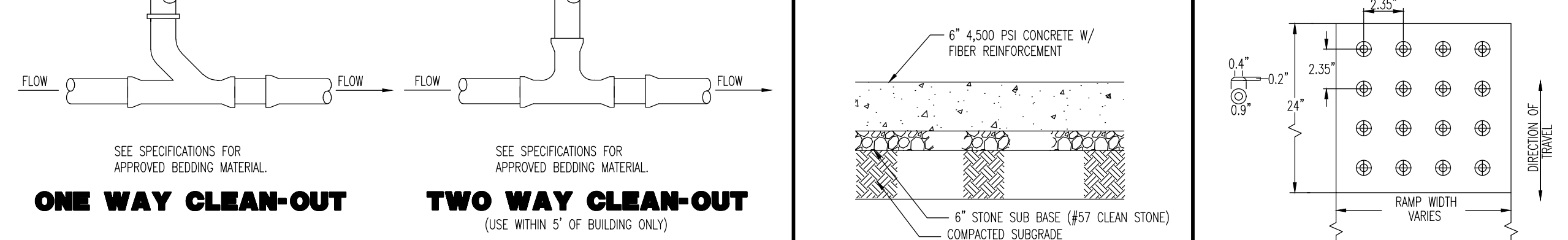
WAWA BOLLARD DETAIL (NEW CONSTRUCTION)
NOT TO SCALE



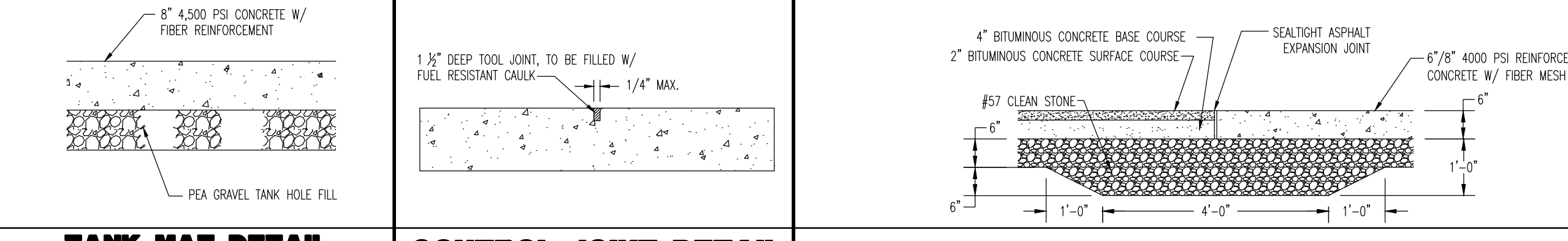
AIR PUMP STAND DETAIL (EXCEL AIR MACHINE MODEL #SC05)
NOT TO SCALE



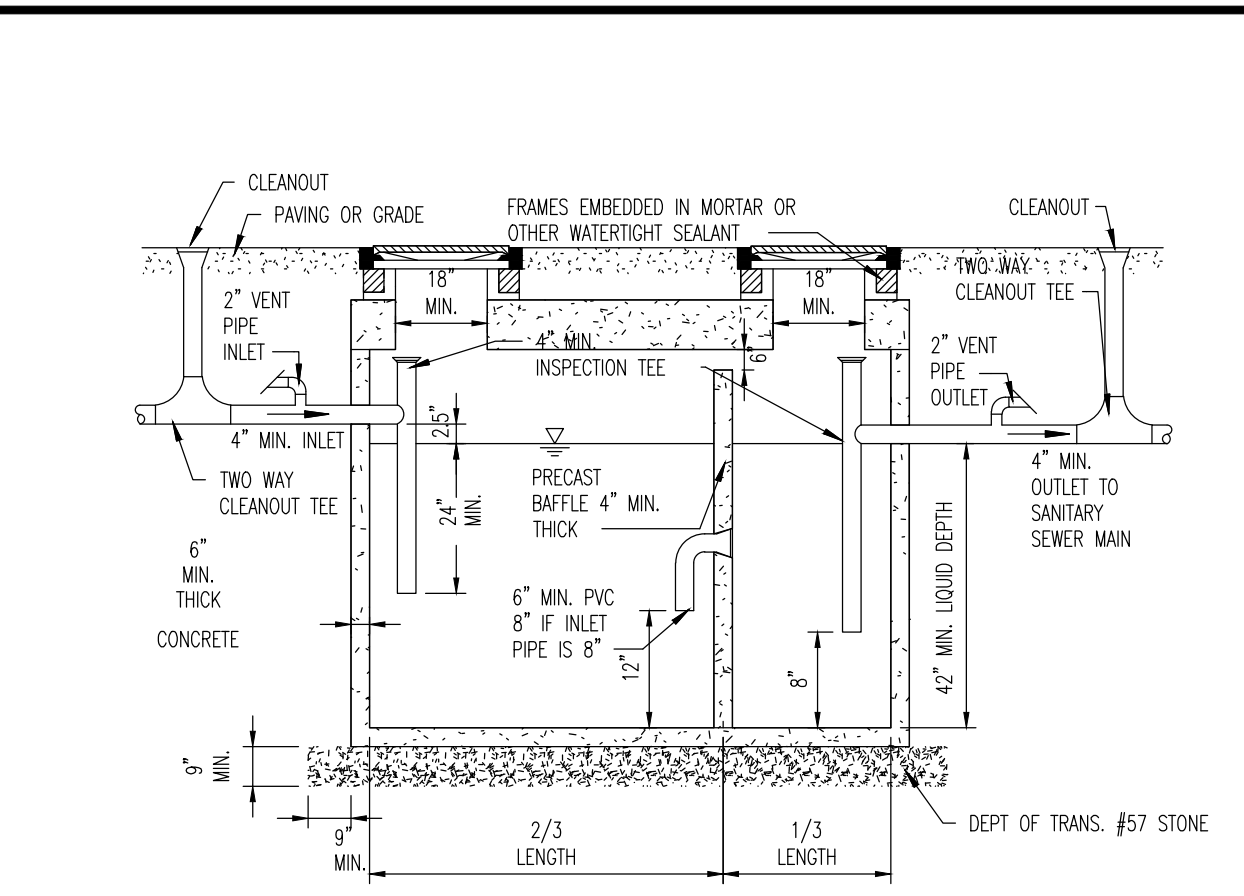
SIDEWALK DETAIL **BITUMINOUS PAVING DETAIL**
SEE ARCH. SPEC. FOR COMPLETE CONCRETE DETAILS



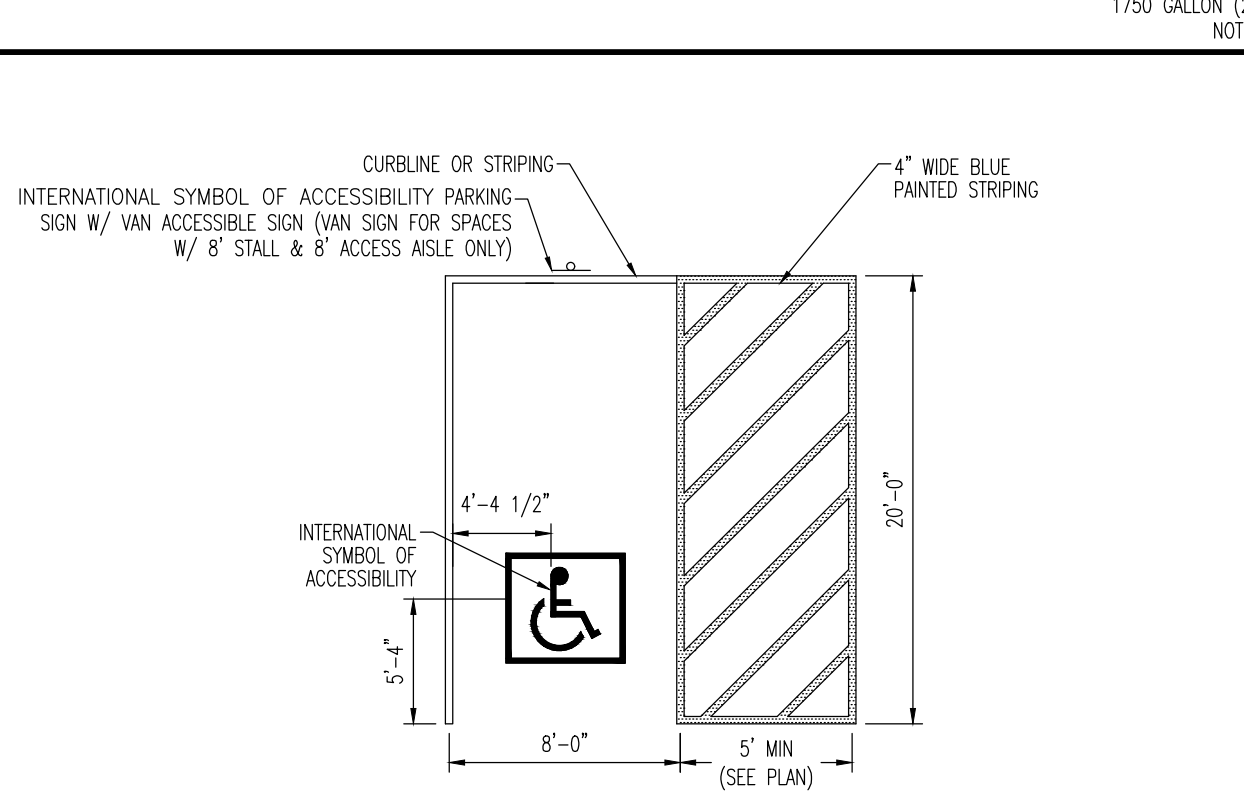
ONE WAY CLEAN-OUT **TWO WAY CLEAN-OUT**
SEE SPECIFICATIONS FOR APPROVED BEDDING MATERIAL



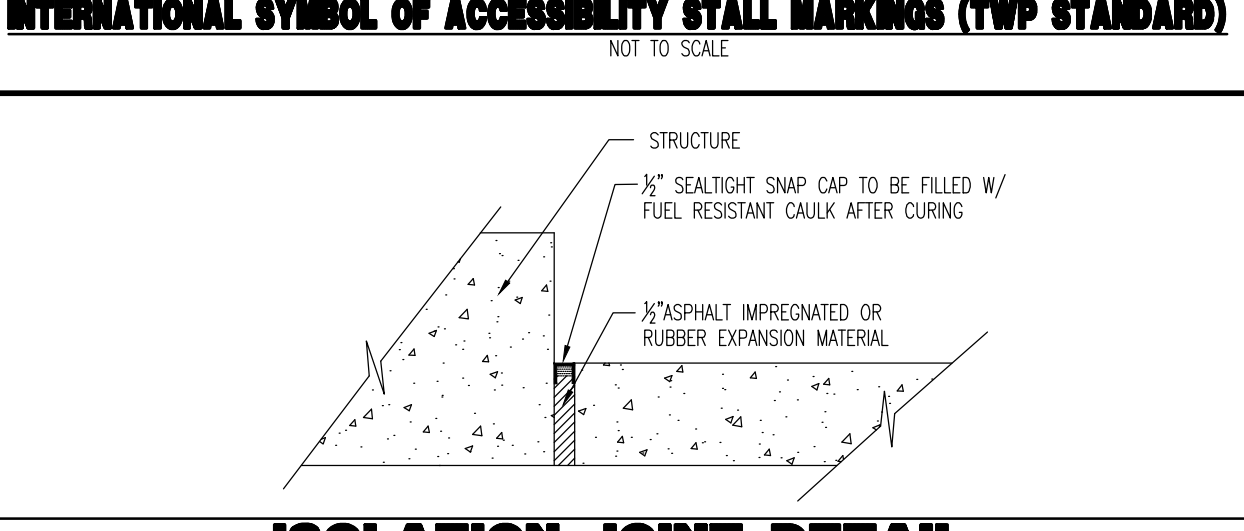
PARKING, CANOPY, & TRASH MAT **TRUNCATED DOME DETAIL**
SEE ARCH. SPEC. FOR COMPLETE CONCRETE DETAILS



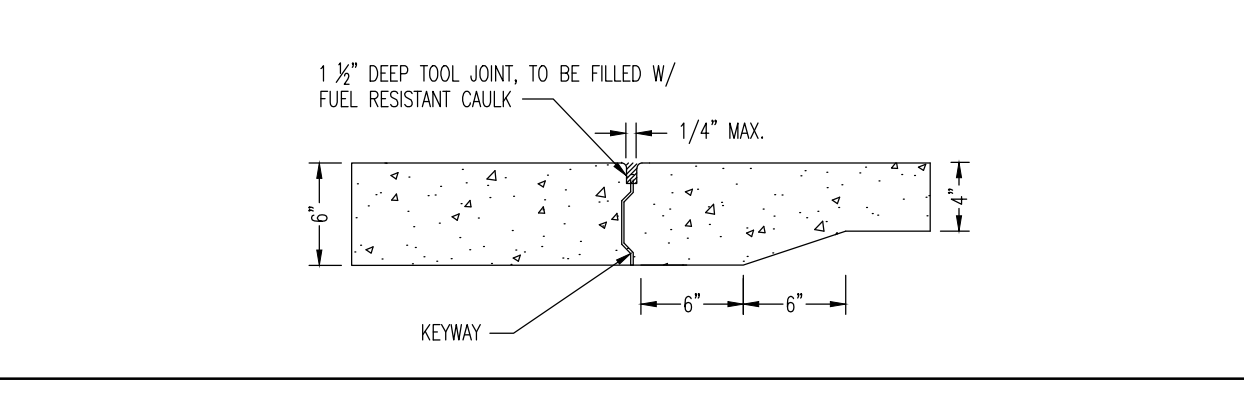
GREASE TRAP
1750 GALLON (2 COMPARTMENT) TANK
NOT TO SCALE



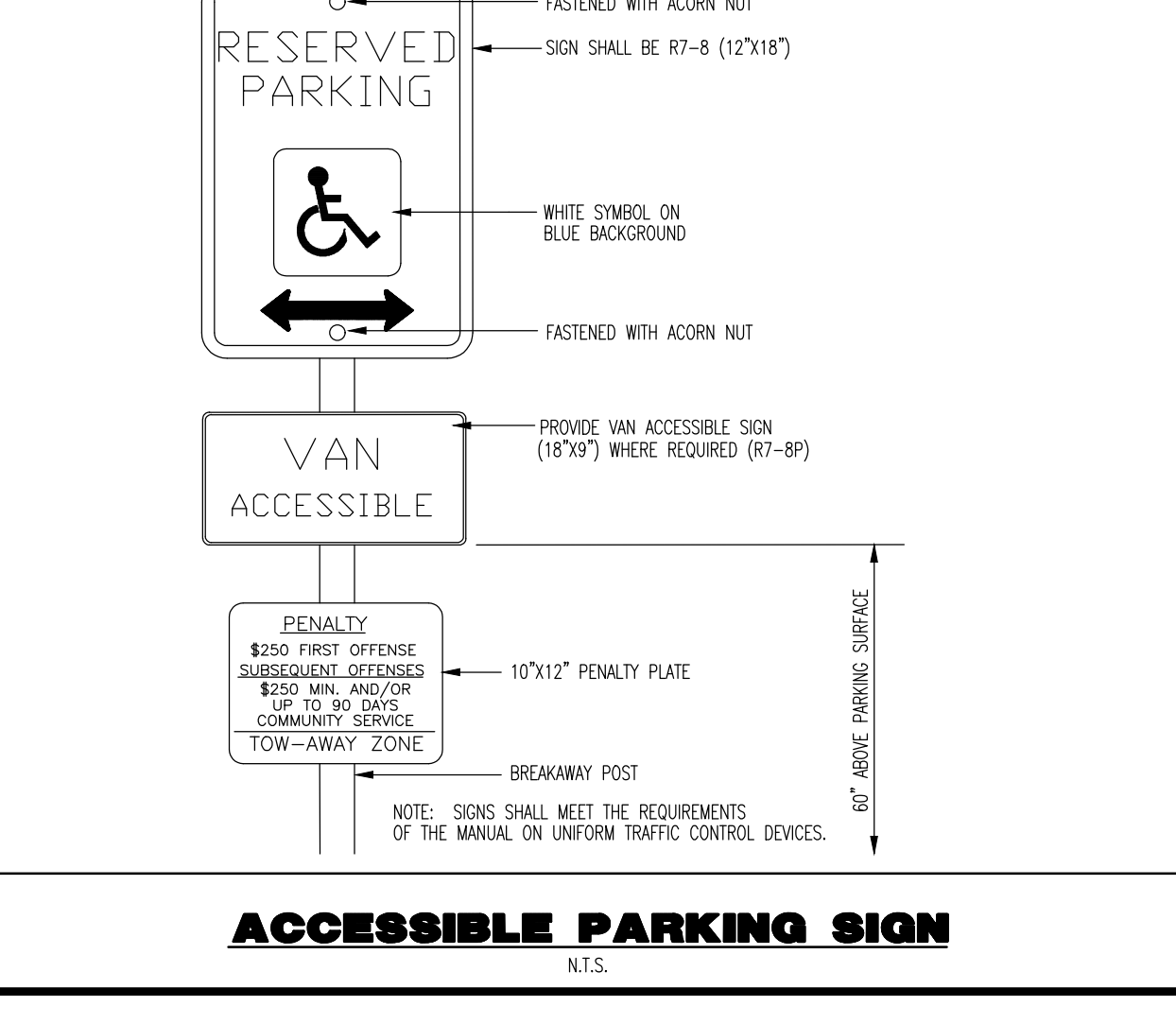
INTERNATIONAL SYMBOL OF ACCESSIBILITY PARKING MARKINGS (TWP STANDARD)
NOT TO SCALE



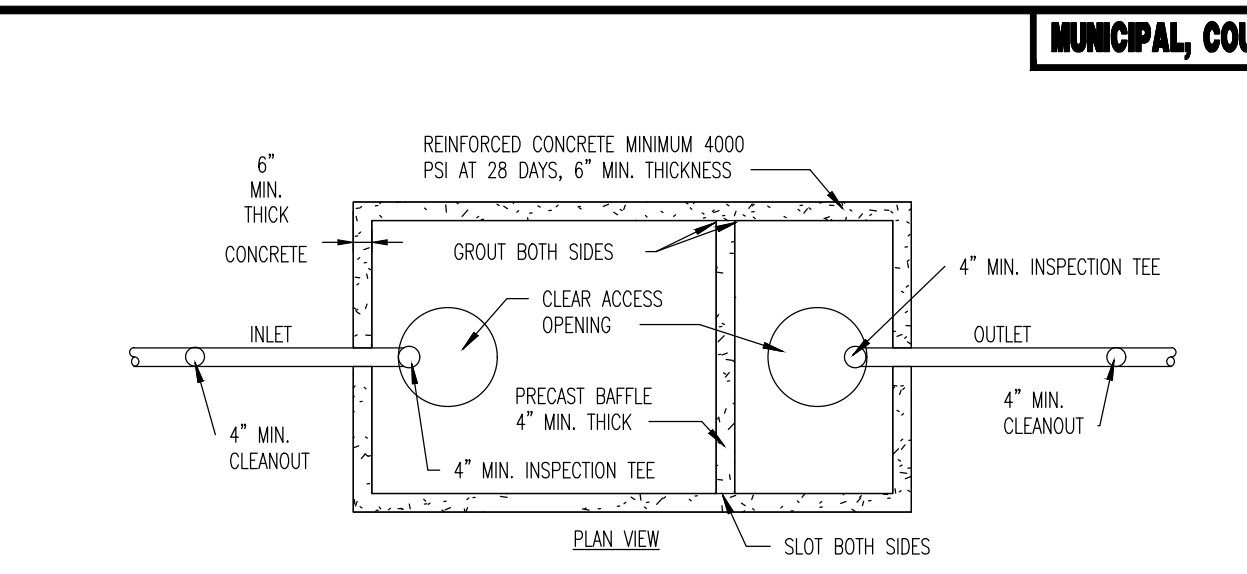
ISOLATION JOINT DETAIL
AT STRUCTURES SUCH AS GAS ISLANDS, BUILDING CANOPY COLUMNS, ETC.
SEE ARCH. SPEC. FOR COMPLETE CONCRETE DETAILS



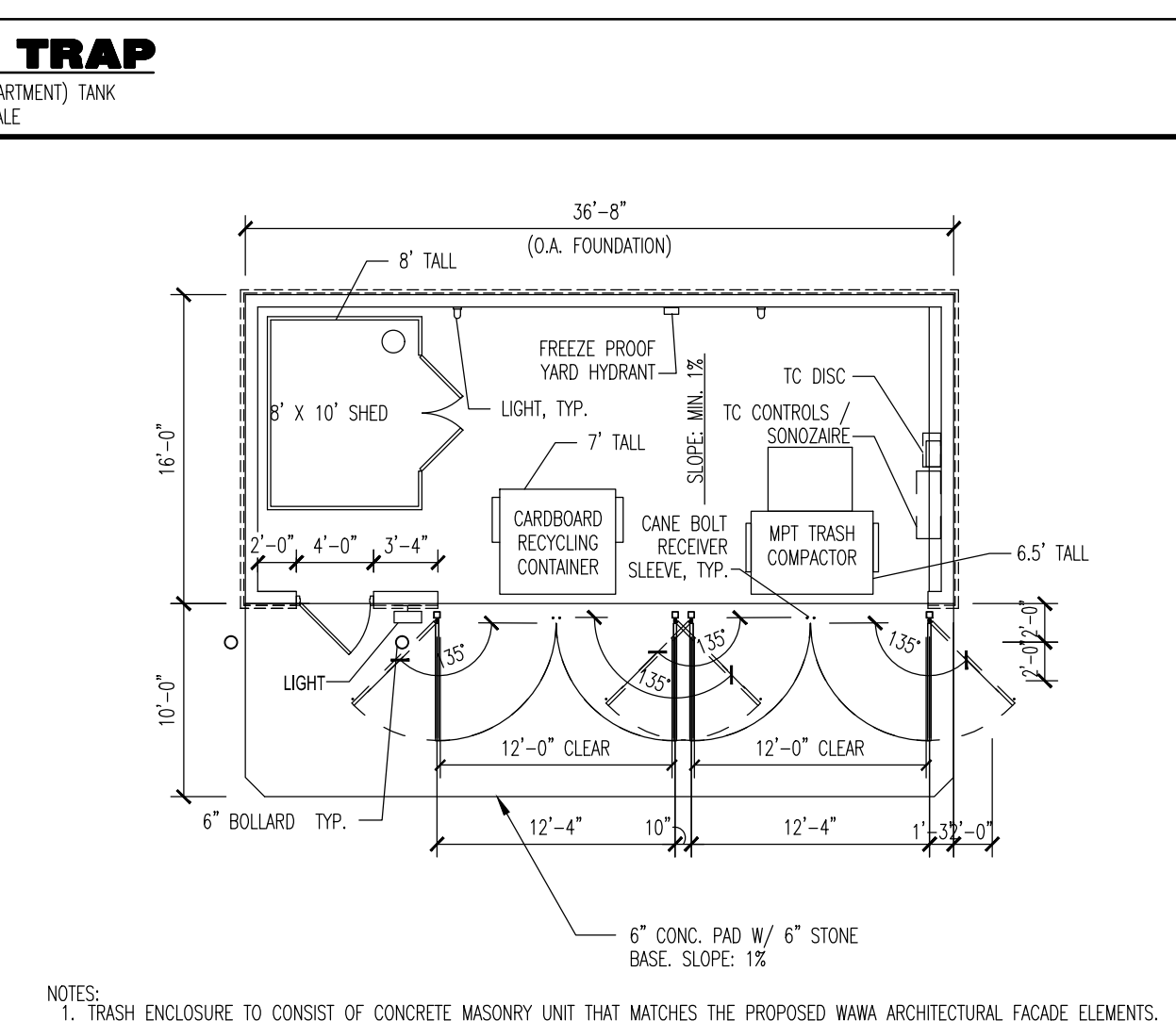
CONSTRUCTION JOINT DETAIL
SEE ARCH. SPEC. FOR COMPLETE CONCRETE DETAILS



ACCESSIBLE PARKING SIGN
N.T.S.



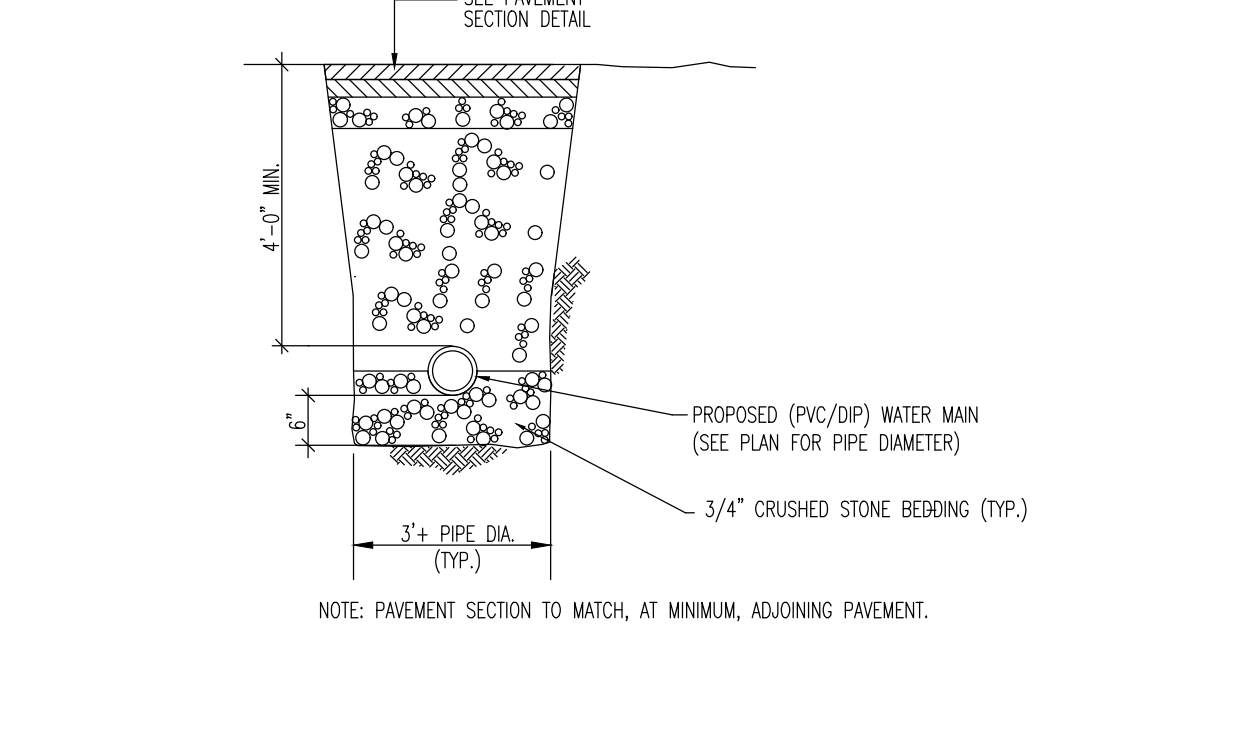
WATER SERVICE TRENCH DETAIL
NOT TO SCALE



TRASH ENCLOSURE DETAIL
MODEL MARC17-L
36" X 16" X 6"
NOT TO SCALE



WATER SERVICE TRENCH DETAIL
NOT TO SCALE



WATER SERVICE TRENCH DETAIL
NOT TO SCALE

Plotted: 08/13/20 - 10:27 AM, By: geowdrick, Product: Ver. 23.1s (LMS Tech) File: P:\PROJECTS\1478 Paramount Realty\99-043 West Windsor\DWG\Site Plans\15 WAWA CONSTRUCTION DETAILS
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TITLE: **WAWA CONSTRUCTION DETAILS**

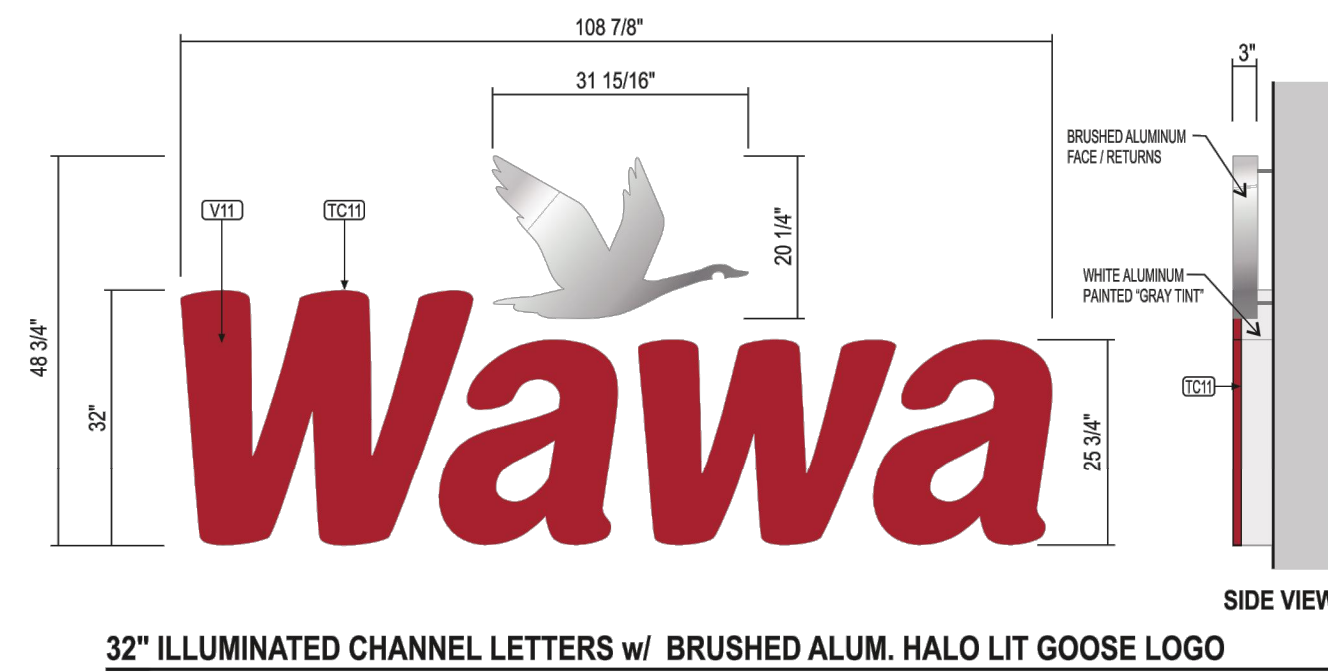
PROJECT: **WINDSOR 1 DEVELOPERS, LLC
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL**

DATE: 01/06/2020
JOB No: 1478-99-043
DRAWN BY: KAK
DESIGNED BY: RJM
CHECKED BY: MS
SCALE: (H) NOT TO SCALE
SHEET No: 15 OF 20

MATTHEW SHARO **MARK A. WHITAKER**
PROFESSIONAL ENGINEER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989 NEW JERSEY LICENSE No. 41417

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32" ILLUMINATED CHANNEL LETTERS w/ BRUSHED ALUM. HALO LIT GOOSE LOGO

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

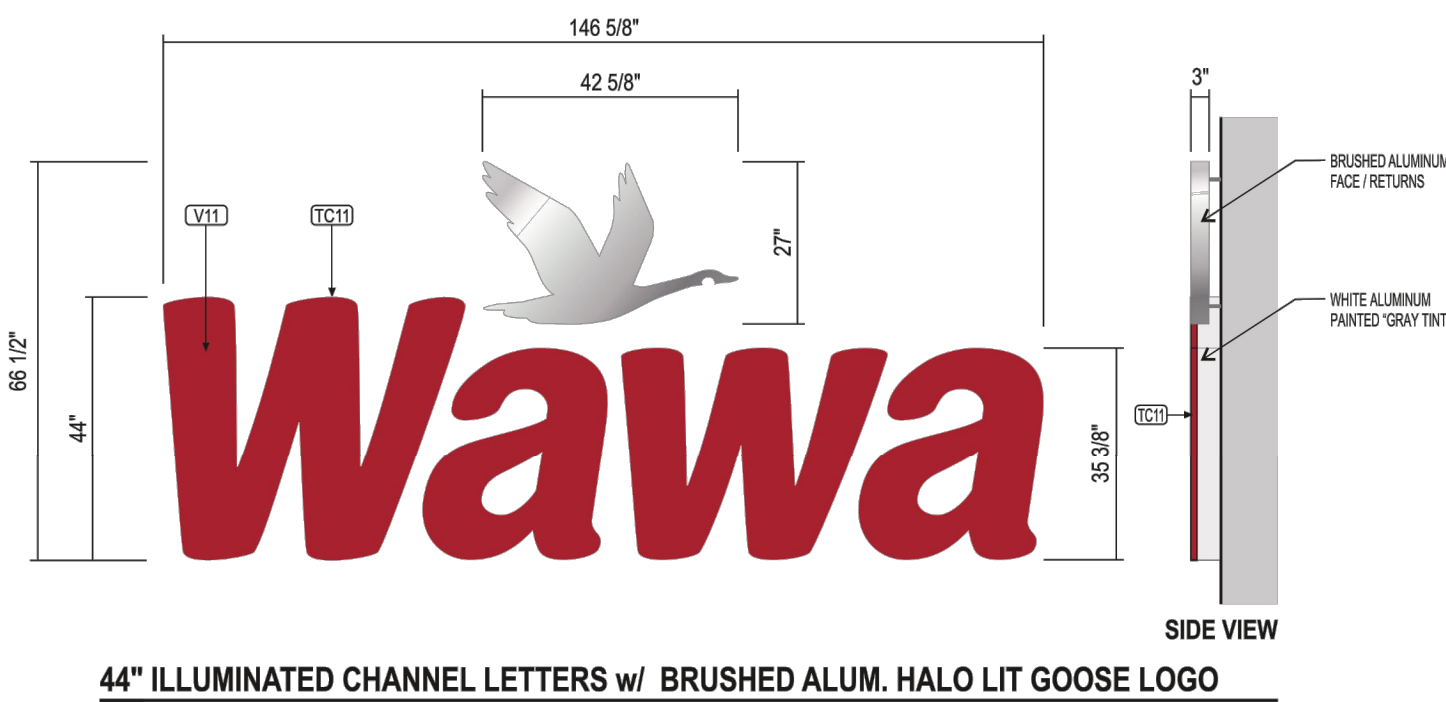
32" WAWA SIGN

36.9 SF
NOT TO SCALE



WAWA CANOPY SIGN

9.02 SF
NOT TO SCALE

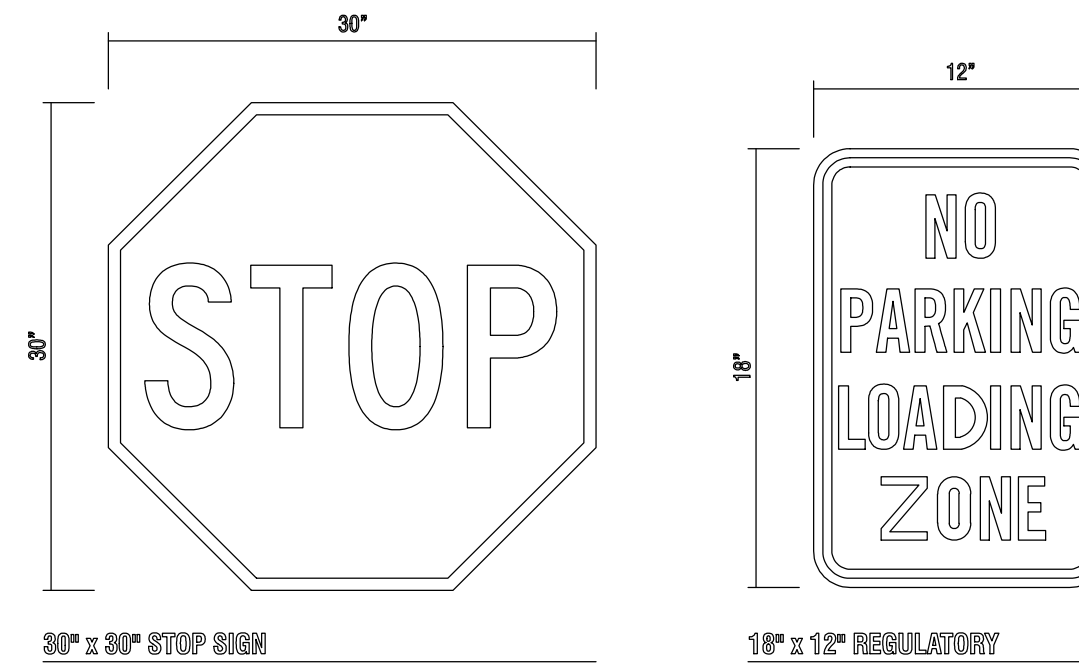


44" ILLUMINATED CHANNEL LETTERS w/ BRUSHED ALUM. HALO LIT GOOSE LOGO

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

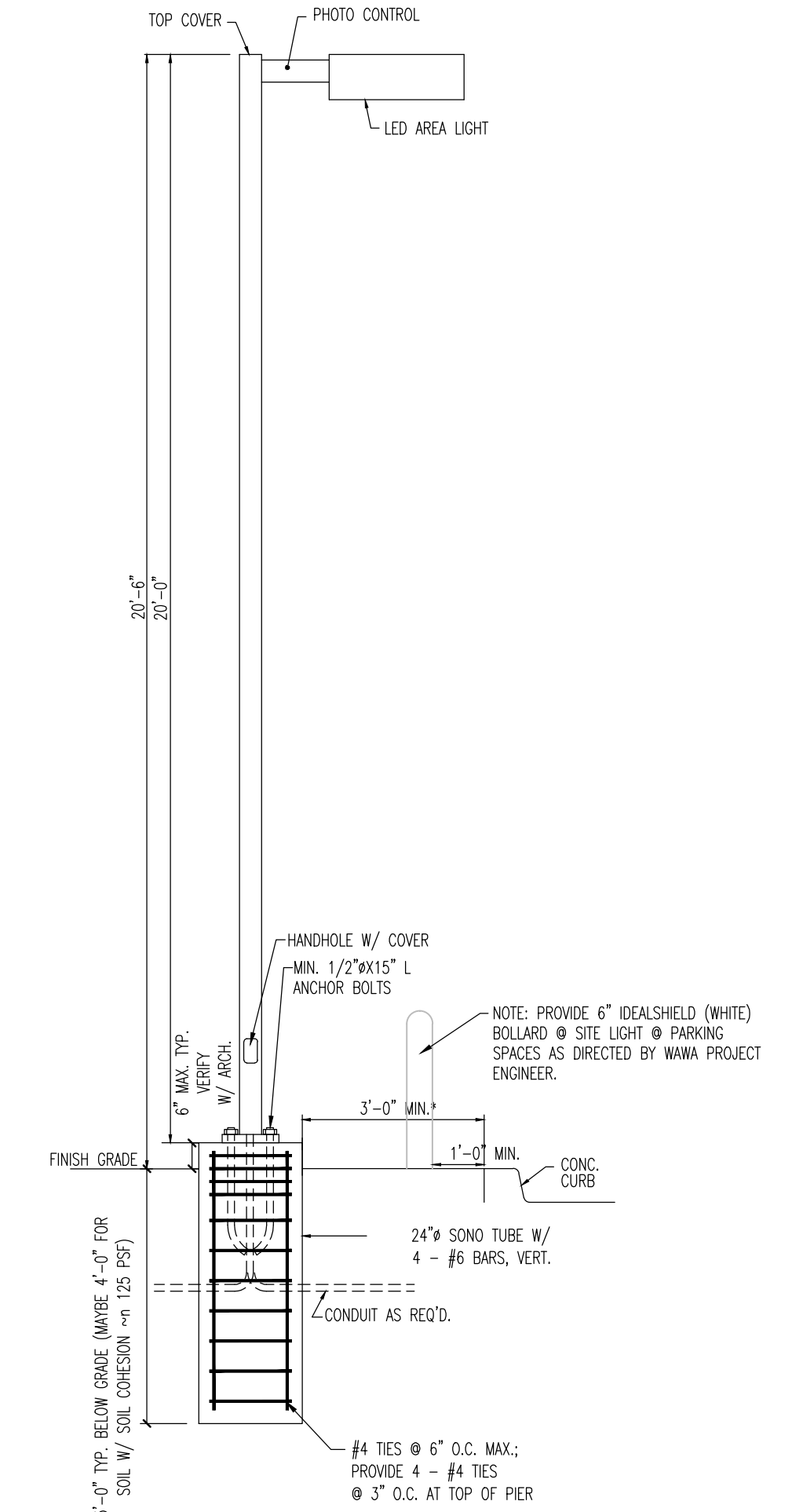
44" WAWA SIGN

67.7 SF
NOT TO SCALE



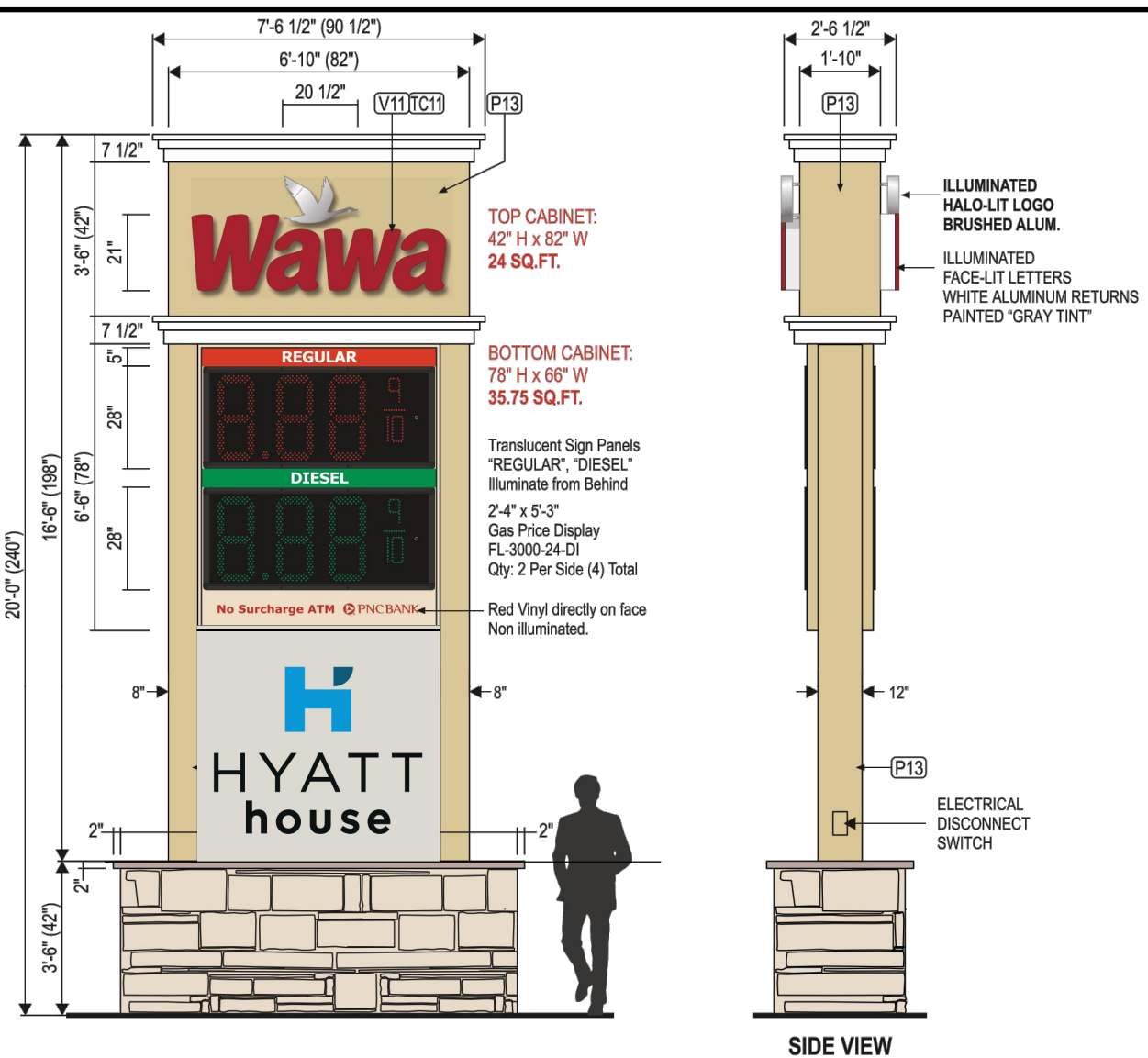
MISCELLANEOUS SIGN DETAILS

NOT TO SCALE



20' LIGHT POLE W/ STANDARD ANCHORING DETAIL

N.T.S.

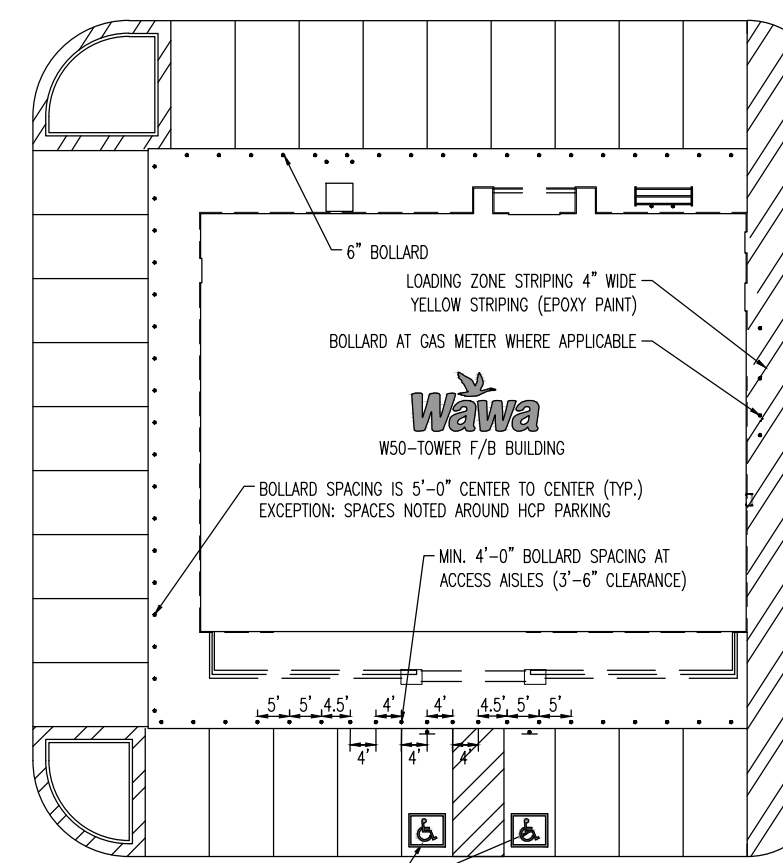


24" / 2 PRODUCT
P-50 D/F ILLUMINATED PYLON SIGN

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

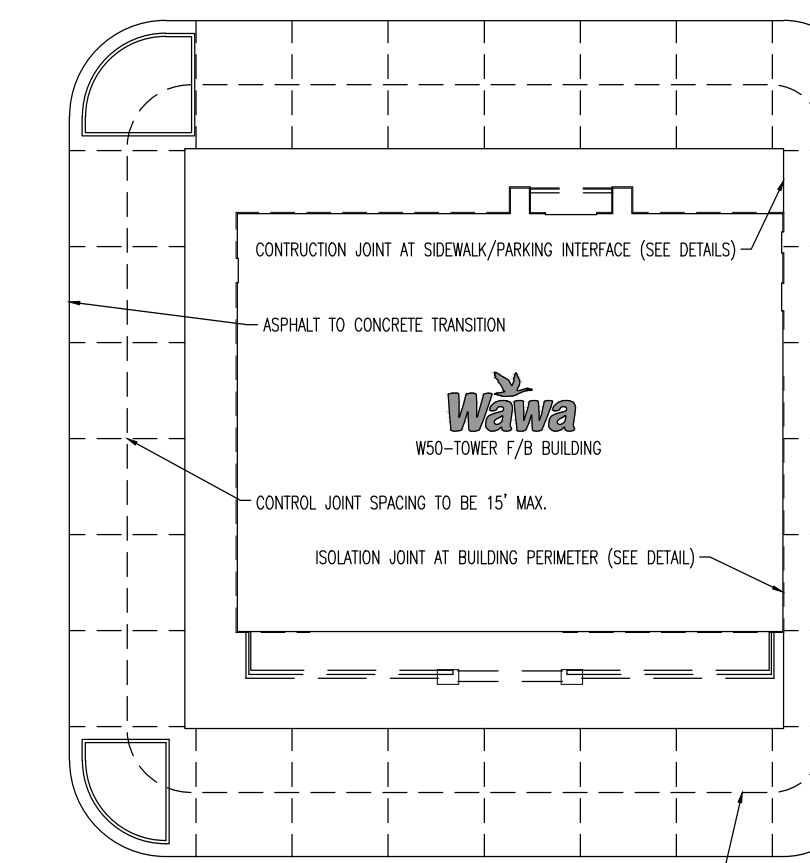
SHARED WAWA P-50 LD. & HYATT HOUSE SIGN

88.63 SF
NOT TO SCALE



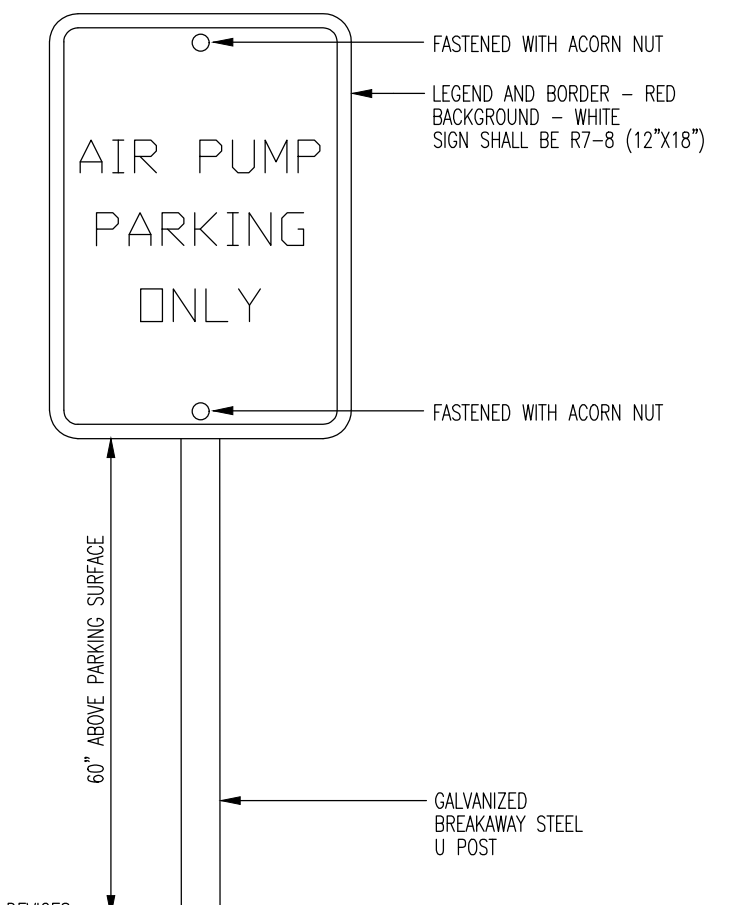
STRIPING & BOLLARD PLACEMENT DETAIL

NOT TO SCALE



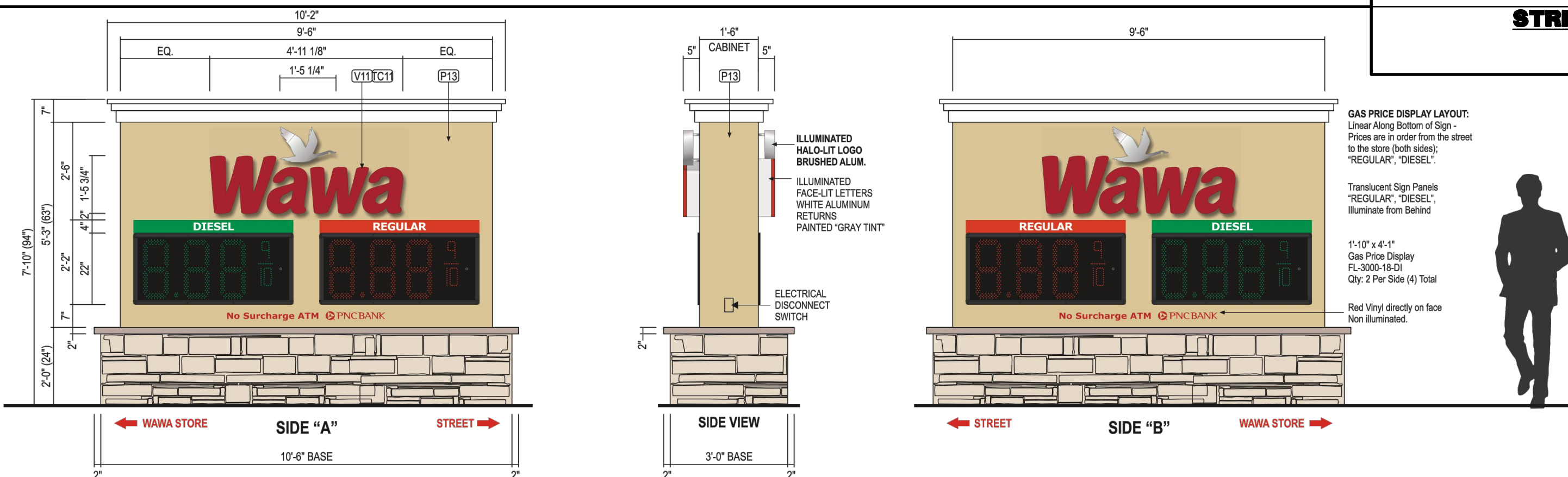
PARKING CONTROL JOINT PLAN

NOT TO SCALE



AIR PARKING SIGN

N.T.S.

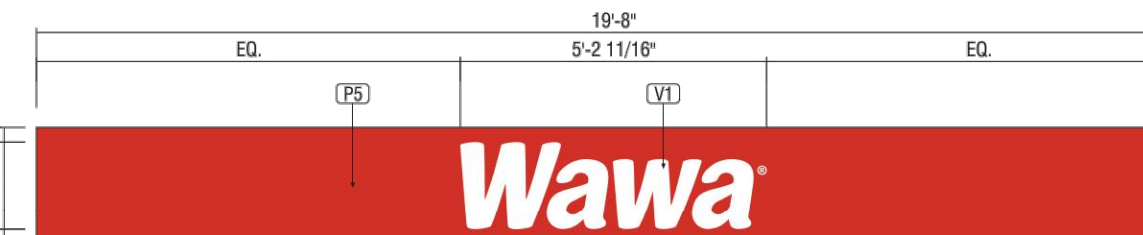


18" / 2 PRODUCT (OPTION 1A)
M-50 D/F ILLUMINATED MONUMENT SIGN

STANDARD SPECS - SEE COLOR SPECIFICATION LIBRARY

WAWA M-50 SIGN

49.87 SF
NOT TO SCALE



GAS PUMP SPANNER (STACKED PUMPS)

COLORS TO MATCH "WAWA" STANDARD COLORS

SPANNER SIGN

39.3 SF
NOT TO SCALE

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F: 973.974.3521
www.dynamic.com

TITLE: **WAWA CONSTRUCTION DETAILS**

PROJECT: **WINDSOR 1 DEVELOPERS, LLC
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL**

DATE: 01/06/2020

JOB No: 1478-99-043

SCALE: (H) NOT TO SCALE (V) SCALE

DRAWN BY: KAK

DESIGNED BY: RJM

CHECKED BY: MS

CHECKED BY: -

SHEET No: **16**

OF 20

Rev. # 2

PROTECT YOURSELF
ALL STATES REQUIRE VERIFICATION OF ENGINEER'S SIGNATURE. IF ANY VARIATION FROM THE ORIGINAL PLAN IS REQUIRED, THE ENGINEER'S SIGNATURE MUST BE OBTAINED AND THE ORIGINAL PLAN MUST BE REVISED AND RE-SIGNED.

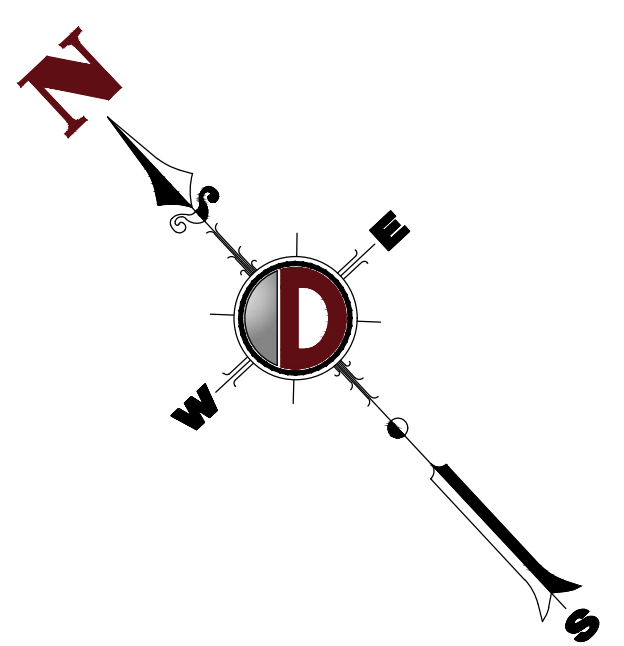
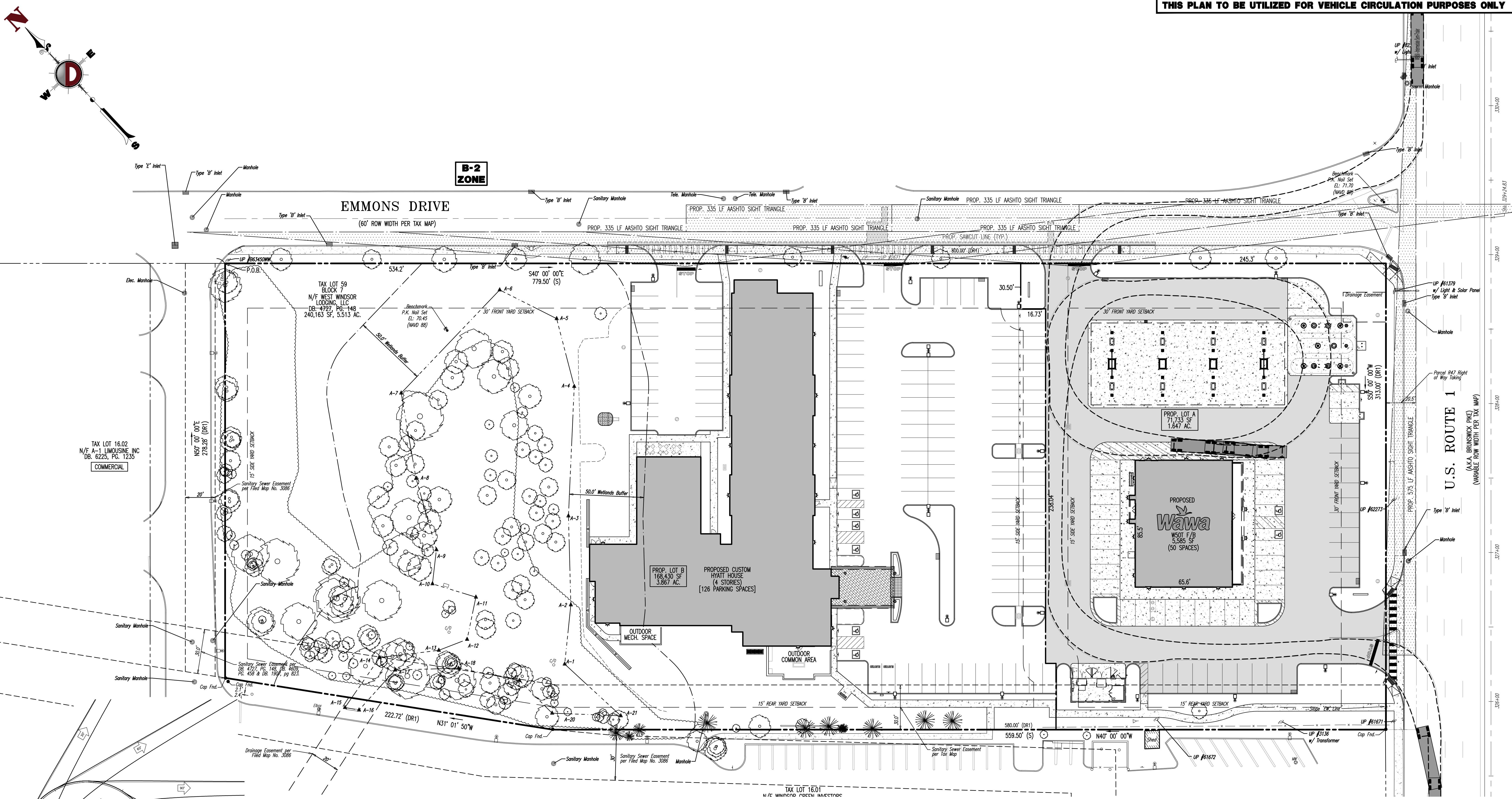
FOR STATE SPECIFIC DIRECT PHONE NUMBERS VISIT: WWW.CALL811.COM

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41417

10/05/20 REV. PER TOWNSHIP & NJDOT REVIEW COMMENTS
01/02/20 REV. PER DRCC & SCD REVIEW COMMENTS

DATE
Comments
K.A.H.



B-2 ZONE

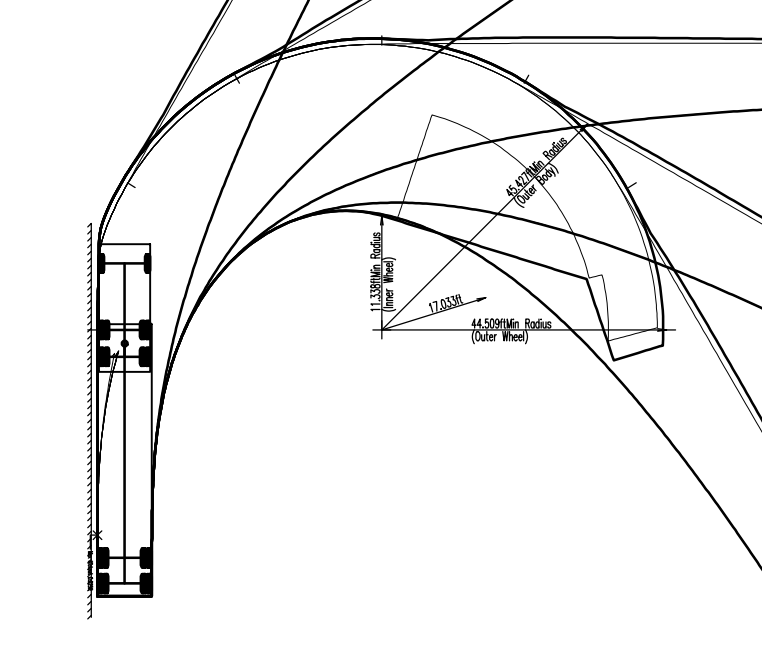
TAX LOT 16.02
N/E A-1 LIMOUSINE INC
DB. 6225, PG. 1235
COMMERCIAL

TAX LOT 59
BLOCK 7
N/W WEST WINDSOR
LODGING, LLC
DB-4767, PG-148
240,163 SF, 5.513 AC.

PROPOSED CUSTOM
HYATT HOUSE
(4 STORIES)
[126 PARKING SPACES]

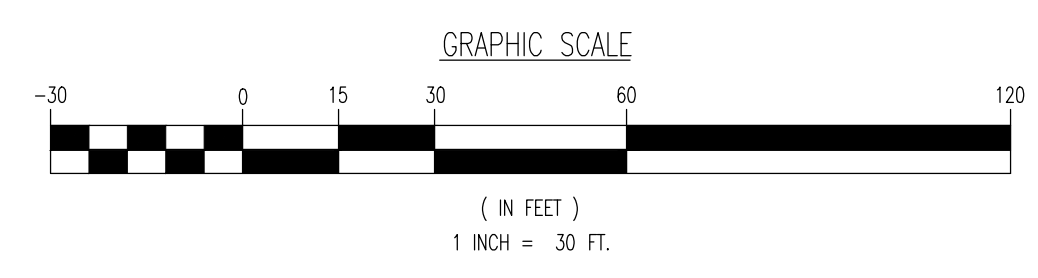
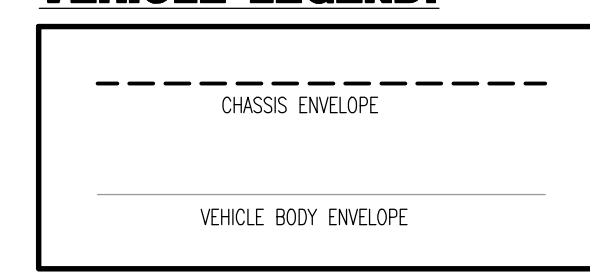
PROPOSED
Wawa
REST F/B
5,585 SF
(50 SPACES)

TAX LOT 16.01
N/E WINDSOR FOOD MARKET



Vehicle Type	Overall Length	Wheelbase	Ground Clearance
Intermediate Semi-Trailer	43.5'	33.5'	4.2'
Tractor	19.0'	13.0'	4.2'
Trailer	24.5'	13.0'	4.2'

VEHICLE LEGEND:



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F: 732.974.5521
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TITLE: **VEHICLE CIRCULATION PLAN (WB-50)**

PROJECT: **WINDSOR 1 DEVELOPERS, LLC
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL**

JOB No: 1478-99-043
DATE: 01/06/2020

DRAWN BY: KAK
DESIGNED BY: RJM
CHECKED BY: MS

SCALE: (H) 1"=30'
(V)

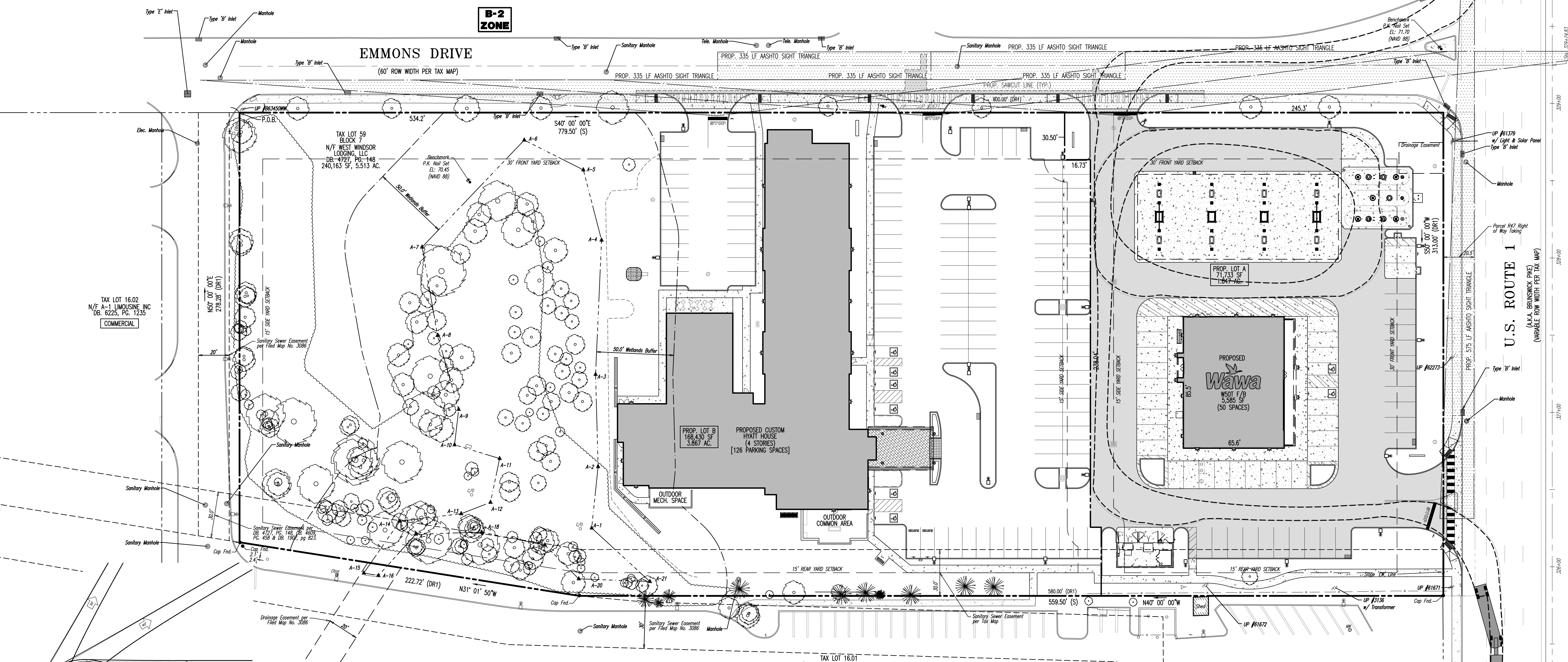
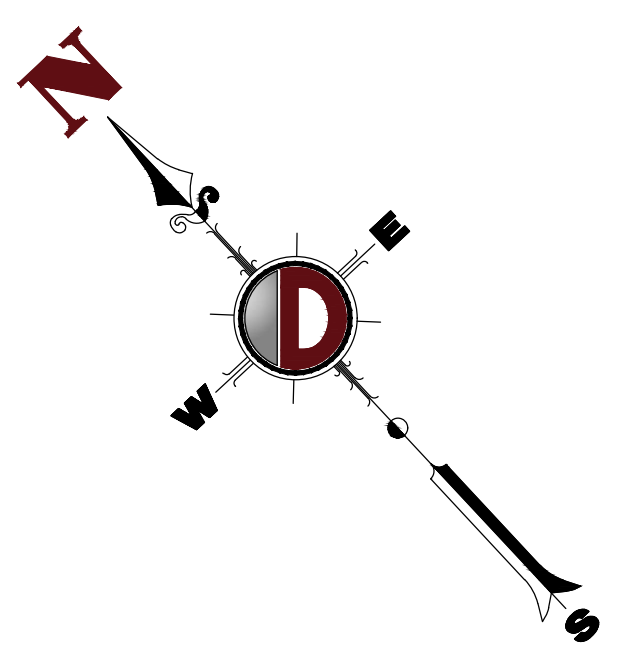
SHEET No: **17**
OF 20

MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

MARK A. WHITAKER PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 41417

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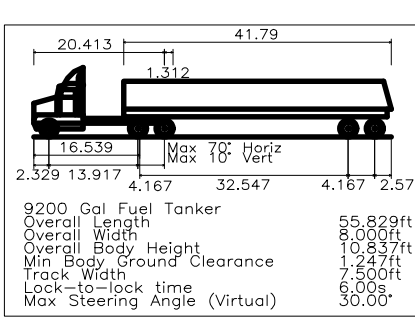
Plotted: 08/13/20 10:28 AM By: geowdrick Product Ver: 23.1s (LMS Tech)
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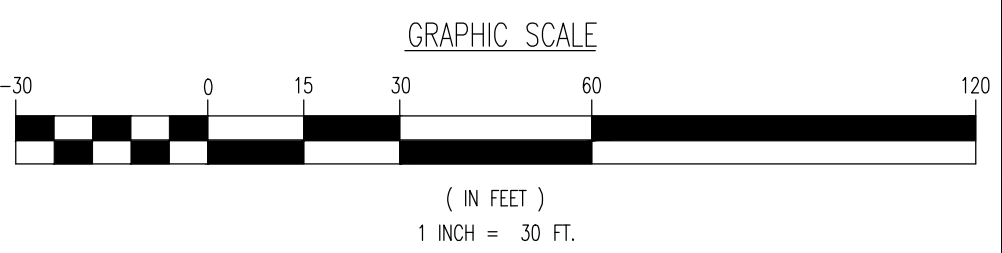
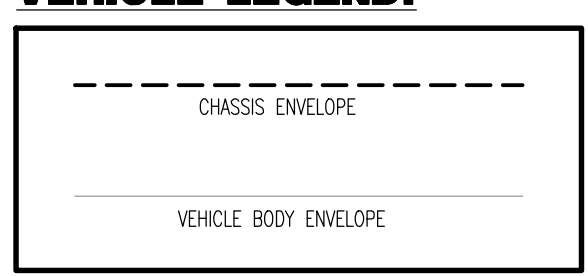
B-2 ZONE

TAX LOT 16.02
N/F A-1 LIMOUSINE INC
DB. 6225, PG. 1235
COMMERCIAL

Plotted: 08/13/20 - 10:28 AM, By: geowdrick, Product Ver: 23.1s (LMS Tech)
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VEHICLE LEGEND:

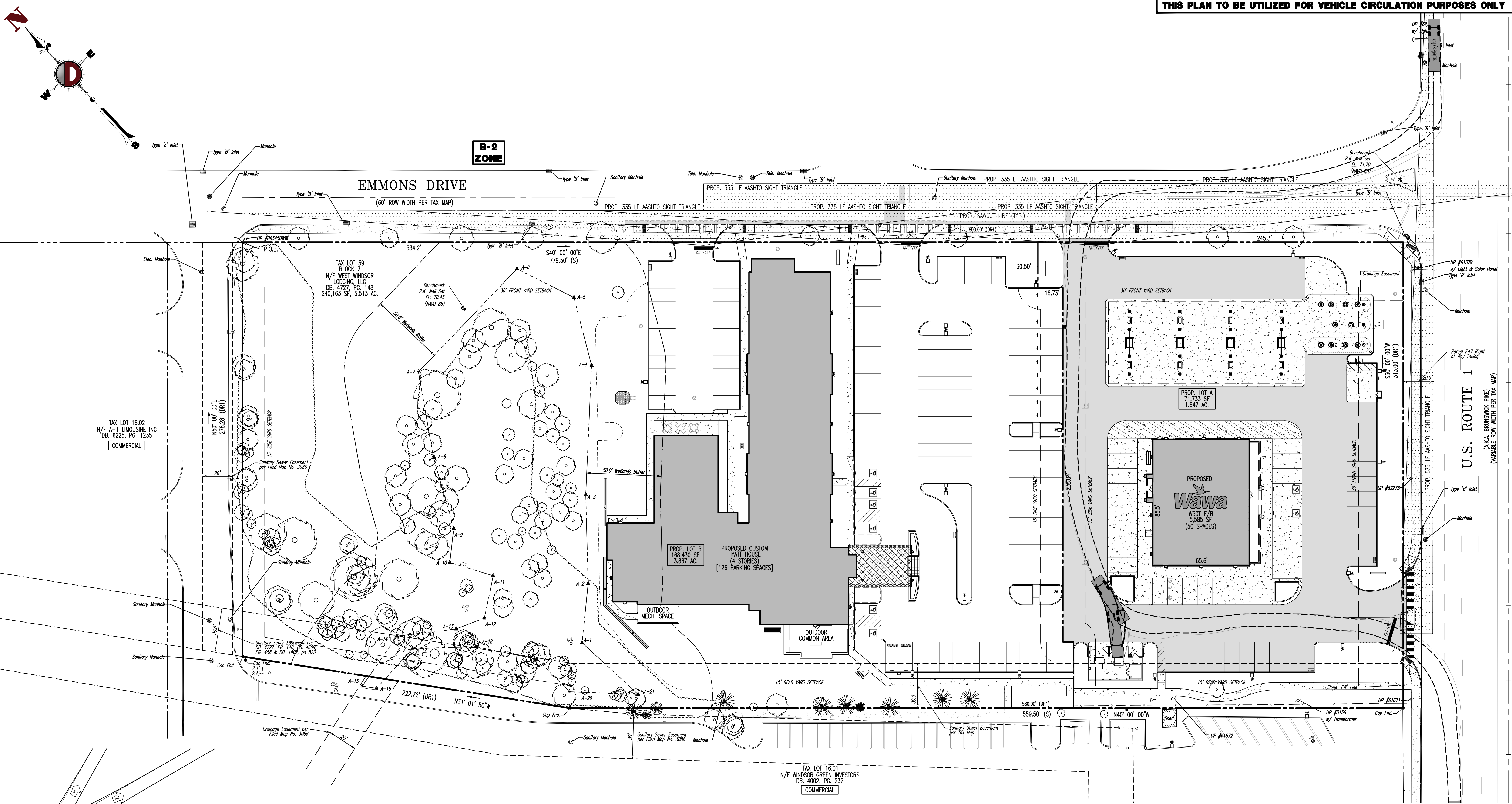


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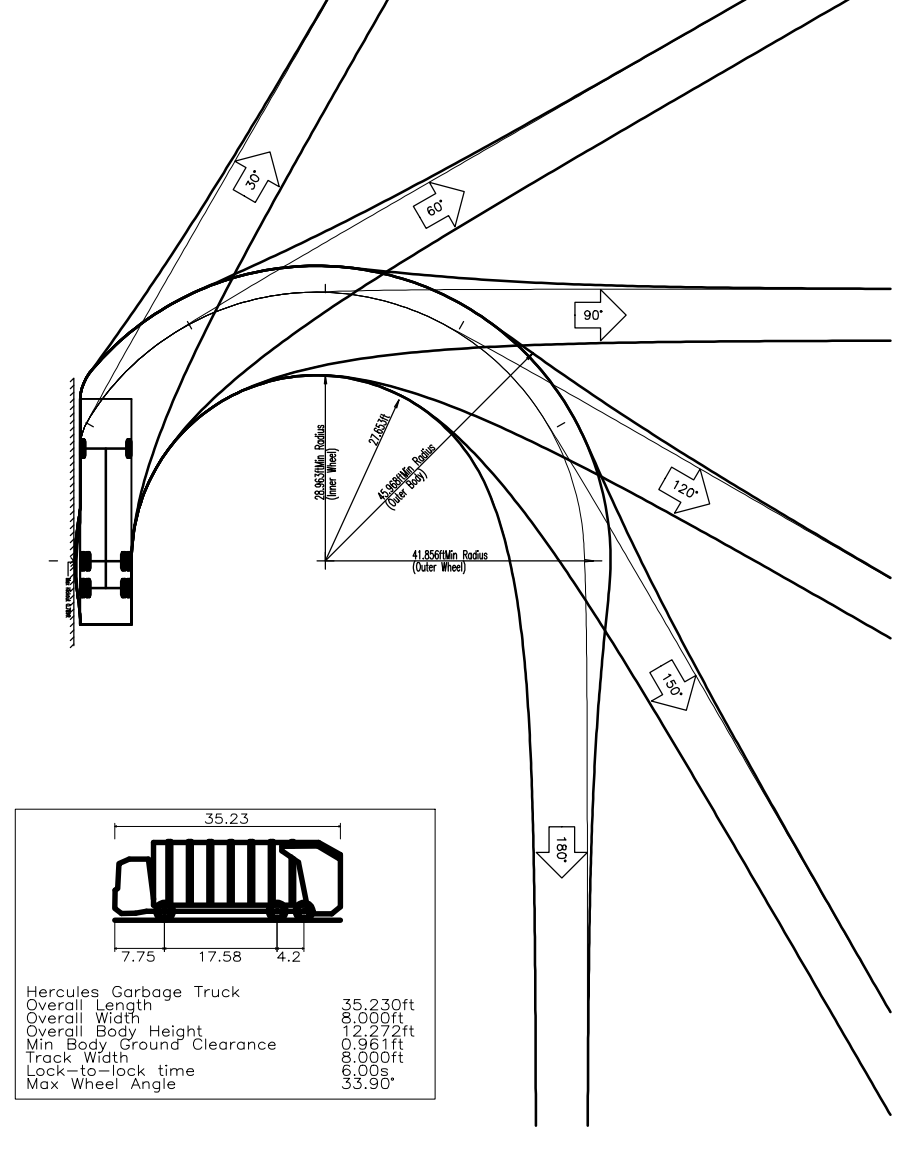
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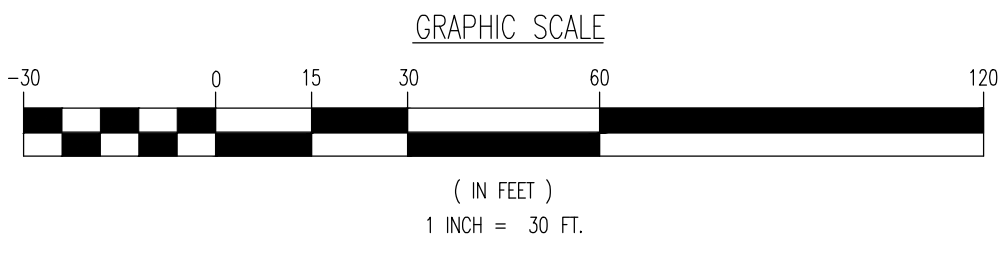
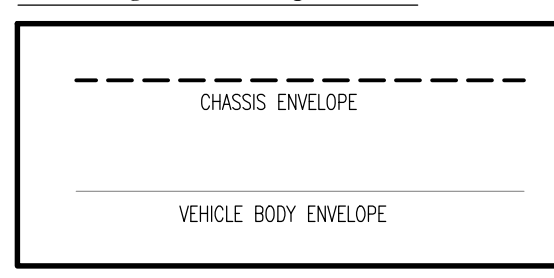
<p>TITLE: VEHICLE CIRCULATION PLAN (TANKER)</p>			
<p>PROJECT: WINDSOR 1 DEVELOPERS, LLC PROPOSED Wawa FOOD MARKET & FUELING STATION AND HOTEL BLOCK 7, LOT 59 U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY</p>		<p>JOB No: 1478-99-043 DATE: 01/06/2020</p>	<p>SCALE: (H) 1"=30' (V)</p>
<p>DESIGNED BY: KAK DRAWN BY: RJM CHECKED BY: MS</p>		<p>SHEET No: 18 OF 20</p>	
<p>MATTHEW SHARO PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 52989</p>		<p>MARK A. WHITAKER PROFESSIONAL ENGINEER NEW JERSEY LICENSE No. 41417</p>	



Plotted: 08/13/20 10:28 AM By: geowdrick Product: Ver. 23.1s (LMS Tech) File: P:\VEPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\Draw\Site Plans\19 Vehicle Circulation Plan (REFUSE).dwg. ---> 19 VEHICLE CIRCULATION PLAN (REFUSE)



VEHICLE LEGEND:



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TITLE: VEHICLE CIRCULATION PLAN (REFUSE)

PROJECT: **WINDSOR 1 DEVELOPERS, LLC**
PROPOSED Wawa FOOD MARKET & FUELING STATION AND HOTEL
 BLOCK 7, LOT 59
 U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

JOB No: 1478-99-043 DATE: 01/06/2020
 DRAWN BY: KAK SCALE: (H) 1"=30'
 DESIGNED BY: RJM (V)
 CHECKED BY: MS SHEET No:
 CHECKED BY: -

MATTHEW SHARO PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52989

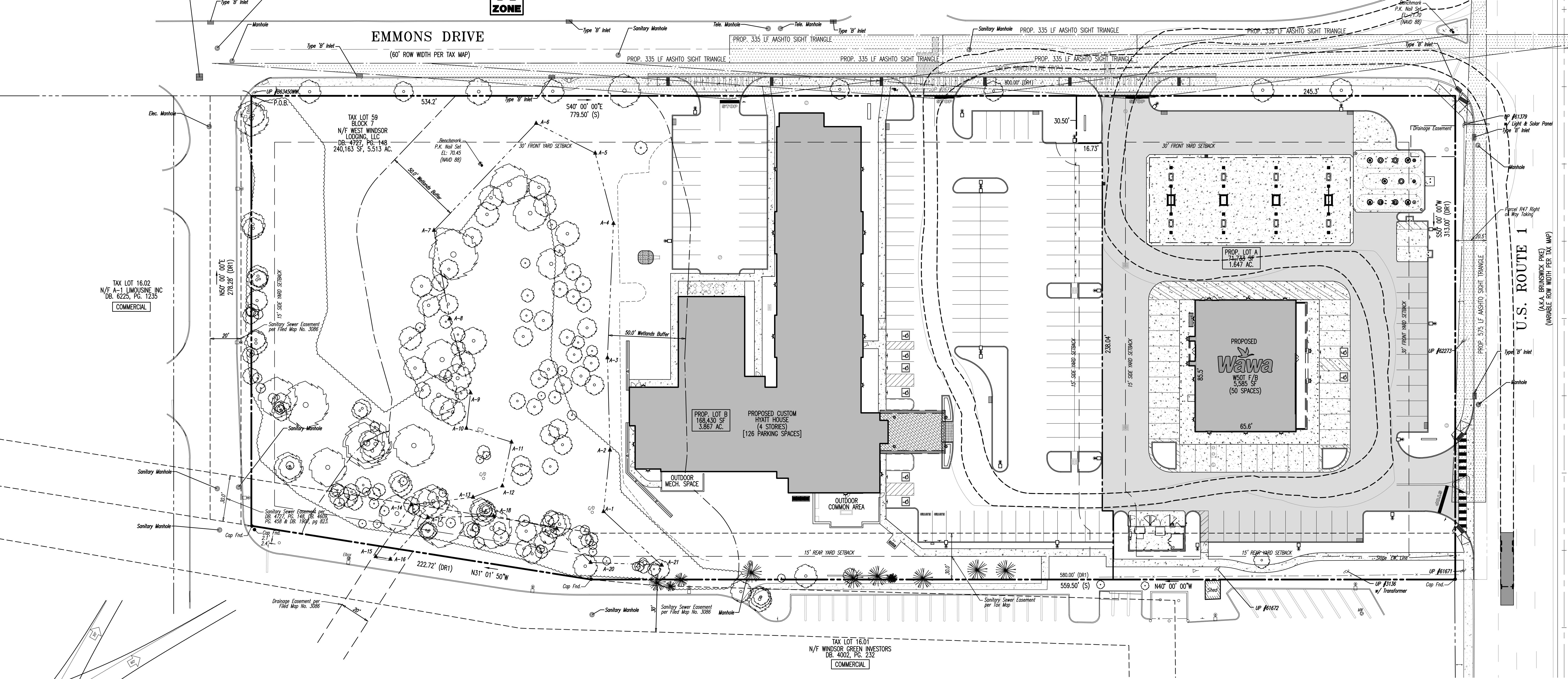
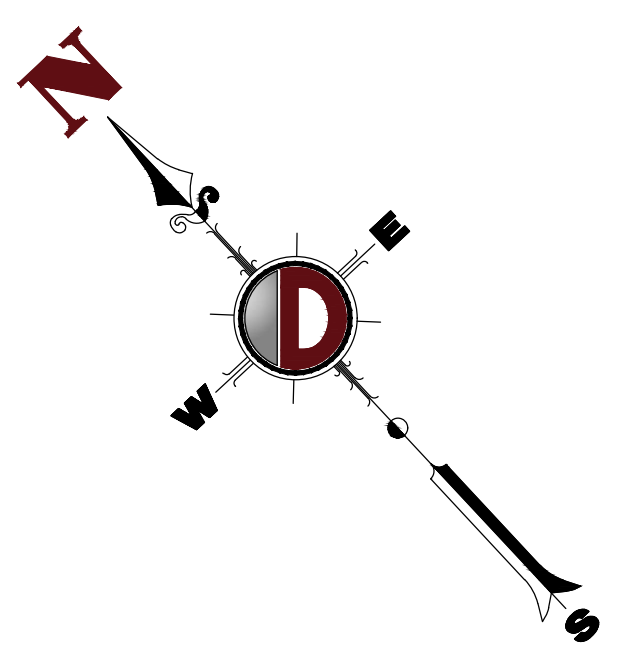
MARK A. WHITAKER PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41417

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 LOCATIONS, DEPTHS, OR ANY OTHER
 INFORMATION TO AVOID DAMAGE TO UTILITIES
 BEFORE ANY EXCAVATION OR DRILLING.
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19

OF 20

Rev. # 2



TAX LOT 59
BLOCK 7
N/F WEST WINDSOR
LOADINGS, LLC
DB: 4727, PG. 148
240,163 SF, 5.513 AC.

TAX LOT 16.02
N/F A-1 LIMOUSINE INC
DB. 6225, PG. 1235
COMMERCIAL

PROP. LOT B
168,430 SF
3.867 AC.
PROPOSED CUSTOM
HYATT HOUSE
(4 STORIES)
[126 PARKING SPACES]

PROPOSED
Wawa
W50T F/B
5,385 SF
(50 SPACES)
65.6'

TAX LOT 16.01
N/F WINDSOR GREEN INVESTORS
DB. 4002, PG. 232
COMMERCIAL

B-2
ZONE

EMMONS DRIVE
(60' ROW WIDTH PER TAX MAP)

U.S. ROUTE 1
(A.K.A. BRUNSWICK PIKE)
(VARIABLE ROW WIDTH PER TAX MAP)

Product: 08/13/20 - 10:28 AM, By: geowdrick, 1 Product: Ver. 23.1s (LMS Tech)
File: P:\BECPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\DWG\Site Plans\147899043SV2.dwg, ---> 20 VEHICLE CIRCULATION PLAN (FIRE TRUCK)

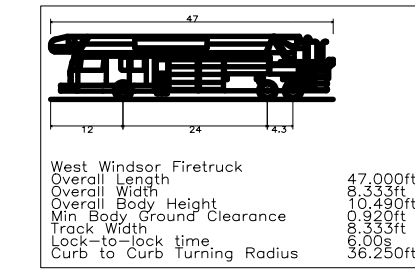
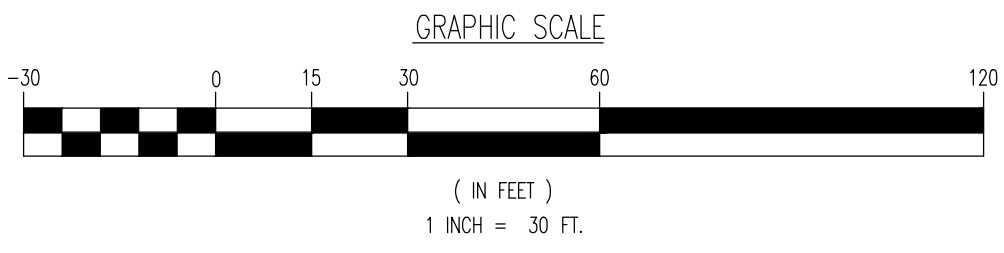
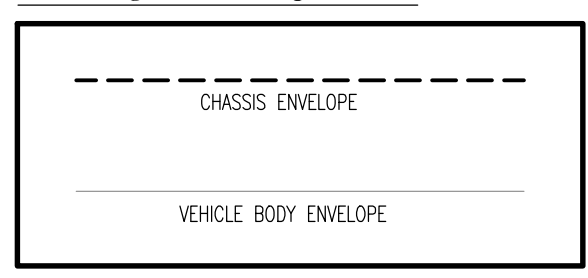


Table with 2 columns: Dimension and Value. Includes: Overall Length (57'-0"), Overall Width (10'-0"), Overall Height (13'-0"), Overall Ground Clearance (5'-0"), Wheelbase (30'-0"), Turn Radius (38'-2.5ft).

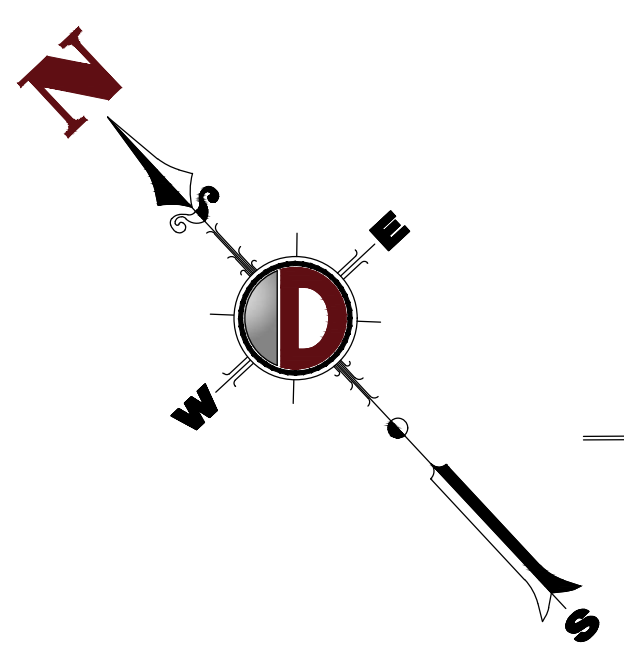
VEHICLE LEGEND:



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Dynamic Engineering logo and contact info. Project title: VEHICLE CIRCULATION PLAN (FIRE TRUCK). Project info: Windsor 1 Developers, LLC. Designers: Matthew Sharo, Mark A. Whitaker. Job No: 1478-99-043. Date: 01/06/2020. Scale: (H) 1"=30' (V). Sheet No: 20 of 20.

THIS PLAN TO BE UTILIZED FOR LIGHTING PURPOSES ONLY



B-2 ZONE

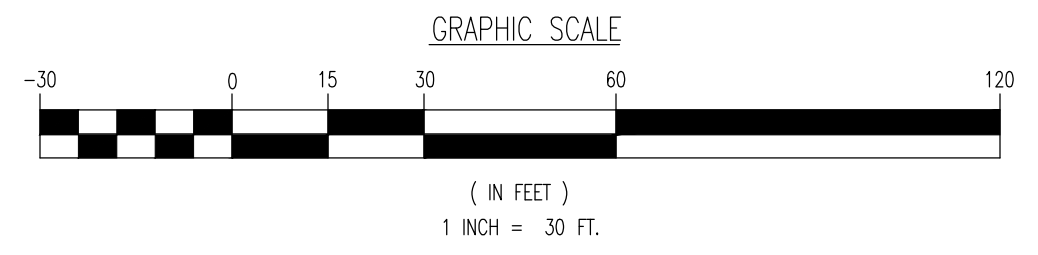
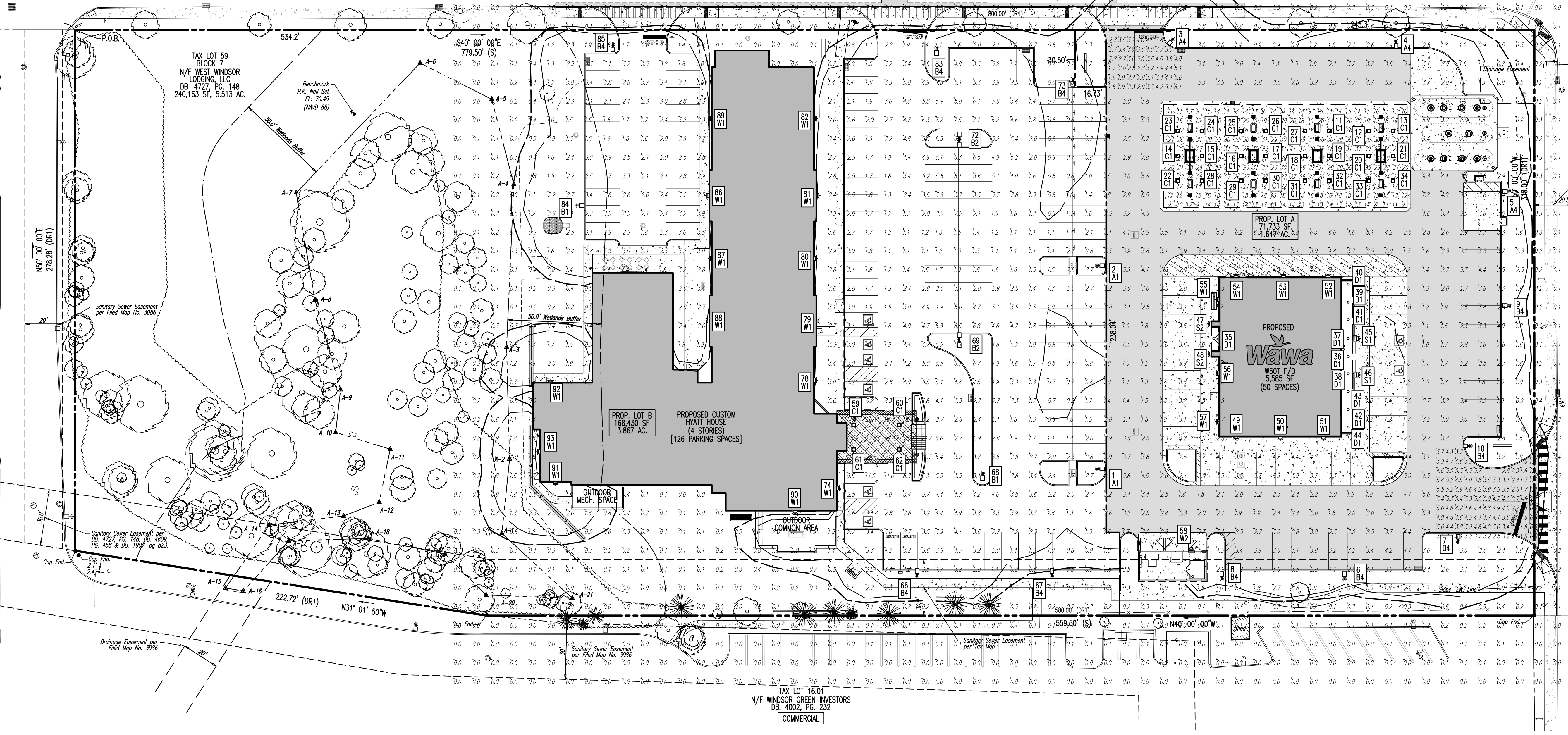
EMMONS DRIVE

(60' ROW WIDTH PER TAX MAP)

APPROX. LOCATION OF 1.0 FC ISOLUX LINE (TYP.)
APPROX. LOCATION OF 0.5 FC ISOLUX LINE (TYP.)

TAX LOT 16.02
N/F A-1 LIMOUSINE, INC.
DB: 6225, PG. 1235
COMMERCIAL

U.S. ROUTE 1
(A.K.A. BRUNSWICK PIKE)
(VARIABLE ROW WIDTH PER TAX MAP)



SEE SHEETS 2 & 3 OF 3 FOR LIGHTING PLAN NOTES & DETAILS

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Allen, Texas: 1.972.334.2100 | Houston, Texas: 1.281.444.2646 | Houston, Texas: 1.281.789.4400
Newtown, Pennsylvania: 1.287.665.0274 | Denver, Colorado: 1.343.921.8570

TITLE: **LIGHTING PLAN**

PROJECT: **WINDSOR 1 DEVELOPERS, LLC**
PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL
BLOCK 7, LOT 59
U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

JOB No: 1478-99-043
DATE: 01/06/2020
DRAWN BY: KAK
SCALE: (H) 1"=30'
(V)
DESIGNED BY: RJM
SHEET No:
CHECKED BY: MS
CHECKED BY: -

MATTHEW SHARO PROFESSIONAL ENGINEER
NEW JERSEY LICENSE No. 52989

MARK A. WHITAKER PROFESSIONAL ENGINEER
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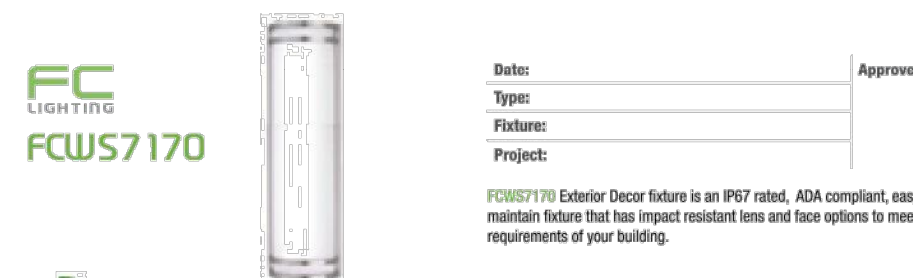
Rev. # 2

Product: 08/13/20 - 10:28 AM, By: geowndrick, 1
File: P:\BECPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\DWG\Site Plans\LOT LIGHTING PLAN

WALL MOUNTED

SYMBOL:	QTY:	LABEL:
	2	S1

FCWS7170-XXX-35K-2500-CRI85-XX-D



SPECIFICATIONS	
FINISH	Exterior: 24" H x 7.25" W x 4" D
weight	9.25 lbs
housing	anodized grade 6061 aluminum, corrosion resistant, heavy gauge aluminum
lens	impact resistant, UV stabilized, opt. polycarbonate diffuser
mounting	mounts directly to standard junction box, necessary applications use four (4) 0.25" x 0.75" screws with lead anchors (fasteners not included, 4-bay only)
ingress protection	IP67 - dry, damp or wet locations with response continuous closed cell gasket to seal out contaminants
finish	six stage chemical iron phosphate substrate pre-treatment process for a UV stable, super durable standard polyester powder coat
PERFORMANCE	
color temperature	2700K, 3000K, 3500K, 4000K
lumens output	1200 lm 1800 lm 2500 lm 3600 lm 5100 lm 8000 lm
lifetime	> 70,000 hours / L70 or better
color consistency	Step 3 MacAdams Ellipse / standard CRI > 85 optional: CRI > 90 CRI
temperature	operating: -13°F to 104°F (-20°C to 40°C) start up: -13°F to 104°F (-20°C to 40°C) storage: -40°F to 121°F (-40°C to 80°C)
junction temperature	72°C @ 120V, 277V
warranty	5 year limited warranty (refer to website for details)
WIKI-LED	socket: PL four pin plug-in type compact fluorescent lamp holder (lamp by others)
CFL	ballast: fluorescent electronic, UL listed ballast standard
ELECTRICAL	
input voltage	Universal 120-277VAC (optional: 347VAC (integrated))
power supply	Integrated Class E, electronic, high power factor > 94%, 61/20W
certifications	ETL/cETL Listed, CEC Title 24 JMB compliant / ADA compliant
standards	UL 1598 / CSA C22.2 No. 250.0 - Class II / IES LM-79 / LM-80
power consumption	40W @ 120V - 277V (maximum)
dimming interface	standard: 0-10V (V) optional: ELV (ELV only/DALI (integrated))

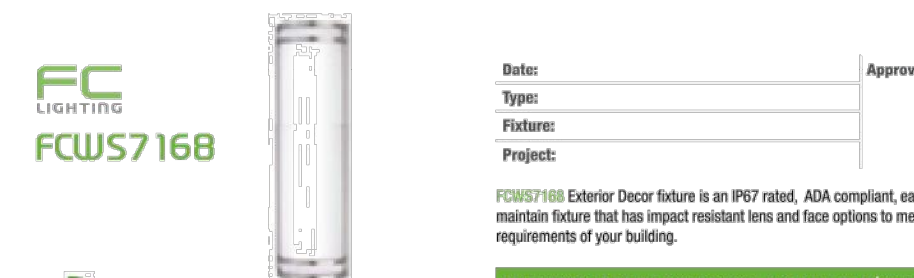
Expended Disclaimer: This is a preliminary development and not a final product. All dimensions and specifications are subject to change without notice. FC Lighting and Fixtures Luminaire reserves the right to change the design or specification without notice. Product can be used in outdoor or indoor applications. FC Lighting and Fixtures Luminaire reserves the right to change the design or specification without notice. Product can be used in outdoor or indoor applications. FC Lighting and Fixtures Luminaire reserves the right to change the design or specification without notice. Product can be used in outdoor or indoor applications.

FC LIGHTING a US Commercial Lighting Manufacturer Since 1982
 Specification Sheet
 H# Rev. 11/14/2016

WALL MOUNTED

SYMBOL:	QTY:	LABEL:
	2	S2

FCWS7168-XXX-35K-2500-CRI85-XX-D



SPECIFICATIONS	
FINISH	Exterior: 18.5" H x 7.25" W x 4" D
weight	7.5 lbs
housing	anodized grade 6061 aluminum, corrosion resistant, heavy gauge aluminum
lens	impact resistant, UV stabilized, opt. polycarbonate diffuser
mounting	mounts directly to standard junction box, necessary applications use four (4) 0.25" x 0.75" screws with lead anchors (fasteners not included, 4-bay only)
ingress protection	IP67 - dry, damp or wet locations with response continuous closed cell gasket to seal out contaminants
finish	six stage chemical iron phosphate substrate pre-treatment process for a UV stable, super durable standard polyester powder coat
PERFORMANCE	
color temperature	2700K, 3000K, 3500K, 4000K
lumens output	1200 lm 1800 lm 2500 lm 3600 lm 5100 lm 8000 lm
lifetime	> 70,000 hours / L70 or better
color consistency	Step 3 MacAdams Ellipse / standard CRI > 85 optional: CRI > 90 CRI
temperature	operating: -13°F to 104°F (-20°C to 40°C) start up: -13°F to 104°F (-20°C to 40°C) storage: -40°F to 121°F (-40°C to 80°C)
junction temperature	72°C @ 120V, 277V
warranty	5 year limited warranty (refer to website for details)
WIKI-LED	socket: PL four pin plug-in type compact fluorescent lamp holder (lamp by others)
CFL	ballast: fluorescent electronic, UL listed ballast standard
ELECTRICAL	
input voltage	Universal 120-277VAC (optional: 347VAC (integrated))
power supply	Integrated Class E, electronic, high power factor > 94%, 61/20W
certifications	ETL/cETL Listed, CEC Title 24 JMB compliant / ADA compliant
standards	UL 1598 / CSA C22.2 No. 250.0 - Class II / IES LM-79 / LM-80
power consumption	40W @ 120V - 277V (maximum)
dimming interface	standard: 0-10V (V) optional: ELV (ELV only/DALI (integrated))

Expended Disclaimer: This is a preliminary development and not a final product. All dimensions and specifications are subject to change without notice. FC Lighting and Fixtures Luminaire reserves the right to change the design or specification without notice. Product can be used in outdoor or indoor applications. FC Lighting and Fixtures Luminaire reserves the right to change the design or specification without notice. Product can be used in outdoor or indoor applications.

FC LIGHTING a US Commercial Lighting Manufacturer Since 1982
 Specification Sheet
 H# Rev. 11/14/2016

WALL MOUNTED

SYMBOL:	QTY:	LABEL:
	9	W1

SEC-EDG-3M-WM-04-E-UL-XX-350-57K



SEC-EDG-3M-WM-02-E-UL-XX-350-57K

Cree Edge™ Series

LED Security Wall Pack Luminaire

Product Description
 The Cree Edge™ wall mount luminaire has a slim, low profile design. The luminaire end caps are made from high quality aluminum with integral, weatherproof LED driver components and high performance aluminum heat sinks specifically designed for LED applications. Housing is made from aluminum. Includes a lightweight mounting kit for installation over standard and non-standard single gang boxes. Secures to wall with four 3/16" (Sec) screws by others. Corrosion resistant for wet, bottom, side and rear. Always mounting for weight or design. Designed and approved for easy through-wall, includes weathering gasket. Applications: Security areas and security lighting.

Performance Summary
 Patented NanoOptix™ Product Technology
 Assembled in the U.S.A. of U.S. and imported parts
 CRI: Minimum 70 CRI
 CCT: 4000K (4-3000K, 5000K, 6000K, 6500K available)
 Lifetime Warranty: 10 years or 100,000 hours on ColorShift™ (ColorShift™ Finish)

LED Count (x)H (x)W (x)D	Beam Angle	Weight
10 (x) 2.0" (x) 1.5" (x) 1.5"	30°	2.5 lbs
15 (x) 2.0" (x) 2.0" (x) 1.5"	30°	3.5 lbs
20 (x) 2.0" (x) 2.5" (x) 1.5"	30°	4.5 lbs
25 (x) 2.0" (x) 3.0" (x) 1.5"	30°	5.5 lbs
30 (x) 2.0" (x) 3.5" (x) 1.5"	30°	6.5 lbs
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45 (x) 2.0" (x) 5.0" (x) 1.5"	30°	9.5 lbs
50 (x) 2.0" (x) 5.5" (x) 1.5"	30°	10.5 lbs

LED Count (x)H (x)W (x)D	Beam Angle	Weight
10 (x) 2.0" (x) 1.5" (x) 1.5"	30°	2.5 lbs
15 (x) 2.0" (x) 2.0" (x) 1.5"	30°	3.5 lbs
20 (x) 2.0" (x) 2.5" (x) 1.5"	30°	4.5 lbs
25 (x) 2.0" (x) 3.0" (x) 1.5"	30°	5.5 lbs
30 (x) 2.0" (x) 3.5" (x) 1.5"	30°	6.5 lbs
35 (x) 2.0" (x) 4.0" (x) 1.5"	30°	7.5 lbs
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CREE
 1 800-473-1224 | 1 800-875-7027
 www.cree.com/leds

GENERAL NOTES

- THIS LIGHTING PLAN ILLUSTRATES ILLUMINATION LEVELS CALCULATED FROM LABORATORY DATA TAKEN UNDER CONTROLLED CONDITIONS IN ACCORDANCE WITH ILLUMINATING ENGINEERING SOCIETY OF NORTH AMERICA (IESNA) APPROVED METHODS. ACTUAL SITE ILLUMINATION LEVELS AND PERFORMANCE OF LUMINAIRES MAY VARY DUE TO VARIATIONS IN WEATHER, ELECTRICAL VOLTAGE, TOLERANCE IN LAMPS, AND OTHER RELATED VARIABLE FIELD CONDITIONS.
- ALL EXISTING CONDITIONS LIGHTING LEVELS ARE REPRESENTATIVE OF AN APPROXIMATION UTILIZING LABORATORY DATA FOR SIMILAR FIXTURES AND/OR ACTUAL FIELD MEASUREMENTS TAKEN WITH A LIGHT METER. DUE TO FACTORS SUCH AS FIXTURE MAINTENANCE, EQUIPMENT TOLERANCES, WEATHER CONDITIONS, ETC., ACTUAL LIGHTING LEVELS MAY DIFFER AND THE LIGHTING LEVELS DEPICTED ON THIS PLAN SHOULD BE CONSIDERED AS APPROXIMATE.
- CONDUITS SHALL BE INSTALLED A MINIMUM OF 2 FEET BEHIND GUIDERAIL POSTS.
- ALL WIRING METHODS AND EQUIPMENT CONSTRUCTION SHALL CONFORM TO THE CURRENT NATIONAL ELECTRICAL CODE.
- REFER TO ARCHITECTURAL PLANS FOR LIGHTING DIAGRAM.
- LIGHTING DESIGN PROVIDED IN ACCORDANCE WITH THE FOLLOWING TOWNSHIP OF WEST WINDSOR STANDARDS:
 - PARKING LOTS: AVERAGE OF 0.5 FOOTCANDLES THROUGHOUT
 - MAXIMUM AT PROPERTY LINES: 1.0 FOOTCANDLES

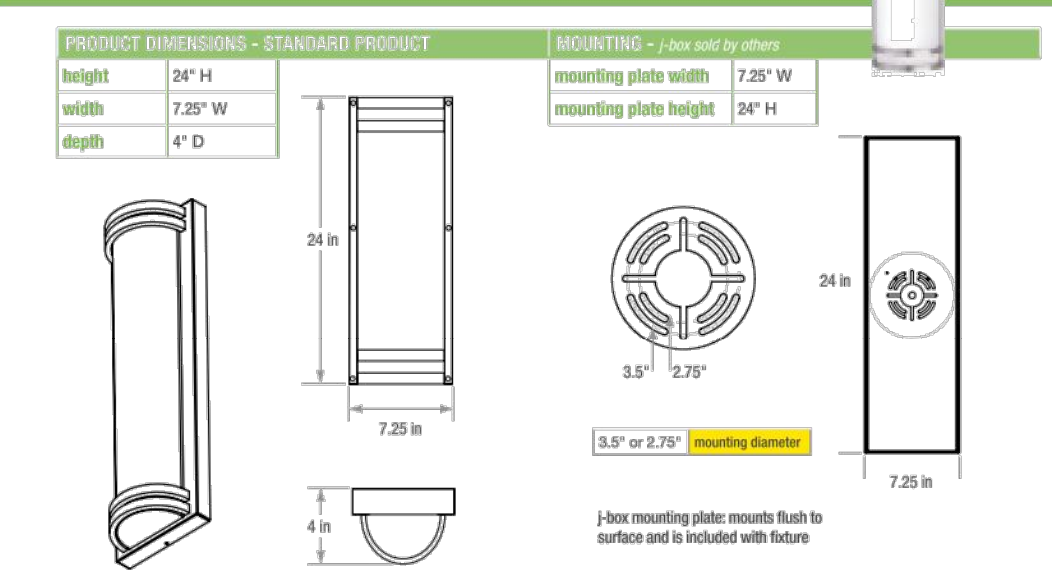
NOTES:

- ALL AREA LIGHTS ON 20 FT. POLES MOUNTED ON 6 IN. CONCRETE BASES
- ALL CONCRETE BASES TO BE LOCATED 5 FT. BEHIND CURB

FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES (WAWA)					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
CANOPY	23.83	38	9	2.65	4.22
CURBLINE	0.09	0.3	0.0	N.A.	N.A.
DELIVERY	4.60	5.6	3.9	1.18	1.44
DRIVE AISLES	3.35	11.2	1.0	3.35	11.20
ENTRANCES & EXITS	3.48	6.4	0.9	3.87	7.11
PARKING	3.19	7.4	0.8	3.99	9.25
PROPERTY LINES	0.30	3.3	0.0	N.A.	N.A.
UNDEFINED	0.41	12.6	0.0	N.A.	N.A.

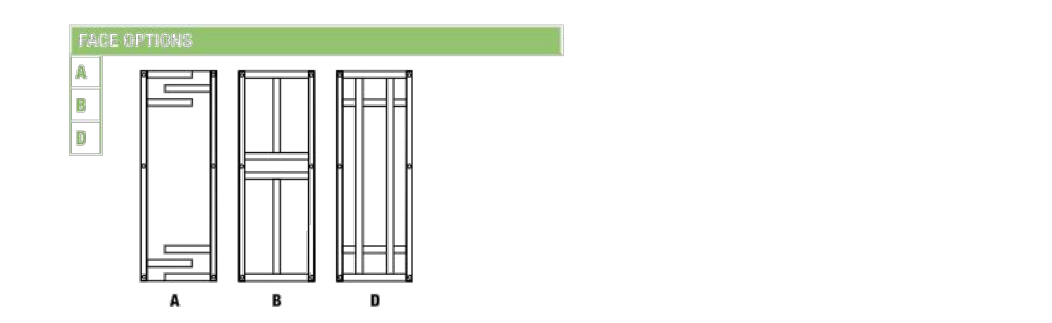
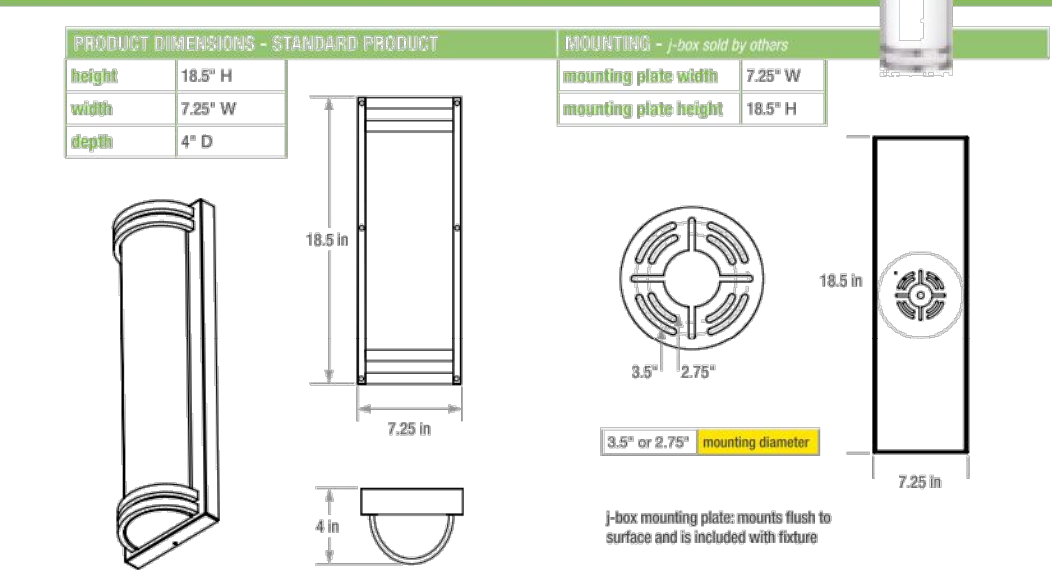
FOOTCANDLE LEVELS CALCULATED AT GRADE USING INITIAL LUMEN VALUES (HYATT)					
LABEL	AVG	MAX	MIN	AVG/MIN	MAX/MIN
PORTE COCHERE	22.14	27.8	17.7	1.25	1.57
ENTRANCES & EXITS	3.05	5.0	1.4	2.18	3.57
PARKING	3.02	13.7	0.50	6.04	37.40
PROPERTY LINES	0.21	1.2	0.0	N.A.	N.A.

Dimensions



FC LIGHTING a US Commercial Lighting Manufacturer Since 1982
 Specification Sheet
 H# Rev. 11/14/2016

Dimensions



FC LIGHTING a US Commercial Lighting Manufacturer Since 1982
 Specification Sheet
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Cree Edge™ LED Security Wall Pack Luminaire

LED Count (x)H (x)W (x)D	Beam Angle	Weight
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SYMBOL	QTY	LABEL	ARRANGEMENT	LUMENS	LLF	BUG RATING	WATTS/LUMINAIRE	TOTAL WATTS	MANUFACTURER	DESCRIPTION
	2	A4	SINGLE	8891	1.030	B1-U0-G2	134	402	CREE, INC.	ARE-EDG-3MB-DA-06-E-UL-XX-700-57K
	5	B1	SINGLE	12678	1.030	B3-U0-G2	134	268	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
	2	B2	BACK-BACK	12678	1.030	B3-U0-G2	134	536	Cree Inc.	ARE-EDG-4M-DA-06-E-UL-XX-700-57K
	6	B4	SINGLE	9549	1.030	B1-U0-G2	134	1340	CREE, INC.	ARE-EDG-4MB-DA-06-E-UL-XX-700-57K
	28	C1	SINGLE	10912	1.030	B3-U0-G1	101	3030	CREE, INC.	CAN-304-SL-RD-06-E-UL-XX-525-57K
	10	D1	SINGLE	1652	1.020	B2-U0-G0	27.2	272	Cree Inc	KR6-20L-35K-120V + KR6T-SSGC-FF
	2	S1	SINGLE	2659	1.000	B0-US-G2	20	40	FC/SSL Lighting	FCWS7170-XXX-35K-2500-CRI85-XX-D
	2	S2	SINGLE	2542	1.000	B0-U4-G2	20	40	FC/SSL Lighting	FCWS7168-XXX-35K-2500-CRI85-XX-D
	23	W1	SINGLE	4210	1.030	B1-U0-G1	43	817	CREE, INC.	SEC-EDG-3M-WM-04-E-UL-XX-350-57K
	1	W2	SINGLE	2105	1.030	B1-U0-G1	25	25	CREE, INC.	SEC-EDG-3M-WM-02-E-UL-XX-350-57K

Product Ver. 23.1s (LMS Tech)
 Plotted: 06/13/20 -- 10:29 AM, By: geowadrick, File: P:\VEPC PROJECTS\1478 Paramount Realty\99-043 West Windsor\DWG\Site Plans\DWG\LO2 LIGHTING DETAILS.dwg, ---> LO2 LIGHTING DETAILS

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DYNAMIC ENGINEERING

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 Lake Como, NJ 07719
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 F: 732.974.3521
 www.dynamicoc.com

PROJECT: WINDSOR 1 DEVELOPERS, LLC
 PROPOSED WAWA FOOD MARKET & FUELING STATION AND HOTEL
 BLOCK 7, LOT 59
 U.S. ROUTE 1 (BRUNSWICK PIKE) & EMMONS DRIVE
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

TITLE: LIGHTING DETAILS

JOB No: 1478-99-043
 DATE: 01/06/2020
 SCALE: (H) NOT TO SCALE
 SHEET No: 2

DESIGNED BY: KAK
 CHECKED BY: RJM
 DRAWN BY: MS
 CHECKED BY: MS

MATTHEW SHARO
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 52989

MARK A. WHITAKER
 PROFESSIONAL ENGINEER
 NEW JERSEY LICENSE No. 41417

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Rev. # 2

