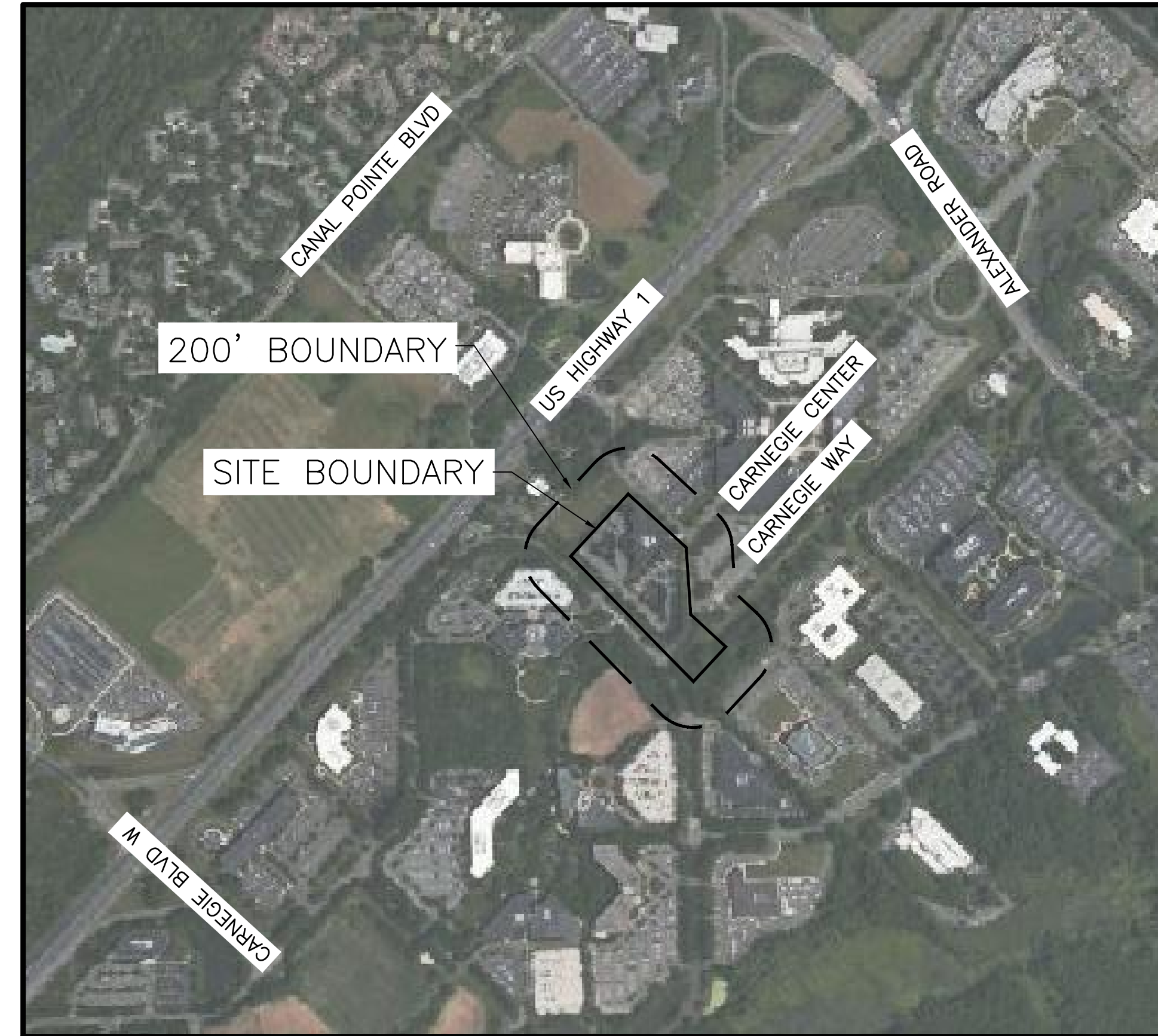


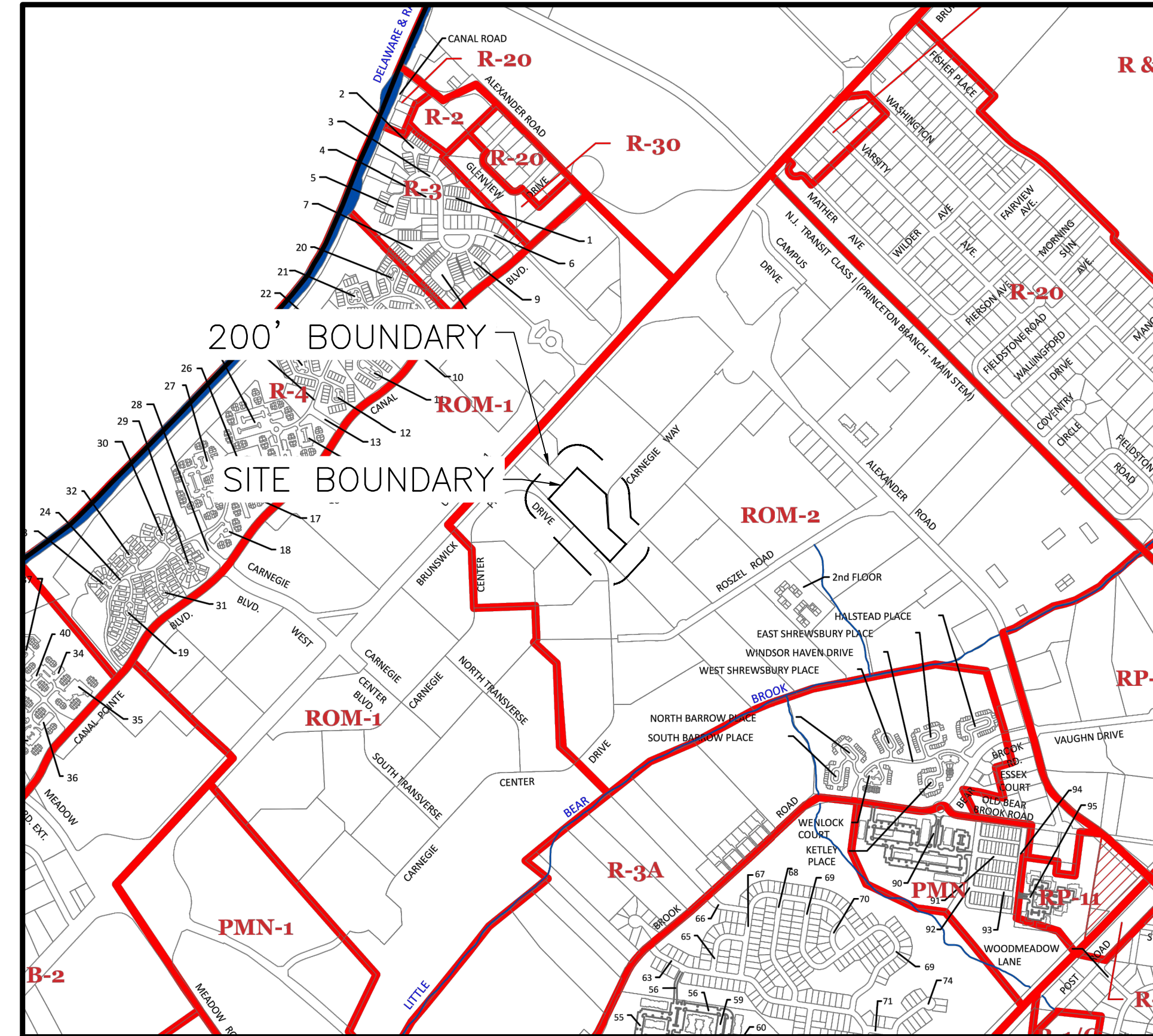
# MINOR SITE PLAN

## CARNEGIE CENTER - BUILDING 105

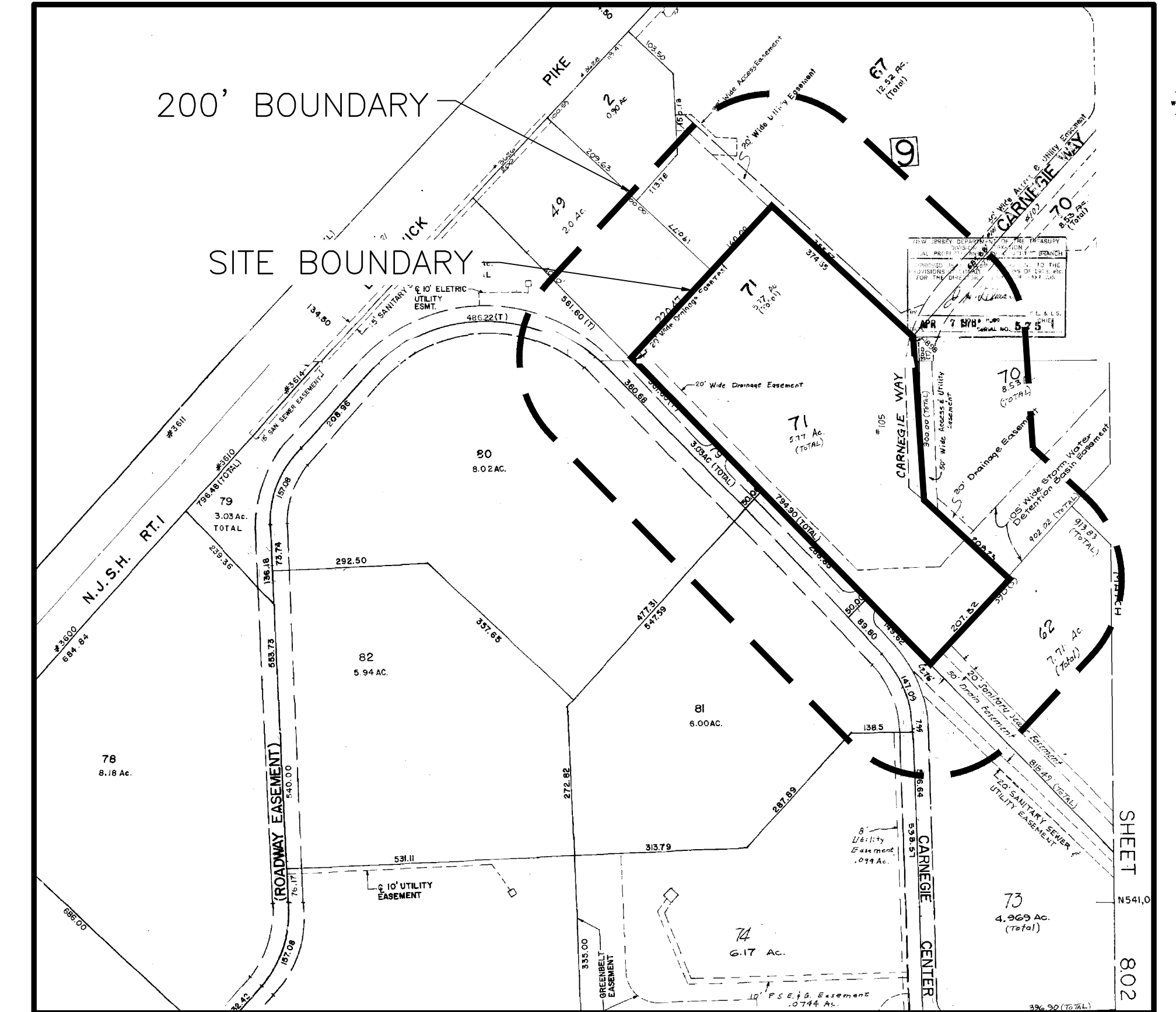
TAX MAP SHEETS 8.01 & 4.03 (BLOCK 9, LOT 71)  
WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY



Vicinity Map  
SCALE: 1" = 500'



Zoning Map  
SCALE: 1" = 1,000'



Tax Map  
SCALE: 1" = 200'

DESIGNATION	ZONING CLASSIFICATION
ROM-1	RESEARCH OFFICE / LIMITED MANUFACTURING
ROM-2	RESEARCH OFFICE / LIMITED MANUFACTURING
ROM-5	RESEARCH OFFICE / LIMITED MANUFACTURING
B-2	NEIGHBORHOOD CENTER

OWNER/APPLICANT  
**BOSTON PROPERTIES, L.P.**  
101 CARNEGIE CENTER, SUITE 104  
PRINCETON, NJ 08540  
PHONE: 609-452-1444

DESIGN TEAM  
**Site Design & Landscape Architecture**  
**T & M Associates**

11 Tindall Road  
Middletown, NJ 07748  
Phone: 732-671-6400

Architecture  
**SGA Architecture**  
54 W 21st, Floor 12  
New York, NY 10010  
Phone: 857-300-2610

Sheet Number	DRAWING	Sheet Title
1	CVR-1	COVER SHEET
2	LEG-1	LEGEND & GENERAL NOTES
3	OVR-1	EXISTING CONDITIONS PLAN - OVERALL
4	DEM-1	EXISTING CONDITIONS & DEMOLITION PLAN
5	CSP-1	CONSTRUCTION PLAN
6	LSP-1	LANDSCAPE PLAN
7	SEP-1	SOIL EROSION & SEDIMENT CONTROL PLAN
8	SED-1	SOIL EROSION & SEDIMENT CONTROL NOTES
9	SED-2	SOIL EROSION & SEDIMENT CONTROL DETAILS
10	CSD-1	CONSTRUCTION DETAILS
11	CSD-2	CONSTRUCTION DETAILS
12	CSD-3	CONSTRUCTION DETAILS
13	CSD-4	CONSTRUCTION DETAILS
14	TTP-1	TRUCK TURNING PLAN - WB-50
15	TTP-2	TRUCK TURNING PLAN - WB-50
16	TTP-3	TRUCK TURNING PLAN - FIRE TRUCK

PROJECT INFORMATION:  
FILE PATH: C:\PROPERTIES\CARN\00719\Plan\A  
FILE NAME: CARN00719-CVR.dwg  
DATE: 03/10/2023 10:03AM  
LAST SAVE BY: Tlubrecht

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NO.	DATE	REVISIONS	BY	CHKD
1	03/29/23	REVISED PER WWT ZONING BOARD COMMENTS	TJM	MRT

MICHAEL R. THOMAS, P.E.  
DEPARTMENT MANAGER

03/29/2023  
LICENSED PROFESSIONAL ENGINEER  
STATE OF NJ LICENSE NO. GE48086

BOSTON PROPERTIES, L.P.  
MINOR SITE PLAN  
CARNEGIE CENTER - BUILDING 105  
TAX MAP SHEETS 8.01 & 4.03, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY  
COVER SHEET

APPROVED BY THE MERCER COUNTY PLANNING BOARD:

PLANNING DIRECTOR \_\_\_\_\_ DATE \_\_\_\_\_

RECORDING SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

APPROVED BY THE WEST WINDSOR TOWNSHIP ZONING BOARD OF ADJUSTMENT:

CHAIRPERSON \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

MUNICIPAL ENGINEER \_\_\_\_\_ DATE \_\_\_\_\_



11 TINDALL ROAD  
MIDDLETOWN, NJ 07748  
TEL: 732-671-6400  
FAX: 732-671-7365

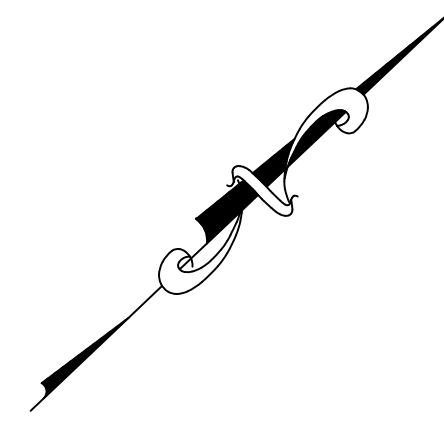
NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS  
AND LAND SURVEYORS  
CERTIFICATE OF AUTHORIZATION 262078950

DESIGNED BY: TJM  
CHECKED BY: MRT  
DRAWN BY: RPD  
DATE: 03/10/2023  
SCALE: AS SHOWN  
PROJ. NO.: CARN00719

DRAWING: CVR-1  
SHEET: 1  
OF 16



U.S. ROUTE 1 BRUNSWICK PIKE  
(64' HALF R/W)



GENERAL NOTES:

1. THE PREMISES SHOWN HEREON WERE SURVEYED WITH THE BENEFIT OF A TITLE REPORT PREPARED BY TRANS-COUNTY TITLE AGENCY (FILE NO. TC-33589, COMMITMENT DATE DECEMBER 17, 2010) AND IS SUBJECT TO SUCH FACTS AS ARE DISCLOSED THEREIN. THE PROPERTY MAY BE SUBJECT TO THE FOLLOWING:
  - RIGHTS OR CLAIMS OF PARTIES IN POSSESSION SHOWN BY THE PUBLIC RECORD
  - RIGHTS OR CLAIMS OF PARTIES IN POSSESSION NOT SHOWN BY THE PUBLIC RECORD
  - EASEMENTS OR CLAIMS OF EASEMENTS SHOWN BY THE PUBLIC RECORD
  - EASEMENTS OR CLAIMS OF EASEMENTS NOT SHOWN BY THE PUBLIC RECORD
2. NO DETERMINATIONS HAVE BEEN MADE REGARDING HAZARDOUS MATERIAL CONDITIONS.
3. NO DETERMINATIONS HAVE BEEN MADE REGARDING WETLANDS LOCATIONS OR CONDITIONS.
4. PLANIMETRIC FEATURES SHOWN HEREON ARE DRAWN IN ACCORDANCE WITH SURVEY PERFORMED ON THE GROUND BY T&M ASSOCIATES' AUGUST 2003 AND FEBRUARY/MARCH 2011. HORIZONTAL DATUM IS NEW JERSEY STATE PLANE COORDINATE (N.A.D. 1983). VERTICAL DATUM IS NORTH AMERICAN VERTICAL DATUM (N.A.V.D. 1988).
5. EXISTING UTILITY INFORMATION SHOWN HEREON HAS BEEN COLLECTED FROM VARIOUS SOURCES, AND IS NOT GUARANTEED AS TO ACCURACY OR COMPLETENESS. THE CONTRACTOR SHALL VERIFY ALL INFORMATION TO HIS SATISFACTION PRIOR TO EXCAVATION. WHERE EXISTING UTILITIES ARE TO BE CROSSED BY PROPOSED CONSTRUCTION, TEST PITS SHALL BE DUG BY THE CONTRACTOR PRIOR TO CONSTRUCTION TO ASCERTAIN EXISTING INVERTS, MATERIALS AND SIZES. TEST PIT INFORMATION SHALL BE GIVEN TO THE ENGINEER PRIOR TO CONSTRUCTION TO PERMIT ADJUSTMENTS AS REQUIRED TO AVOID CONFLICTS.
6. IN ACCORDANCE WITH FLOOD INSURANCE RATE MAP (FIRM) ENTITLED "TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY, PANEL 3 OF 10, COMMUNITY-PANEL NUMBER 340256 0003," EFFECTIVE DATE, MAY 15, 1984, THE PROPERTY IS LOCATED IN FLOOD ZONE "C" (AREAS OF MINIMAL FLOODING).
7. A WRITTEN WAIVER AND PERMISSION NOT TO SET CORNER MARKERS HAS BEEN OBTAINED FROM THE ULTIMATE USER PURSUANT TO P.L. 2003, C14 (S.458-36.3) AND N.J.A.C. 13:40-5.10).

DESCRIPTION OF BLOCK 9, LOT 71; TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, N.J.

BEING KNOWN AND DESIGNATED AS LOT 71, BLOCK 9, SITUATED IN WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY, AS SHOWN ON A MAP ENTITLED "FINAL PLAN 'CARNEGIE CENTER' (TAX LOT 2, BLOCK 9) SITUATED IN WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY, DATED 2/11/80, PREPARED BY THOMAS TYLER MOORE ASSOCIATES, INC., FILED IN THE MERCER COUNTY CLERK'S OFFICE AS MAP NO. 2426 ON 5/29/80. SAID PARCEL BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

BEGINNING AT A POINT, SAID POINT BEING SHOWN ON A MAP ENTITLED "FINAL PLAN 'CARNEGIE CENTER' (TAX LOT 2, BLOCK 9) SITUATED IN WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY, DATED FEBRUARY 11, 1980, PREPARED BY THOMAS TYLER MOORE ASSOCIATES, INC., FILED IN THE MERCER COUNTY CLERK'S OFFICE ON MAY 29, 1980 AS MAP NO. 2426, SAID POINT BEING THE NORTHWEST CORNER OF LOT 71 WITH THE SOUTHWEST CORNER OF LOT 49 IN BLOCK 9, AND THENCE RUNNING:

1. ALONG THE COMMON PROPERTY BOUNDARY LINE OF LOT 71 WITH LOT 49 IN BLOCK 9 ON A COURSE NORTH 42 DEGREES 43 MINUTES 55 SECONDS EAST, A DISTANCE OF 220.47 FEET TO A POINT; THENCE
  2. ALONG THE COMMON PROPERTY BOUNDARY LINE OF LOT 71 WITH LOT 67 IN BLOCK 9 ON A COURSE NORTH 42 DEGREES 44 MINUTES 55 SECONDS EAST, A DISTANCE OF 160.00 FEET TO A POINT; THENCE
  3. CONTINUING ALONG SAME ON A COURSE SOUTH 47 DEGREES 15 MINUTES 05 SECONDS EAST, A DISTANCE OF 374.55 FEET TO A POINT; THENCE
  4. ALONG THE COMMON PROPERTY BOUNDARY LINE OF LOT 71 WITH LOT 70 IN BLOCK 9 ON A COURSE SOUTH 02 DEGREES 15 MINUTES 05 SECONDS EAST, A DISTANCE OF 300.00 FEET TO A POINT; THENCE
  5. CONTINUING ALONG SAME ON A COURSE SOUTH 47 DEGREES 15 MINUTES 05 SECONDS EAST, A DISTANCE OF 208.23 FEET TO A POINT; THENCE
  6. ALONG THE COMMON PROPERTY BOUNDARY LINE OF LOT 71 WITH LOT 62 IN BLOCK 9 ON A COURSE SOUTH 42 DEGREES 59 MINUTES 55 SECONDS WEST, A DISTANCE OF 207.32 FEET TO A POINT; THENCE
  7. ALONG THE COMMON BOUNDARY LINE OF LOT 71 WITH LOTS 73, 81 AND 80 IN BLOCK 9 ON A COURSE NORTH 44 DEGREES 28 MINUTES 25 SECONDS WEST, A DISTANCE OF 794.90 FEET TO THE POINT OR PLACE OF BEGINNING.
- CONTAINING 251,175 SQUARE FEET OF LAND (5.766 ACRES).

TITLE EXCEPTIONS:

IN ACCORDANCE WITH AND AS IDENTIFIED IN TITLE REPORT PREPARED BY TRANS-COUNTY TITLE AGENCY (FILE NO. TC-33589, COMMITMENT DATE, DECEMBER 17, 2010), THE SUBJECT PREMISES MAY BE SUBJECT TO VARIOUS COVENANTS, CONDITIONS, RESTRICTIONS, EASEMENTS, ETC. AS SET FORTH IN VARIOUS MORTGAGE AND DEED BOOKS.

•• DESIGNATES THAT VARIOUS ITEMS IDENTIFIED WITHIN THE MORTGAGE OR DEED BOOKS LISTED ARE BLANKET IN NATURE, CANNOT BE PLOTTED, AND/OR ARE LOCATED OPPOSITE AS PART OF THE RIGHTS WHICH ARE INCLUDED WITH THE OWNERSHIP OR USE OF THE PROPERTY AS PART OF THE OVERALL CARNEGIE CENTER DEVELOPMENT.

TITLE EXCEPTION 9: SUBJECT TO 45 FOOT SETBACK LINE ALONG ACCESS ROAD; 30 FOOT SIDE AND REAR SETBACK LINES; 105 FOOT WIDE SEWER DETENTION BASIN EASEMENT; 30 FOOT WIDE DRAINAGE AND UTILITY EASEMENT AND 50 FOOT WIDE ACCESS AND UTILITY EASEMENT AS SET FORTH ON THE "FINAL PLAN OF CARNEGIE CENTER," MAP NO. 2426 (REFERENCE MAP NO. 1) SAID SETBACK LIMITS WITHIN LOT 71 SHOWN HEREON.

TITLE EXCEPTION 10: SUBJECT TO AMENDED AND RESTATED DECLARATION OF COVENANTS, CONDITIONS AND RESTRICTIONS AS CONTAINED IN DEED BOOK 2166, PAGE 115 AND AMENDED IN DEED BOOK 2174, PAGE 130 (••)

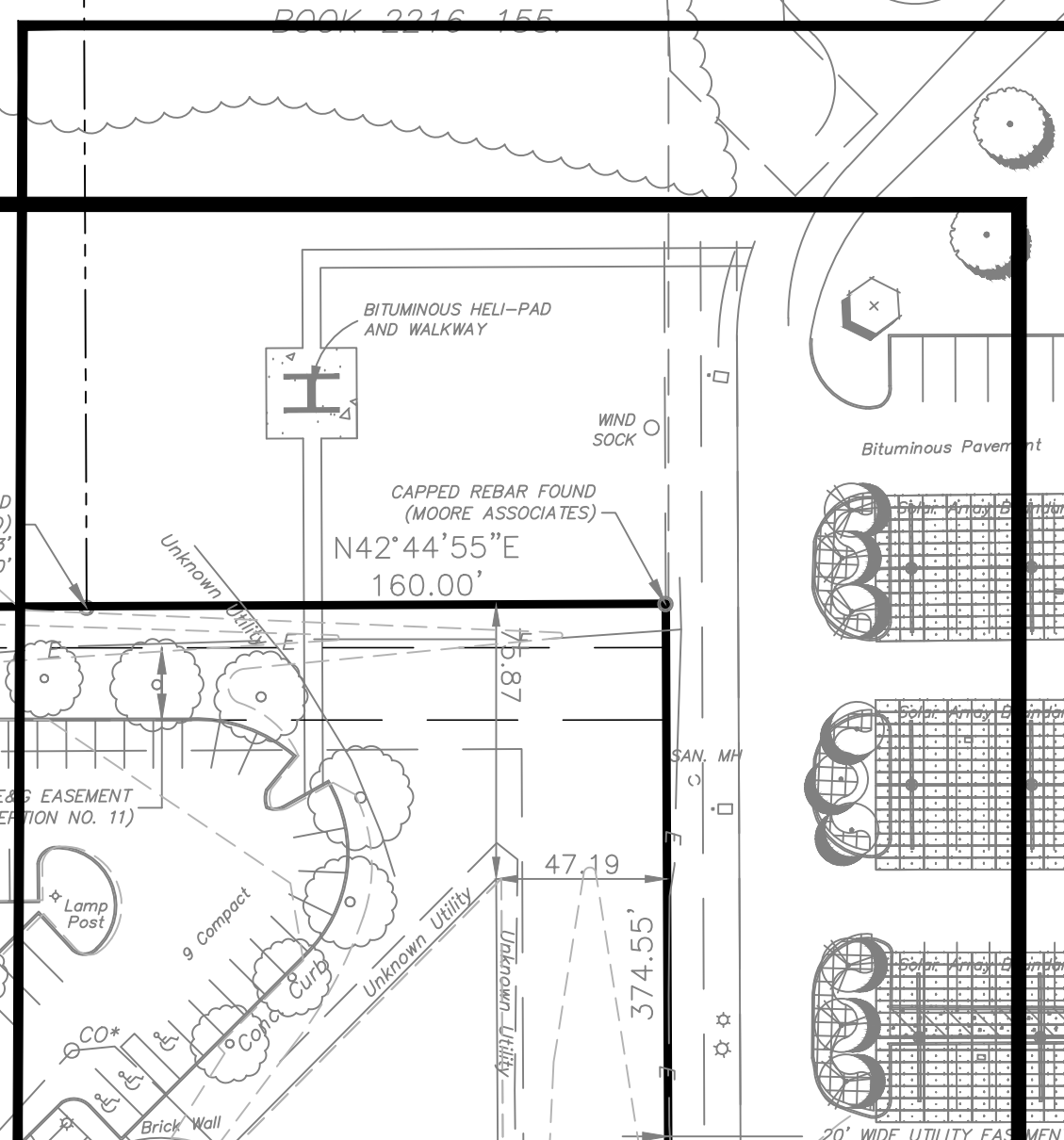
TITLE EXCEPTION 11: SUBJECT TO EASEMENTS AS CONTAINED IN DEED BOOK 2175, PAGE 107 AND DEED BOOK 2238, PAGE 264 TO PUBLIC SERVICE ELECTRIC AND GAS COMPANY (PSE&G) AND/OR NEW JERSEY BELL TELEPHONE COMPANY, SAID EASEMENTS SHOWN HEREON.

TITLE EXCEPTION 12: SUBJECT TO EASEMENT AS CONTAINED IN DEED BOOK 2221, PAGE 331. SAID EASEMENT SHOWN HEREON.

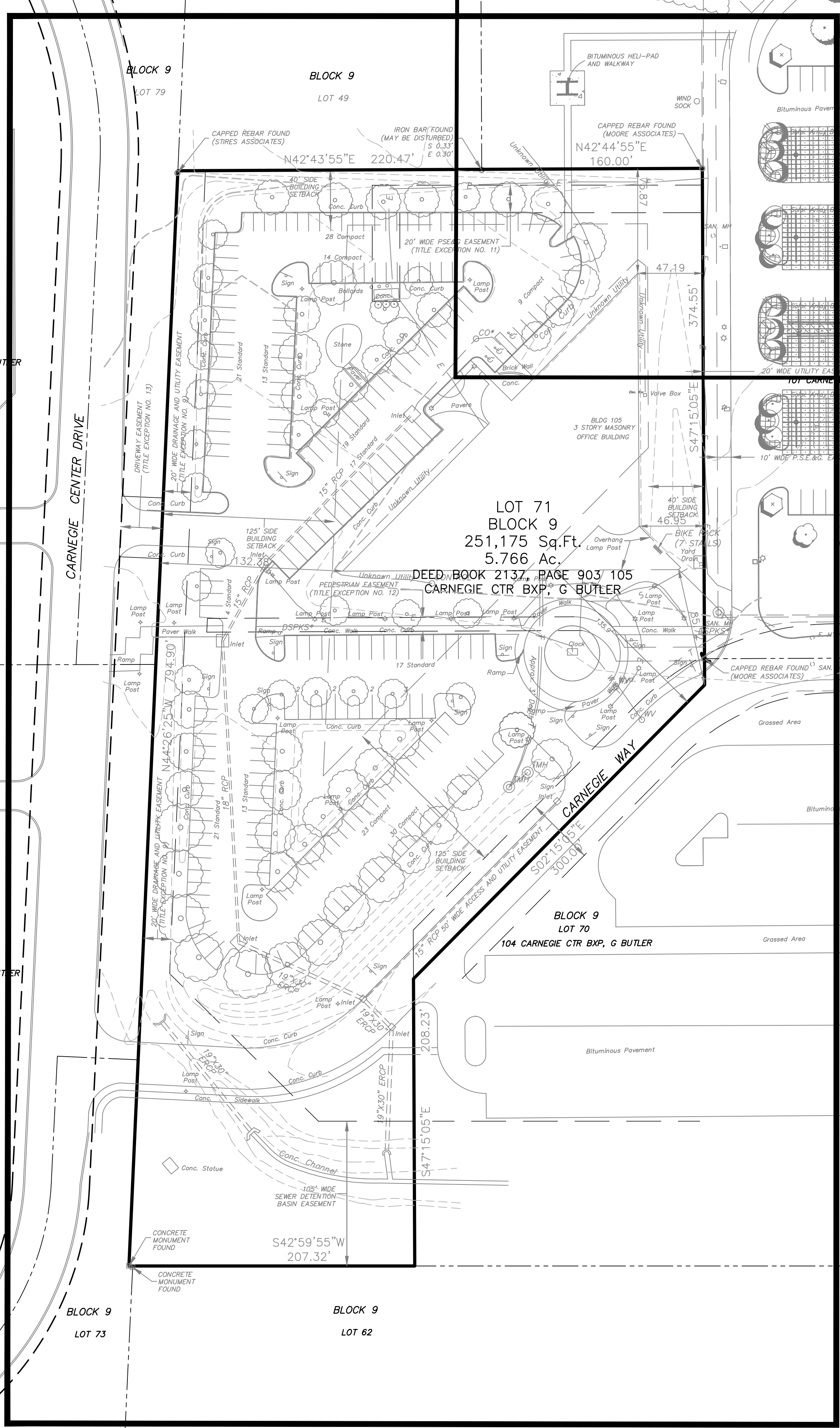
TITLE EXCEPTION 13: SUBJECT TO AND TOGETHER WITH DRIVEWAY EASEMENT IN DEED BOOK 2221, PAGE 325. SAID EASEMENT SHOWN HEREON.

TITLE EXCEPTION 14: SUBJECT TO RIGHTS OF TENANTS, OCCUPANTS AND/OR LESSEES, IF ANY. (••)

INSETS "A" & "B"  
SEE SHEET CSP-1



LOT 71  
BLOCK 9  
251,175 Sq.Ft.  
5.766 Ac.  
DEED BOOK 2137, PAGE 903 105  
CARNEGIE CTR BXP G BUTLER



SEE SHEETS (DEM-1, CSP-1, SEP-1, TTP-1)

PROJECT INFORMATION:  
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FILE NAME: CARN00719-SEP-2023.dwg  
DATE PLOTTED: 03/10/2023 2:00PM  
LAST SAVE BY: Tlubrecht

NO.	DATE	REVISIONS	BY	CHKD
1	03/29/23	REVISED PER WRT TRC COMMENTS	MRT	CHD

MICHAEL R. THOMAS, P.E.  
DEPARTMENT MANAGER

WTR  
LICENSED PROFESSIONAL ENGINEER  
STATE OF NJ LICENSE NO. GE48086

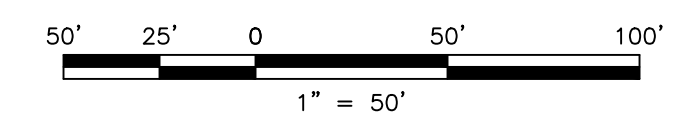
BOSTON PROPERTIES, L.P.  
MINOR SITE PLAN  
CARNEGIE CENTER - BUILDING 105  
TAX MAP SHEETS 01 & 03, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY  
EXISTING CONDITIONS PLAN - OVERALL



11 TRIMMALL ROAD  
MIDDLETOWN, NJ 07748  
TEL: 732-671-6400  
FAX: 732-671-7365

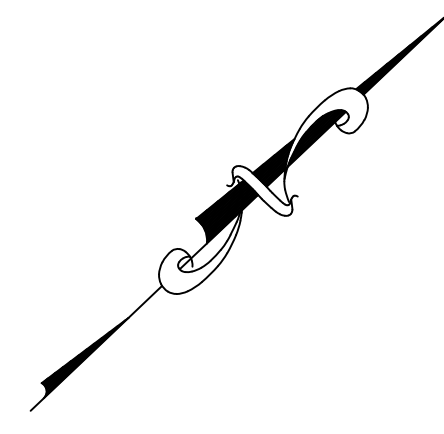
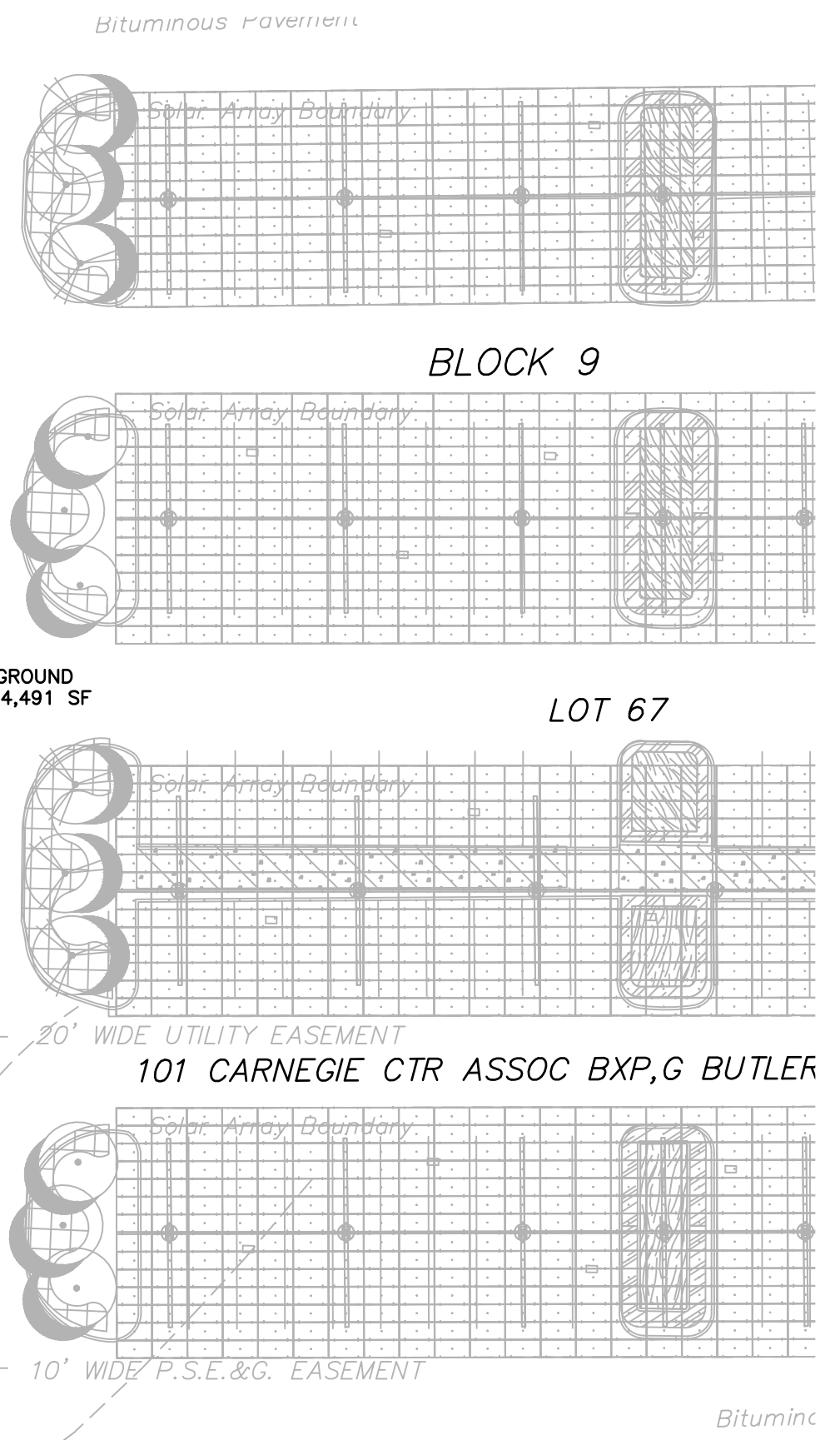
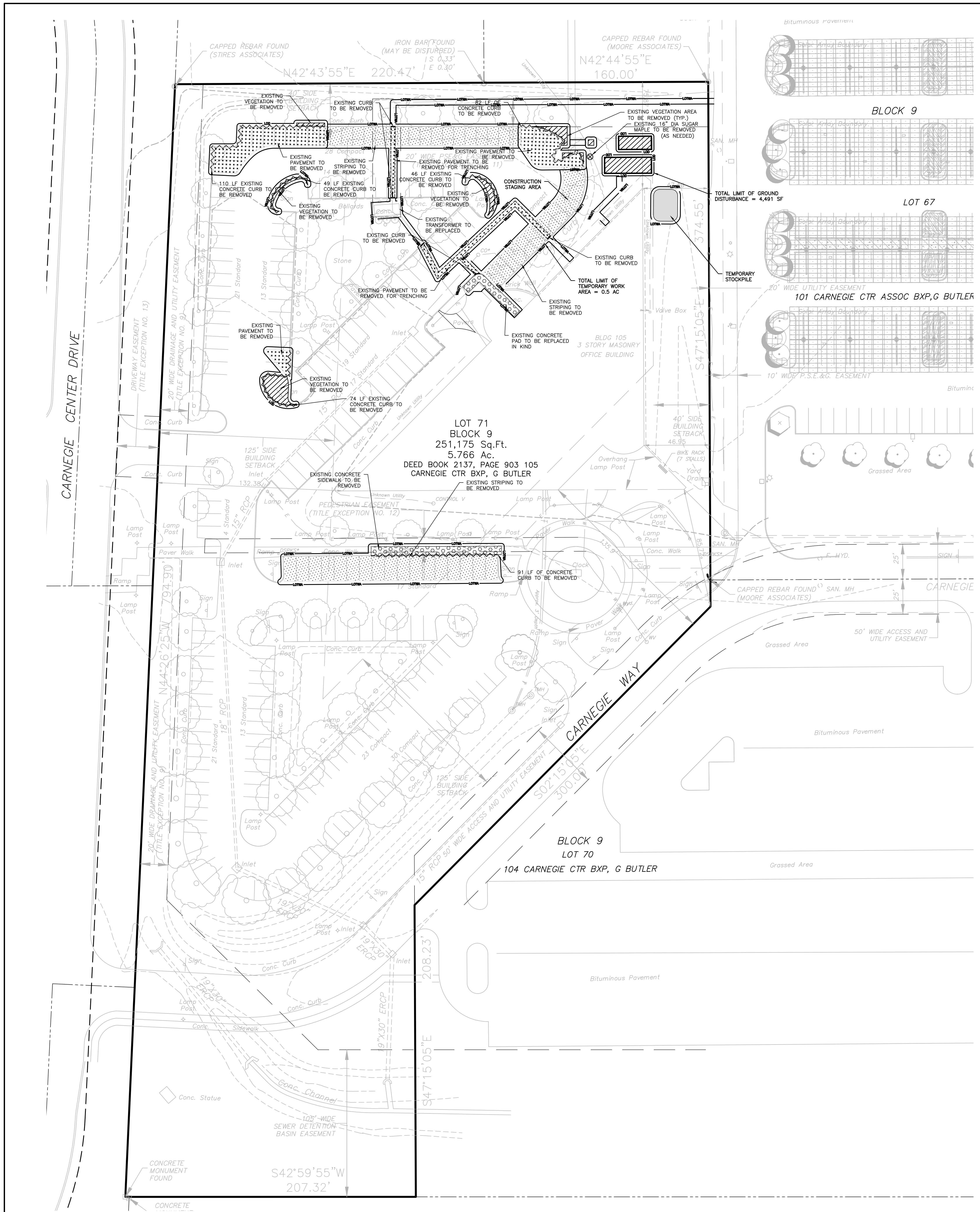
OFFICES LOCATED IN:  
CALIFORNIA, INDIANA, KENTUCKY,  
MASSACHUSETTS, MICHIGAN, NEW JERSEY,  
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CHECKED BY	MRT		OVR-1
DRAWN BY	DA	SHEET	
DATE	03/10/2023		3
SCALE	AS SHOWN		
PROJ. NO.	CARN00719	OF	16



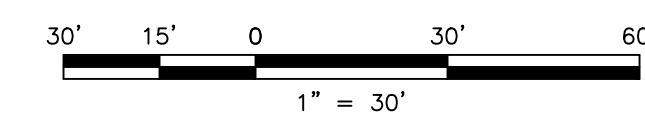
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- DEMOLITION NOTES:**
- DEMOLITION PERMIT MUST BE OBTAINED FROM THE TOWNSHIP OF WEST WINDSOR CONSTRUCTION CODE OFFICIAL BEFORE WORK BEGINS.
  - CERTIFICATION FROM THE RESPECTIVE UTILITY AGENCIES SHALL BE OBTAINED PRIOR TO DEMOLITION STATING THAT ALL UTILITIES HAS BEEN PROPERLY SHUT OFF AND/OR REMOVED OR BOTH.
  - UNDERGROUND SITE UTILITY INFORMATION IS BASED ON AVAILABLE UTILITY INFORMATION. CONTRACTOR IS MADE AWARE THAT THERE MAY BE ADDITIONAL UNDERGROUND UTILITIES ON SITE. IF CONTRACTOR UNCOVERS ADDITIONAL UNDERGROUND UTILITIES, CONTRACTOR IS RESPONSIBLE FOR PROPER SHUT OFF AND DEMOLITION OF THOSE UTILITIES.
  - THE CONTRACTOR IS RESPONSIBLE FOR HAULING OUT TRASH/GARBAGE ON-SITE.
  - ALL OFFSITE DISTURBANCE MUST BE RESTORED TO ORIGINAL CONDITION.
  - ANY TREE OR SIGNAGE DAMAGED DURING CONSTRUCTION MUST BE REPLACED IN-KIND.
  - ALL STREET TRAFFIC SIGNAGE MUST BE MAINTAINED DURING CONSTRUCTION.

DEMOLITION LEGEND		LINE LEGEND	
	PROPOSED LIMIT OF TEMPORARY WORK AREA		EXISTING R.O.W.
	PROPOSED LIMIT OF DISTURBANCE		EXISTING PROPERTY LINE
	EXISTING CONCRETE CURBING TO BE REMOVED		EXISTING EASEMENT LINE
	EXISTING VEGETATION TO BE REMOVED		
	EXISTING CONCRETE TO BE REMOVED		
	EXISTING PAVEMENT TO BE REMOVED		
	EXISTING STRIPING TO BE REMOVED		
	EXISTING TREE TO BE REMOVED		
	EXISTING TREE TO BE REMOVED AS NEEDED		



NO.	DATE	REVISED PER	WHY	TRC	COMMENTS	T.L.	MRT	BY	CHKD
1	03/29/23								

**MICHAEL R. THOMAS, P.E.**  
 DEPARTMENT MANAGER

*MRT*  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE No. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 03, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY

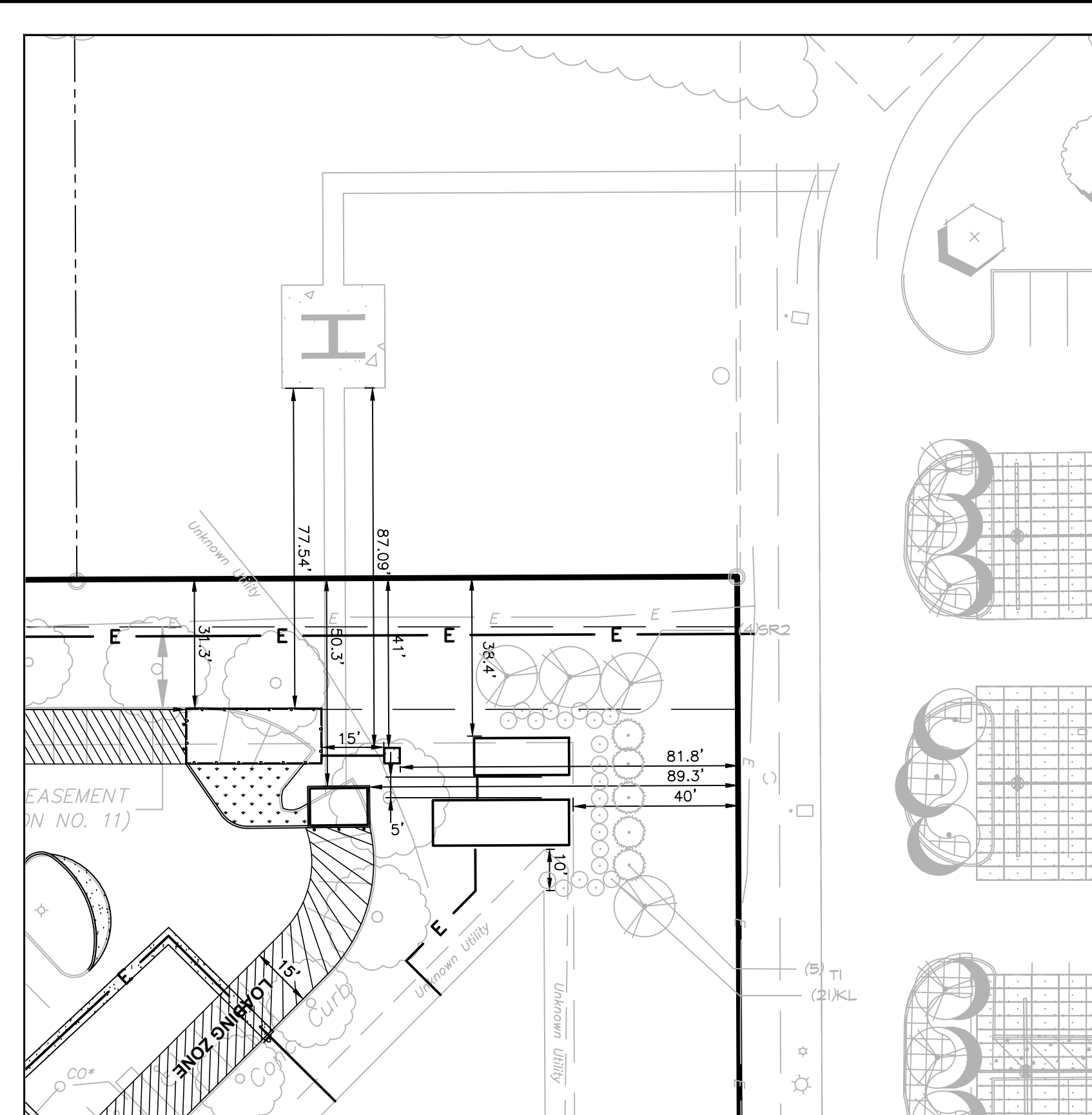
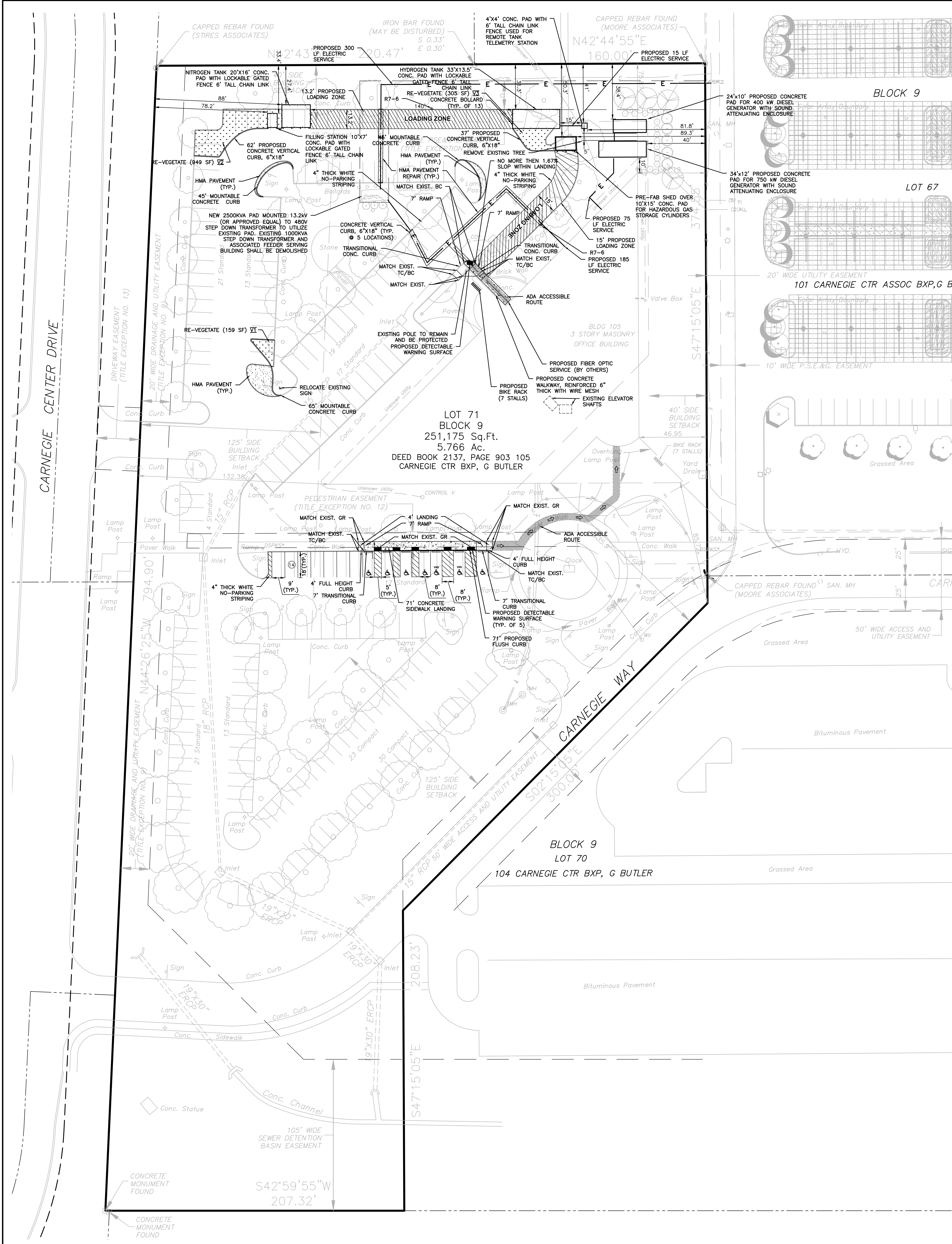


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DESIGNED BY	TJA	DRAWING	
CHECKED BY	MRT		<b>DEM-1</b>
DRAWN BY	RPD	SHEET	
DATE	03/10/2023		
SCALE	AS SHOWN		<b>4</b>
PROJ. NO.	CARN00719	OF	<b>16</b>

PROJECT INFORMATION:  
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INSET "A"  
 SCALE: 1"=30'

TOTAL NEW PERVIOUS CALCULATIONS (1,416 SF)

AREA TO BE VEGETATED	V1 AREA (SF)	V2 AREA (SF)	V3 AREA (SF)
AREA (SF)	159	949	305

TOTAL NEW IMPERVIOUS COVERAGE CALCULATIONS (1,336 SF)

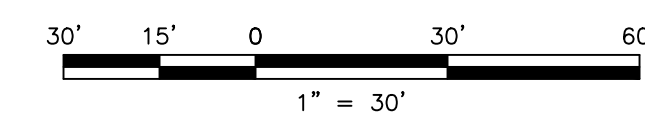
PROPOSED IMPERVIOUS	NITROGEN TANK	HYDROGEN TANK	PREFAB. STRUCT.	TELEMETRY STATION	400KW GEN. PAD	750KW GEN. PAD	MISC. PARKING LAYOUT
AREA (SF)	61	111	35	16	240	408	465

1,416 SF (NEW PERVIOUS) - 1,336 SF (NEW IMPERVIOUS COVERAGE) = 80 SF OF NEW PERVIOUS  
 THEREFORE, THE PROPOSED DEVELOPMENT RESULTS IN A NET DECREASE OF 80SF OF IMPERVIOUS COVERAGE.

- NOTES:
- FOR LANDSCAPING DETAILS REFERENCE TO CARNEGIE CENTER 2 DESIGN GUIDELINES
  - THE RUNNING SLOPE WITHIN THE ADA ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48

**CONSTRUCTION LEGEND**

	PROPOSED CONCRETE CURB
	PROPOSED FLUSH CONCRETE CURB
	PROPOSED CONCRETE
	PROPOSED AREA TO BE RESTORED/REPLANTED
	PROPOSED HMA PAVEMENT
	ADA ACCESSIBLE ROUTE



NO.	DATE	REVISED PER WRT TRC COMMENTS	T.J.L.	MRT	BY	CHKD
1	03/29/23					

MICHAEL R. THOMAS, P.E.  
 DEPARTMENT MANAGER

03/29/2023  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE NO. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 02, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY

CONSTRUCTION PLAN



11 TRINALL ROAD  
 MIDDLETOWN, NJ 07748  
 TEL 732-671-6400  
 FAX 732-671-7365

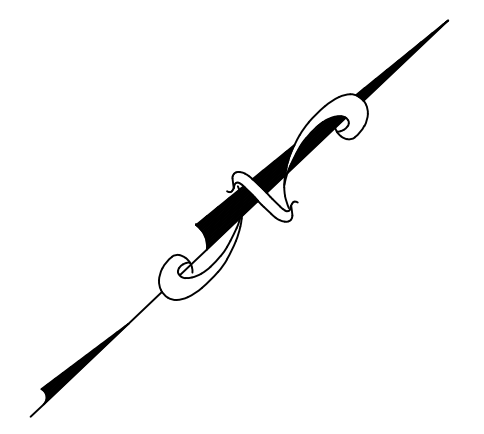
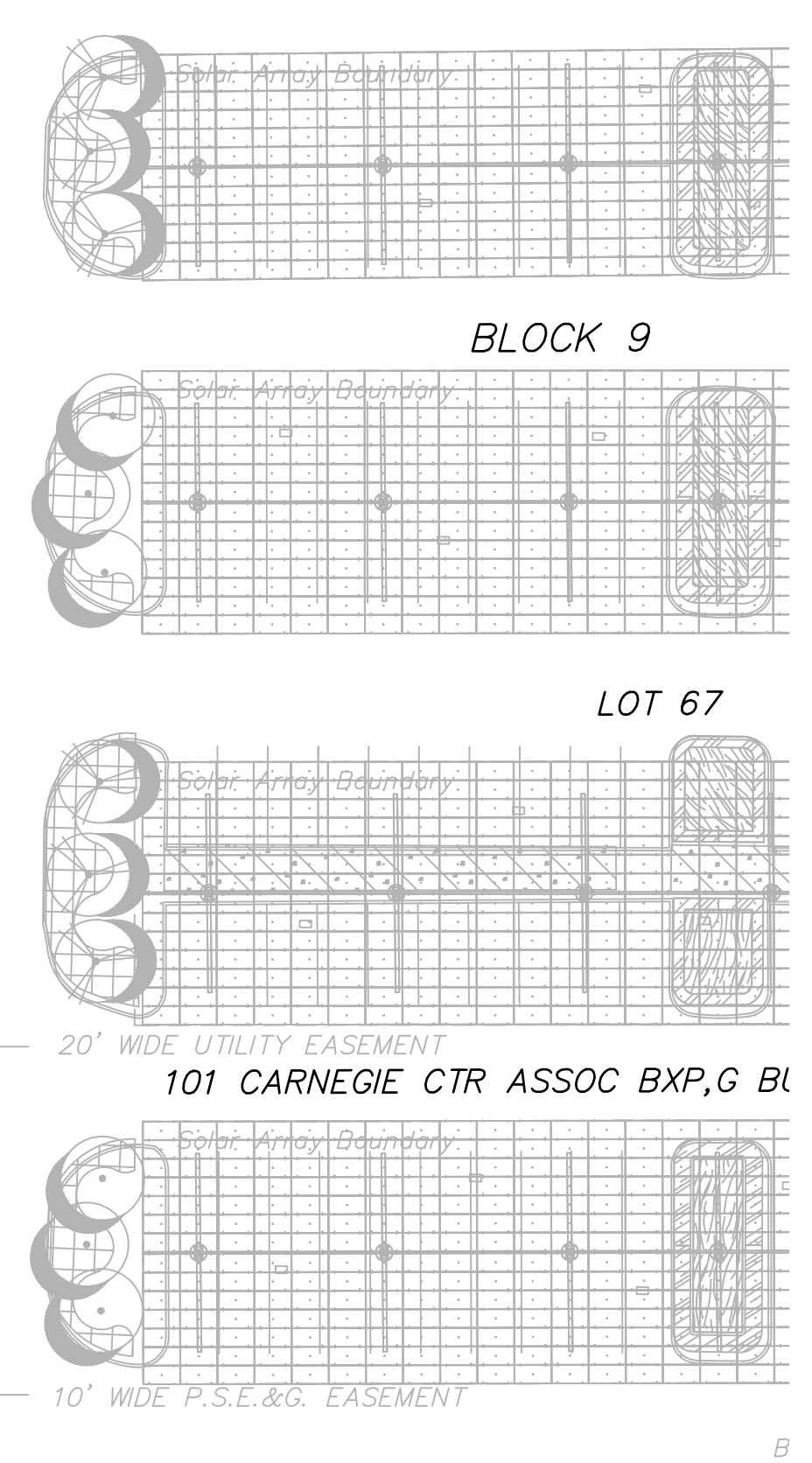
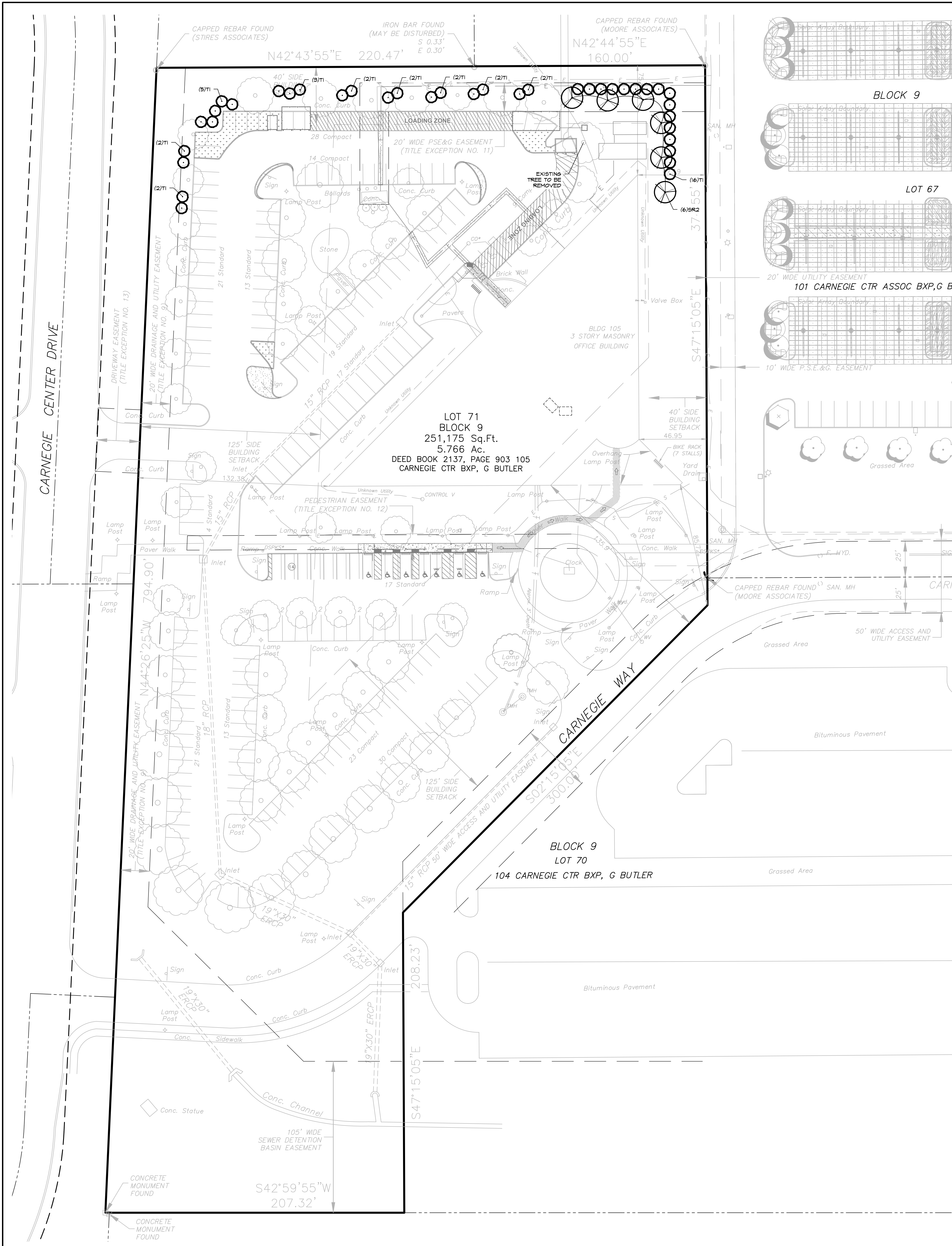
NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
 CERTIFICATE OF AUTHORIZATION REG-20789530

OFFICES LOCATED IN:  
 CALIFORNIA, INDIANA, KENTUCKY,  
 MASSACHUSETTS, MICHIGAN, NEW JERSEY,  
 OHIO AND PENNSYLVANIA

DESIGNED BY	T.J.L.	DRAWING	
CHECKED BY	MRT		<b>CSP-1</b>
DRAWN BY	RPD	SHEET	
DATE	03/10/2023		<b>5</b>
SCALE	AS SHOWN		
PROJ. NO.	CARN00719	OF	<b>16</b>

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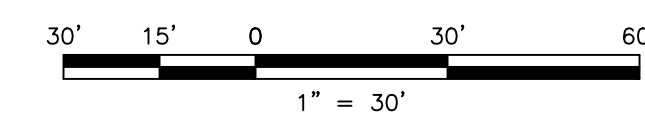
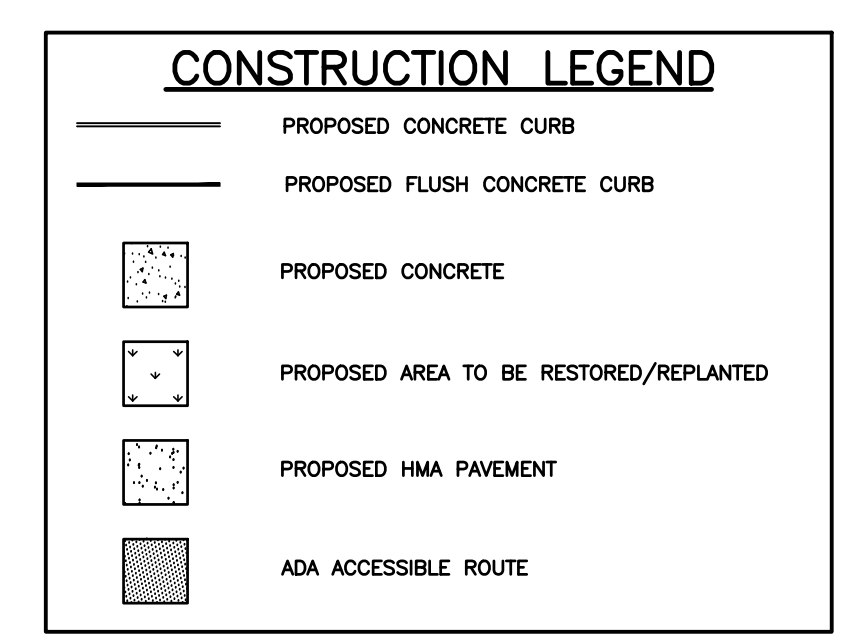
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**PLANT SCHEDULE**

EVERGREEN TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	HEIGHT	REMARKS
TI	38	THUJA X 'GREEN GIANT'	GREEN GIANT ARBORVITAE	B & B	8' MIN	
ORNAMENTAL TREES	QTY	BOTANICAL NAME	COMMON NAME	ROOT	HEIGHT	REMARKS
SR2	6	SYRINGA RETICULATA	JAPANESE TREE LILAC	B & B	8'-10'	

- NOTES:  
 1. FOR LANDSCAPING DETAILS REFERENCE TO CARNEGIE CENTER 2 DESIGN GUIDELINES  
 2. THE RUNNING SLOPE WITHIN THE ADA ACCESSIBLE ROUTES SHALL NOT BE STEEPER THAN 1:20. THE CROSS SLOPE SHALL NOT BE STEEPER THAN 1:48



NO.	DATE	REVISED PER WWT TRC COMMENTS	T.L.	MRT	CHKD
1	03/29/23				

**MICHAEL R. THOMAS, P.E.**  
 DEPARTMENT MANAGER

*WWT*  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE No. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 03, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY

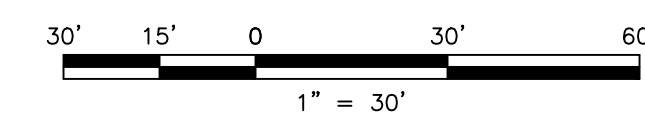
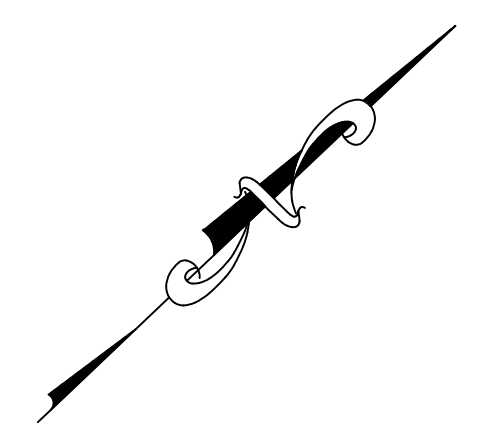
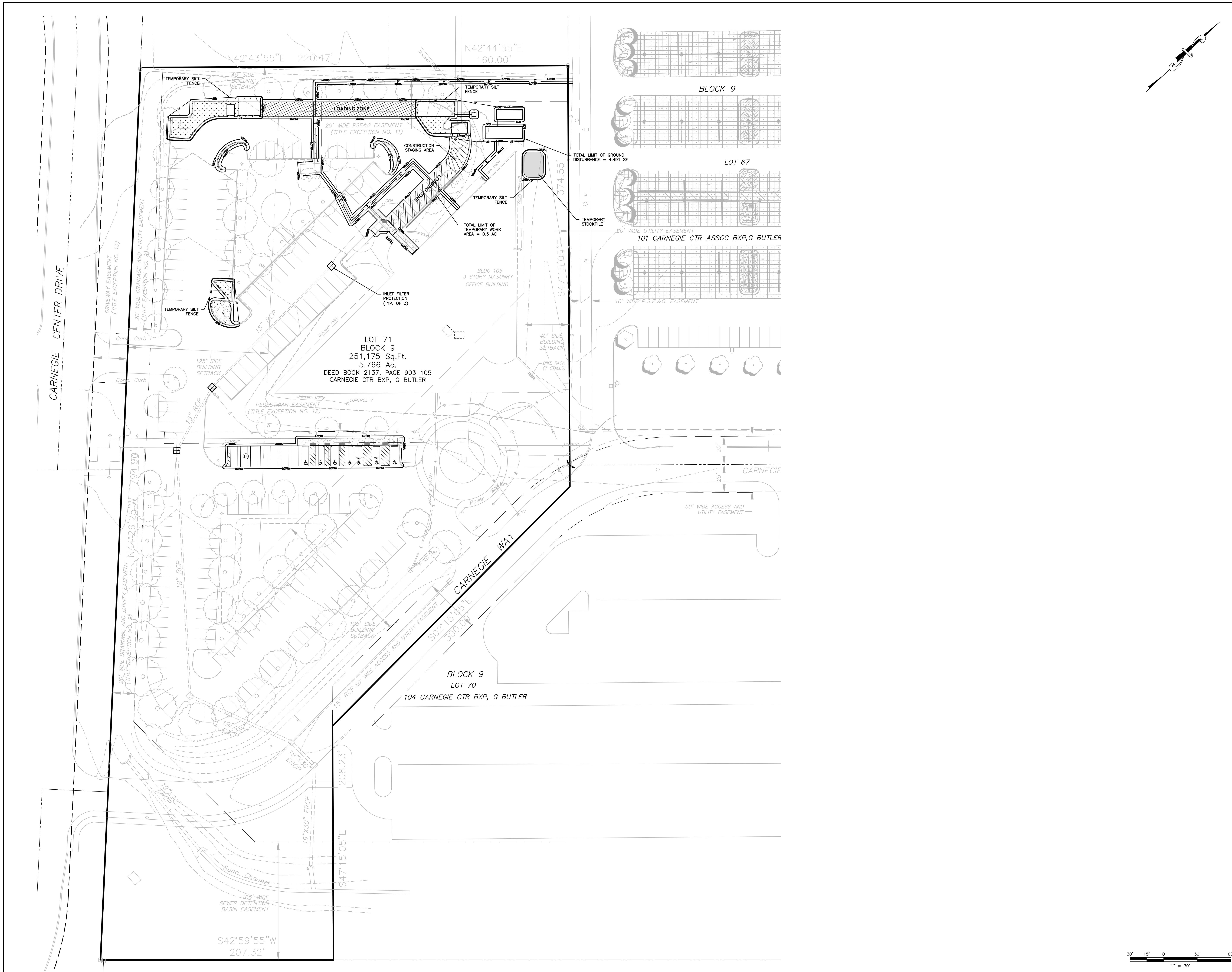


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DESIGNED BY	CKS	DRAWING	
CHECKED BY	MRT	<b>LSP-1</b>	
DRAWN BY	CKS	SHEET	
DATE	03/10/2023	<b>6</b>	
SCALE	AS SHOWN		
PROJ. NO.	CARN00719	OF	16

PROJECT INFORMATION:  
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 LAST SAVE BY: Tlubrecque

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NO.	DATE	REVISED PER	WT	TRC	COMMENTS	TJL	MRT	CHD
1	03/29/23				REVISIONS			

**MICHAEL R. THOMAS, P.E.**  
 DEPARTMENT MANAGER

*MRT* 03/29/2023  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE NO. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 03, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY

**SOIL EROSION & SEDIMENT CONTROL PLAN**



NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
 CERTIFICATE OF AUTHORIZATION 2620270500

OFFICES LOCATED IN:  
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DESIGNED BY	TJL	DRAWING	
CHECKED BY	MRT	<b>SEP-1</b>	
DRAWN BY	RPD	SHEET	
DATE	03/10/2023	<b>7</b>	
SCALE	AS SHOWN		
PROJ. NO.	CARN00719	OF	<b>16</b>

STANDARD FOR TEMPORARY VEGETATIVE COVER FOR SOIL STABILIZATION

Definition Establishment of temporary vegetative cover on soils exposed for periods of two to 6 months which are not being graded, not under active construction or not scheduled for permanent seeding within 60 days.

Purpose To temporarily stabilize the soil and reduce damage from wind and water erosion until permanent stabilization is accomplished.

Water Quality Enhancement Provides temporary protection against the impacts of wind and rain, slows the overland movement of stormwater runoff, increases infiltration and retains soil and nutrients on site, protecting streams or other stormwater conveyances.

Where Applicable On exposed soils that have the potential for causing off-site environmental damage.

Methods and Materials 1. Site Preparation A. Grade as needed and feasible to permit the use of conventional equipment for seeded practices, seedings, mulch application, and mulch anchoring. Grading should be done in accordance with Standards for Land Grading, p. 19-1, Standards for Soil Erosion and Sediment Control in New Jersey (S.E.S.C.N.J.).

STANDARD FOR PERMANENT VEGETATIVE COVER FOR SOIL STABILIZATION

Definition Establishment of permanent vegetative cover on exposed soils where perennial vegetation is desired for long term protection.

Purpose To permanently stabilize the soil, assuring conservation of soil and water, and to enhance the environment.

Water Quality Enhancement Slows the overland movement of stormwater runoff, increases infiltration and retains soil and nutrients on site, protecting streams or other stormwater conveyances.

Where Applicable On exposed soils that have a potential for causing off-site environmental damage.

Methods and Materials 1. Site Preparation A. Grade as needed and feasible to permit the use of conventional equipment for seeded practices, seedings, mulch application, and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, p. 19-1, Standards for Soil Erosion and Sediment Control in New Jersey.

STANDARD FOR STABILIZATION WITH MULCH ONLY

Definition Stabilizing exposed soils with non-vegetative material.

Purpose To protect exposed soil surfaces from erosion damage and to reduce offsite environmental damage.

Water Quality Enhancement Provides temporary mechanical protection against wind or rainfall induced soil erosion until permanent vegetative cover may be established.

Where Applicable This practice is applicable to areas subject to erosion, where the season and other conditions may not be suitable for growing an erosion resistant cover or where stabilization is needed for a short period until more permanent protection can be applied.

Method and Materials 1. Site Preparation A. Grade as needed and feasible to permit the use of conventional equipment and mulch anchoring. All grading should be done in accordance with Standards for Land Grading, pp. 19-1.

TABLE: LIMESTONE\* APPLICATION RATE BY SOIL TEXTURE. Table with columns: SOIL TEXTURE, TONS/ACRE, LBS./1,000 SQ. FT.

Work lime and fertilizer into the soil as nearly as practical to a depth of 4 inches with disc springtooth harrow, or other suitable equipment. The final harrowing or discing operation should be on the general contour.

Seedling Seed mix shall be as follows:

SEED MIXTURE #G. Table with columns: KIND OF SEED, MINIMUM % PURITY, MINIMUM % GERMINATION, APPLICATION RATE POUNDS/ACRE.

Conventional Seeding - Apply seed uniformly by hand, cyclone (centrifugal) seeder, drop seeder or air seeder.

Hydroseeding is a broadcast seeding method usually involving a truck or trailer mounted tank, with an agitation system and hydraulic pump for mixing seed, water and fertilizer and spraying the mix onto the prepared seedbed.

Mulching is required on all seeding. Mulch will insure against erosion before grass is established and will promote faster and earlier establishment.

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MERCER COUNTY SOIL CONSERVATION DISTRICT SOIL EROSION AND SEDIMENT CONTROL NOTES

- 1. The Mercer County Soil Conservation District shall be notified 48 hours prior to starting land disturbance activity. Notice may be mailed, faxed or emailed to: MSCSD, 508 Hughes Drive, Hamilton Square, NJ 08690. Phone: 609-686-9603 Fax: 609-686-1117 Email: mercercoilsd@aol.com

MICHAEL R. THOMAS, P.E. DEPARTMENT MANAGER

03/29/2023 DATE

1. 03/29/23 DATE

REVISED PER WFT, TRC, COMMENTS REVISIONS

NO. COMMENTS

T.L. MFT BY CHHD

1. 03/29/23 DATE

REVISED PER WFT, TRC, COMMENTS REVISIONS

NO. COMMENTS

T.L. MFT BY CHHD

1. 03/29/23 DATE

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NO. COMMENTS

T.L. MFT BY CHHD

1. 03/29/23 DATE

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NO. COMMENTS

T.L. MFT BY CHHD

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- 1. Peg and Twine - Drive 8 to 10 inch wooden pegs to within 2 to 3 inches of the soil surface every 4 feet in all directions. Stakes may be driven before or after applying mulch. Secure twine around each peg with two or more round turns.

- 2. Mulch Nettings - Staple paper, jute, cotton, or plastic nettings to the soil surface. Use a degradable netting in areas to be mowed.

- 3. Crimper (mulch anchoring tool) - A tractor-drawn implement, somewhat like a disc-harrow, especially designed to push or cut some of the broadcast long fiber mulch 3 to 4 inches into the soil so as to anchor it and leave part standing upright. This technique is limited to areas traversable by a tractor, which must operate on the contour of slopes. Straw mulch rate must be 3 tons per acre. No tackifying or adhesive agent is required.

- 4. Liquid Mulch-Binders - May be used to anchor salt hay or straw mulches. Applications should be heavier at edges where wind catches the mulch, in valleys, and at crests of banks. Remainder of area should be uniform in appearance. Use one of the following: a. Emulsified asphalt - (SS-1, CSS-1, CMS-2, MS-2, RS-1, RS-2, CRS-1, and CRS-2). Apply 0.04 gal/sq. yd. or 194 gal/acre on flat slopes less than 8 feet high. On slopes 8 feet or more high, use 0.075 gal/sq. yd. or 363 gal/acre. These materials may be difficult to apply uniformly and will discolor surfaces.

- 5. Organic and Vegetable Based Binders - Naturally occurring, powder based, hydrophilic materials when mixed with water formulates a gel and when applied to mulch under satisfactory curing conditions will form membrane networks of insoluble polymers. The vegetable gel shall be physiologically harmless and not result in a phytotoxic effect or impede growth of turfgrasses. Use at rates and weather conditions as recommended by the manufacturer to anchor mulch materials. Many new products are available, some of which may need further evaluation for use in this state.

- 6. Synthetic binders - High polymer synthetic emulsion, miscible with water when diluted and following application to mulch, drying and curing shall no longer be soluble or dispersible in water. It shall be applied at rates recommended by the manufacturer and remain tacky until germination of grasses.

- 7. Wood-fiber or paper-fiber mulch. Shall be made from wood, plant fibers or paper containing no growth or germination inhibiting materials, used at the rate of 1,500 pounds per acre (or as recommended by the product manufacturer) and may be applied by a hydroseeder. This mulch shall not be mixed in the tank with the seed. Use is limited to flatter slopes and during optimum seeding periods in spring and fall.

YOUR GOALS. OUR MISSION.

11 TINDALL ROAD MIDDLETOWN, NJ 07748 TEL: 732-671-6400 FAX: 732-671-7365

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS AND ARCHITECTS CERTIFICATE OF AUTHORIZATION REGISTRATION NO.

OFFICES LOCATED IN: CALIFORNIA, INDIANA, KENTUCKY, MASSACHUSETTS, MICHIGAN, NEW JERSEY, OHIO AND PENNSYLVANIA

DESIGNED BY DRAWING

CHECKED BY MFT SED-1

DRAWN BY RPD SHEET

DATE 03/10/2023

SCALE AS SHOWN

PROJ. NO. CARN00719

OF 16

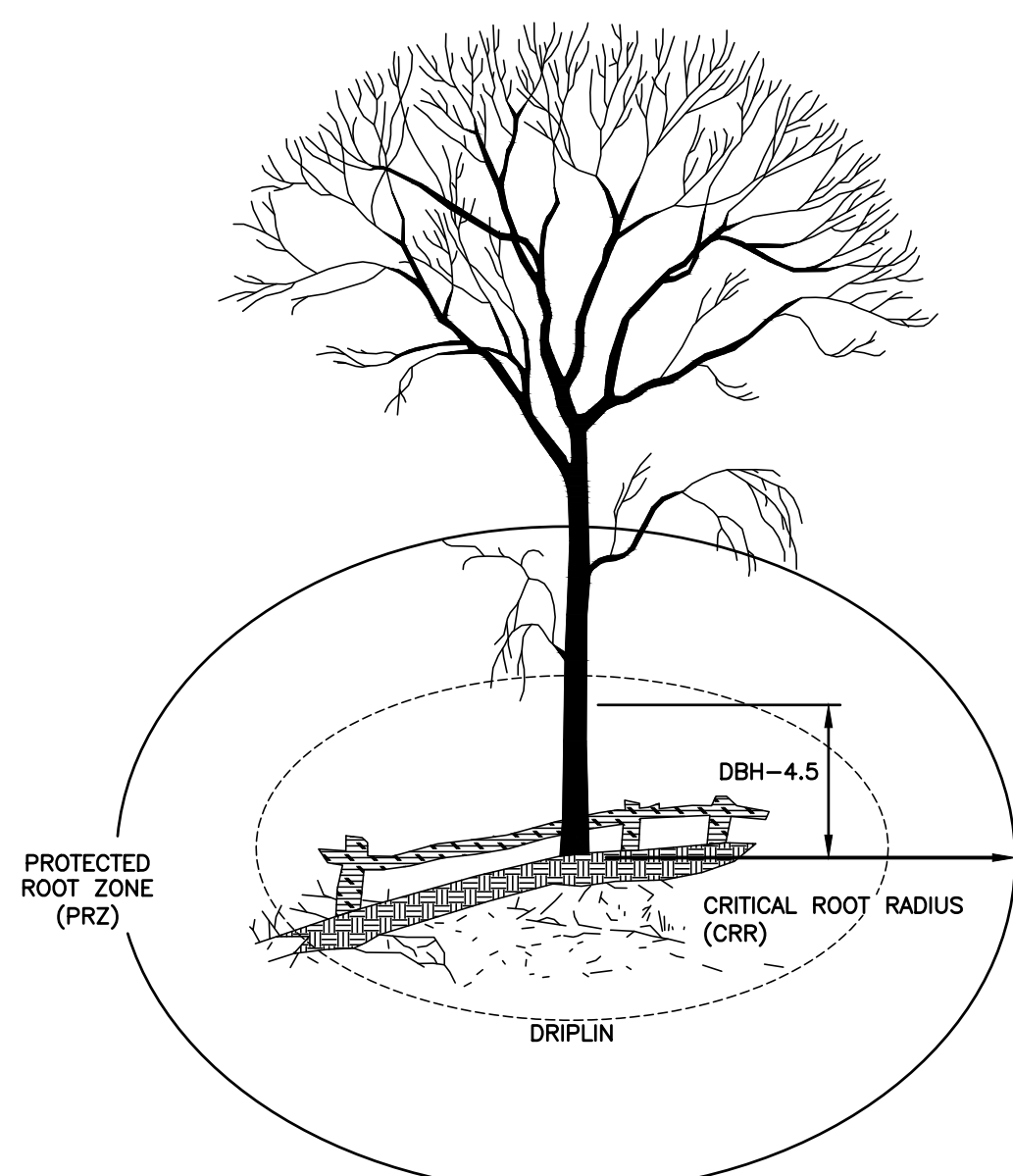
SOIL EROSION & SEDIMENT CONTROL NOTES

BOSTON PROPERTIES, L.P. MINOR SITE PLAN

CARNEGIE CENTER - BUILDING 105

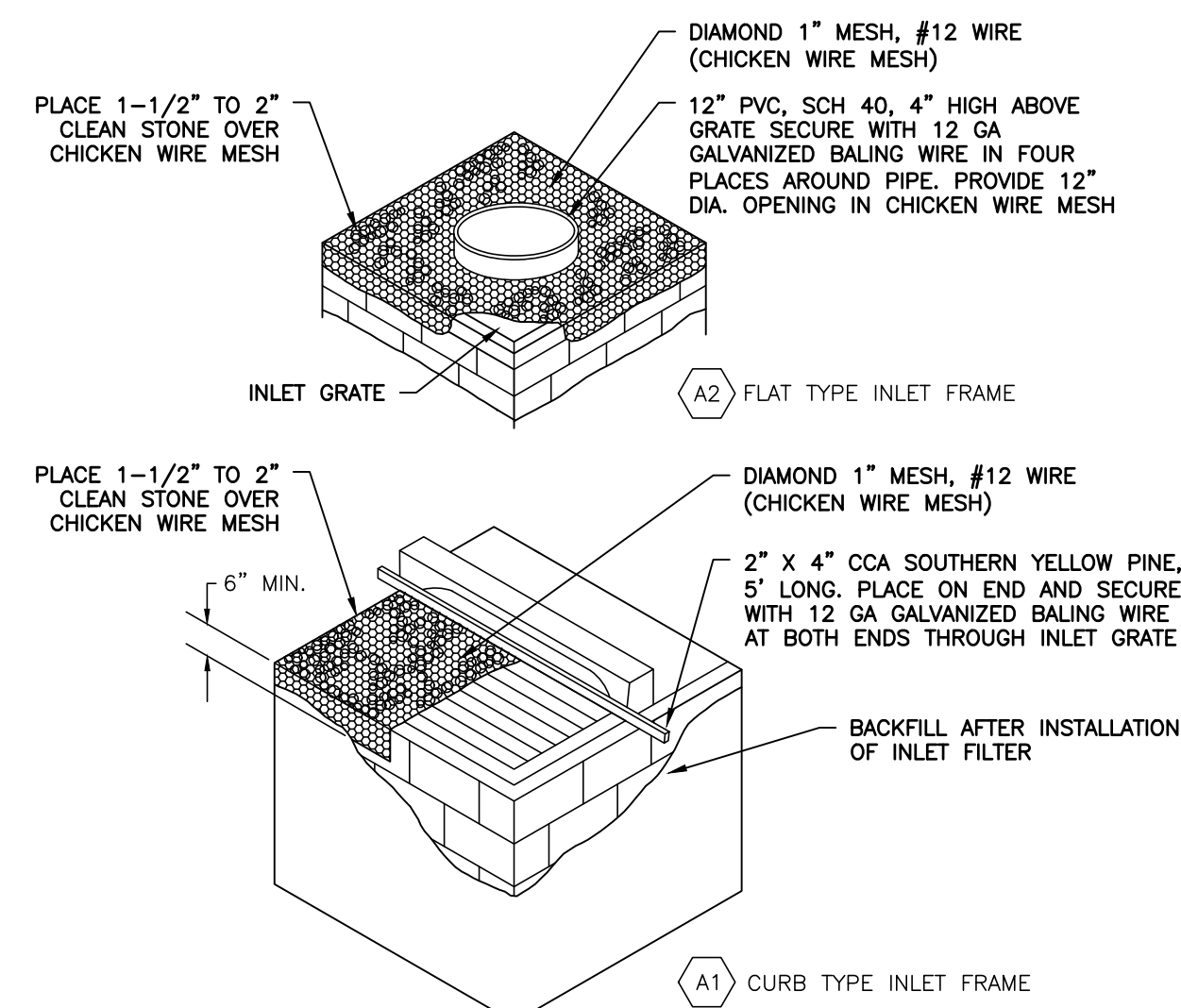
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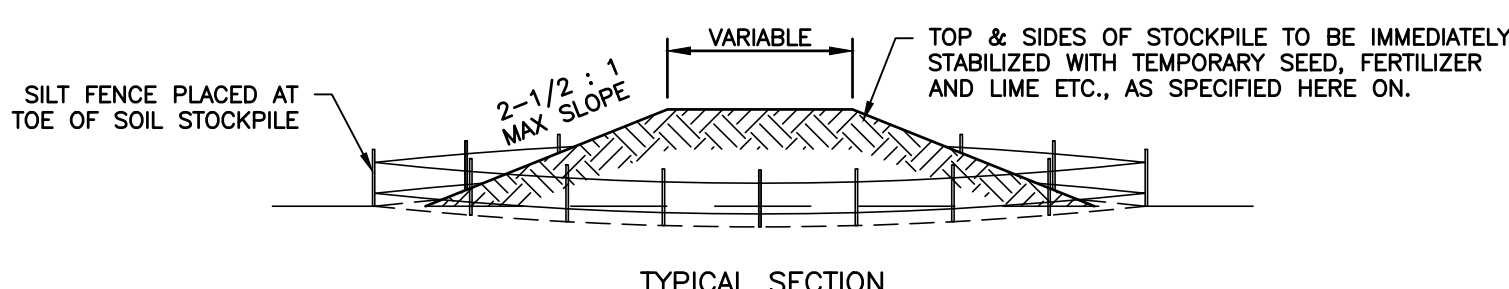
- GENERAL NOTES**
- ALL TREES WITHIN 25' OF THE CONSTRUCTION LIMITS SHALL BE PROTECTED FROM DAMAGE.
  - NO BOARDS OR OTHER MATERIALS MAY BE NAILED OR OTHERWISE ATTACHED TO ANY TREE DURING CONSTRUCTION.
  - NO FEEDER ROOTS WITHIN THE PROTECTION ZONE SHALL BE CUT OR DISTURBED.
  - DAMAGED TRUNKS OR ROOTS SHALL HAVE DAMAGED BARK REMOVED IMMEDIATELY. NO TREE PAINT SHALL BE APPLIED. EXPOSED ROOTS SHALL BE COVERED WITH TOPSOIL. WHERE DAMAGED, CONTRACTOR SHALL CUT THE ROOT CLEANLY. FOR SERIOUS DAMAGE, A PROFESSIONAL ARBORIST SHALL BE CONSULTED.
  - WHERE NECESSARY, TREE BRANCHES SHALL BE PRUNED TO NATURAL TARGETS.
  - TO DETERMINE THE CRITICAL ROOT RADIUS, OR PROTECTION ZONE, THE SUBJECT TREE SHALL BE MEASURED 4.5' ABOVE GRADE ON THE UPHILL SIDE OF THE TREE. FOR YOUNG, HEALTHY, AND TOLERANT SPECIES, 1' PROTECTION RADIUS SHALL BE PROVIDED FOR EACH INCH OF TREE TRUNK DIAMETER. FOR OLDER, STRESSED, OR SENSITIVE SPECIES, 1.5' OF PROTECTION RADIUS SHALL BE PROVIDED FOR EACH INCH OF TRUNK DIAMETER.
  - TREE PROTECTION FENCING SHALL BE INSTALLED AT THE LIMIT OF THE CRITICAL ROOT RADIUS.

**TREE PROTECTION DURING CONSTRUCTION**  
N.T.S.



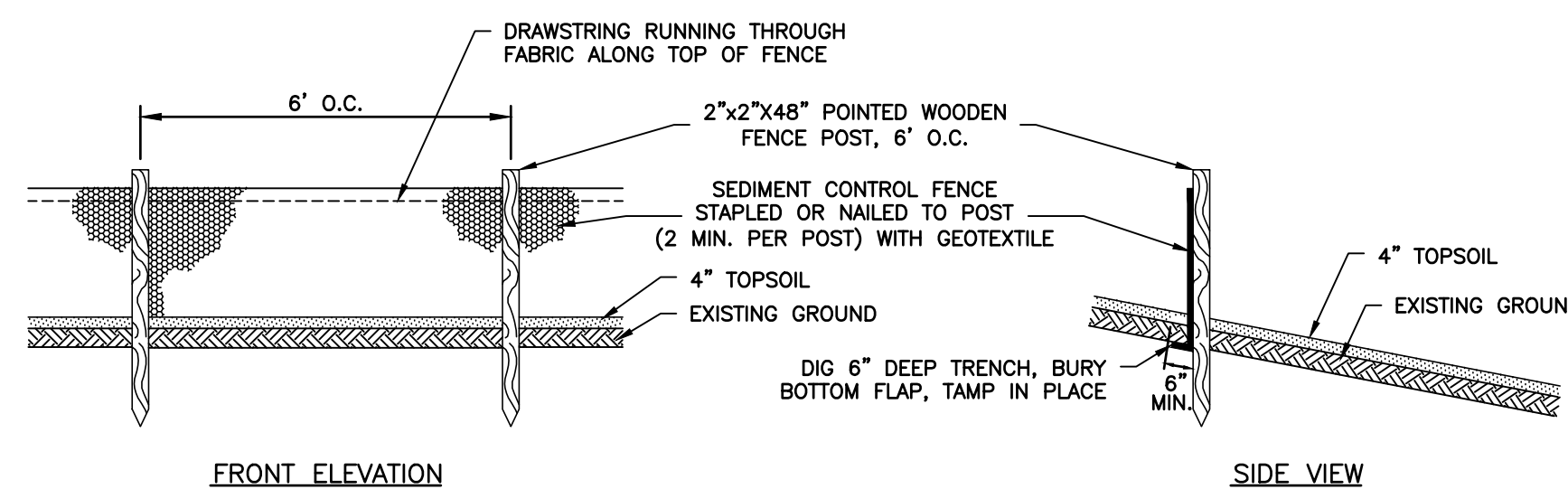
- GENERAL NOTES**
- CONTRACTOR TO CLEAN INLET FILTER AFTER EVERY STORM.
  - FILTER FABRIC, WOOD PIECE OR PVC PIPE TO BE REMOVED AFTER PAVING OR FINAL GRADING AND ESTABLISHMENT OF VEGETATION.
  - FILTER FABRIC SHALL BE MIRAFI 140N, OR APPROVED EQUAL.

**INLET FILTER PROTECTION**  
N.T.S.



NOTE:  
STOCKPILES TO BE SITE IN FIELD

**TEMPORARY TOPSOIL STOCKPILE**  
N.T.S.



PLAN SYMBOL  
SF — SILT FENCE  
**SILT FENCE**  
N.T.S.

**STANDARD FOR DEWATERING**

**DEFINITION**

The removal and discharge of sediment-laden water from an excavated area, construction site or sediment basin.

**PURPOSE**

To properly remove suspended sediments and water from areas through filtration and/or settlement prior to discharging water to a receiving water course or body.

**CONDITIONS WHERE PRACTICE APPLIES**

During construction excavated facilities need to be dewatered to facilitate or complete the construction process. The water pumped out of the excavated areas contain sediments that must be removed prior to the discharging to receiving bodies of water. This standard does not address the removal of ground water through well points, etc. This standard describes the following practices for the removal of sediment-laden waters from excavation areas: removable pumping stations, sump pits, portable sedimentation tanks and silt control bags.

**WATER QUALITY ENHANCEMENT**

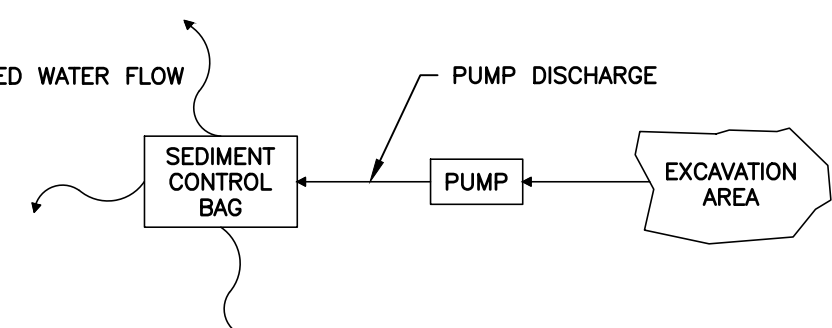
Water discharged from excavated areas on construction sites may be a significant contributor of sediment to surface waters during construction. Water must be removed and disposed of in order for construction to move forward. Typically, water is pumped or contained in berms and breached and sediment laden waters are permitted to flow uncontrolled into surface waters such as streams or lakes. By employing practices described in this standard, the majority of sediment suspended in water may easily be removed prior to leaving the site. Filters and materials described herein are readily available and are easy to install and maintain.

**DESIGN CRITERIA**

- Sediment Tank/Silt Control Bags are containers through which sediment laden water is pumped to trap and retain the sediment. A sediment tank or a silt control bag is to be used on sites where excavations are deep, and space is limited and where direct discharge of sediment laden water to stream and storm drainage systems is to be avoided.

**Construction Specifications**

- Location.** Containers (tanks or bags) shall be located for ease of clean-out and disposal of the trapped sediment and to minimize interference with construction activities and pedestrian traffic. Bags shall not be placed directly into receiving waters.
- Tank size.** The following formula should be used in determining the storage volume of the tank: 1 cubic foot of storage for each gallon per minute of pump discharge capacity. Typical tank configuration is shown on Detail 14-3. Tanks may be connected in series to increase effectiveness.
- Tanks consist of two concentric circular pipes (CMP), attached to a watertight baseplate. The inner CMP is perforated with 1" holes on 6" centers and is wrapped with geotextile and hardware cloth. Pumped water is discharged into the inner CMP where it flows through the geotextile into the space between the two CMPs. A discharge line is attached to the outer CMP and draws filtered water from the annulus between the two concentric CMPs. The discharge line may be connected to another tank where it drains to the inner CMP of the second tank. This series connection may be continued indefinitely.
- Sediment Control Bags must be located away from receiving waters and disposed of according to manufacturer's instructions.

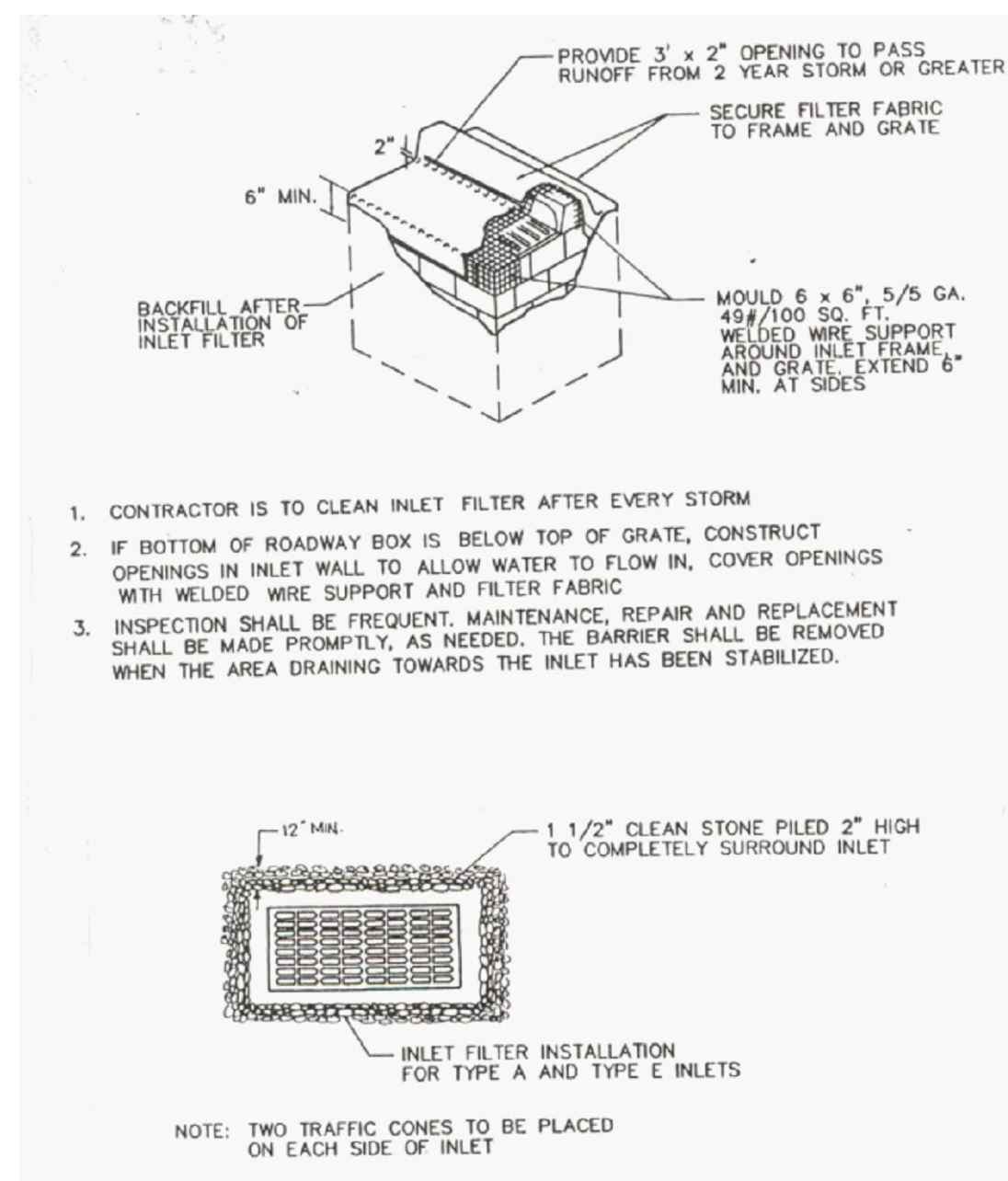


**GENERAL NOTES**

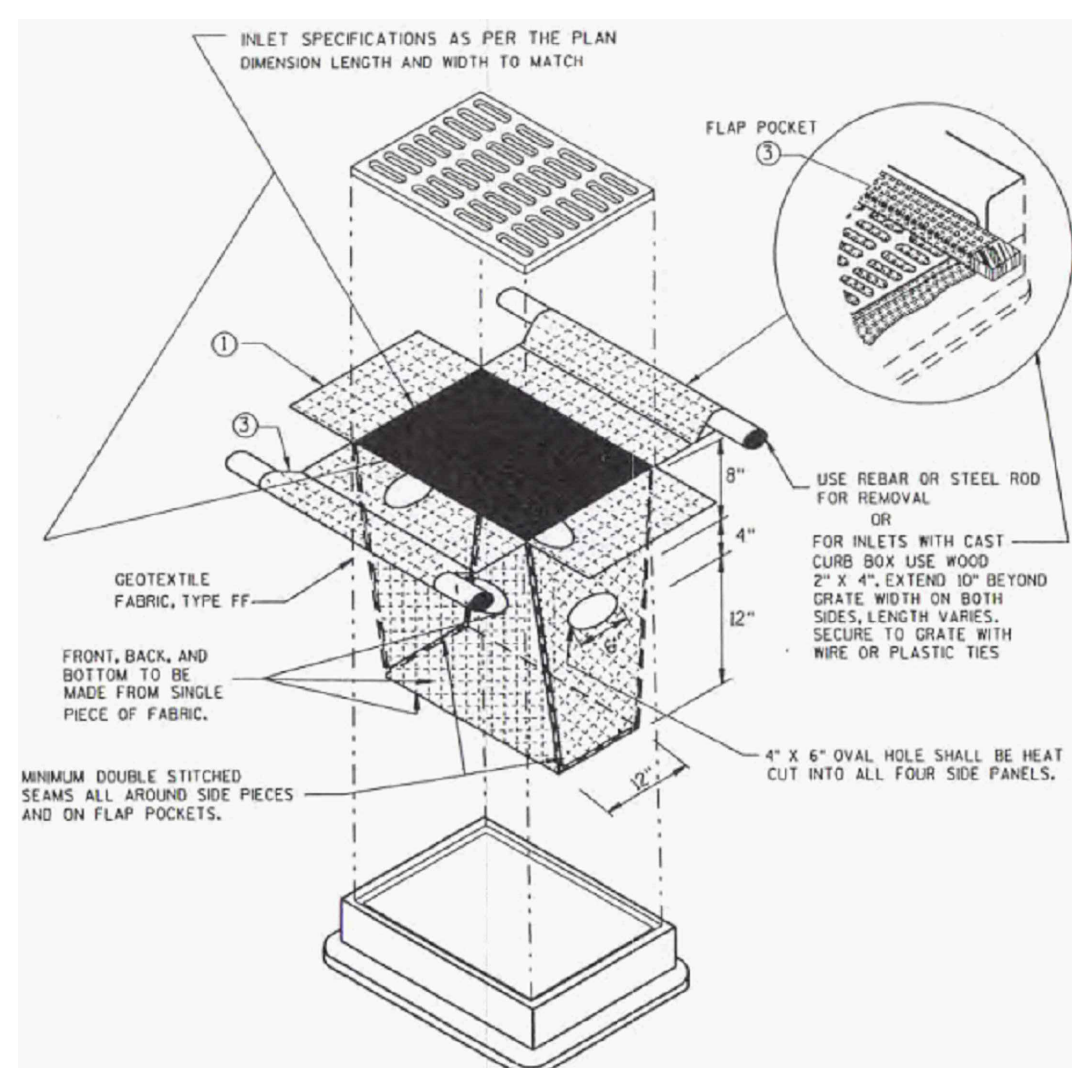
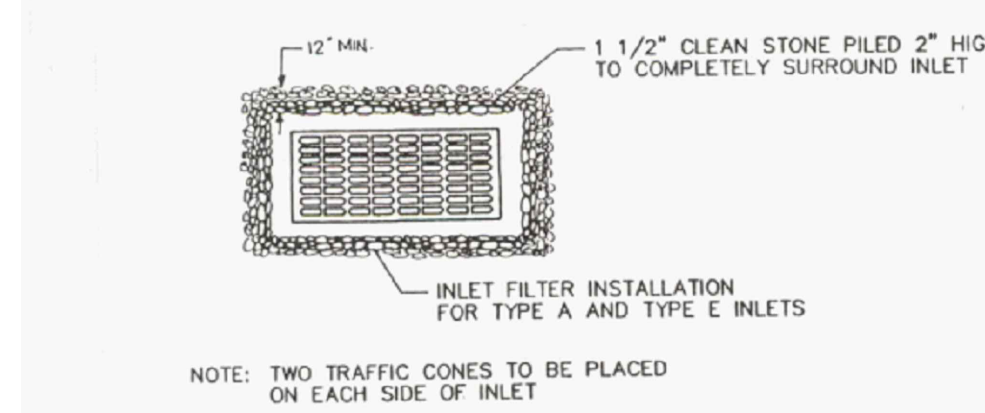
- BAG MUST BE LOCATED AWAY FROM RECEIVING WATERS AND/OR CONSTRUCTION ACTIVITIES.
- BAG MAY BE SURROUNDED BY STAKED HAY BALES AND FILTER FABRIC TO ENHANCE SEDIMENT CAPTURE.
- BAGS MUST BE DISPOSED OF ACCORDING TO MANUFACTURER'S INSTRUCTIONS.
- BAGS MAY NOT BE REUSED.

**SEDIMENT CONTROL BAG FOR DEWATERING**  
N.T.S.

NOTE: USE ONLY IF & WHERE DIRECTED



- CONTRACTOR IS TO CLEAN INLET FILTER AFTER EVERY STORM
- IF BOTTOM OF ROADWAY BOX IS BELOW TOP OF GRATE, CONSTRUCT OPENINGS IN INLET WALL TO ALLOW WATER TO FLOW IN, COVER OPENINGS WITH WELDED WIRE SUPPORT AND FILTER FABRIC
- INSPECTION SHALL BE FREQUENT, MAINTENANCE, REPAIR AND REPLACEMENT SHALL BE MADE PROMPTLY, AS NEEDED. THE BARRIER SHALL BE REMOVED WHEN THE AREA DRAINING TOWARDS THE INLET HAS BEEN STABILIZED.



**INLET FILTER INSTALLATION FOR TYPE A & D INLETS**  
NOT TO SCALE

PROJECT INFORMATION:  
 FILE PATH: C:\PROJECTS\CARN\00719\Plan\A\  
 FILE NAME: CARN00719-SED-09  
 DATE: 03/10/2023  
 LAST SAVE BY: Tlobrque

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NO.	DATE	REVISIONS	BY	CHKD
1	03/29/23	REVISED PER WWT TRC COMMENTS	T.J.L	MRT

**MICHAEL R. THOMAS, P.E.**  
DEPARTMENT MANAGER

*MRT* 03/29/2023  
LICENSED PROFESSIONAL ENGINEER  
STATE OF NJ LICENSE No. GE48086

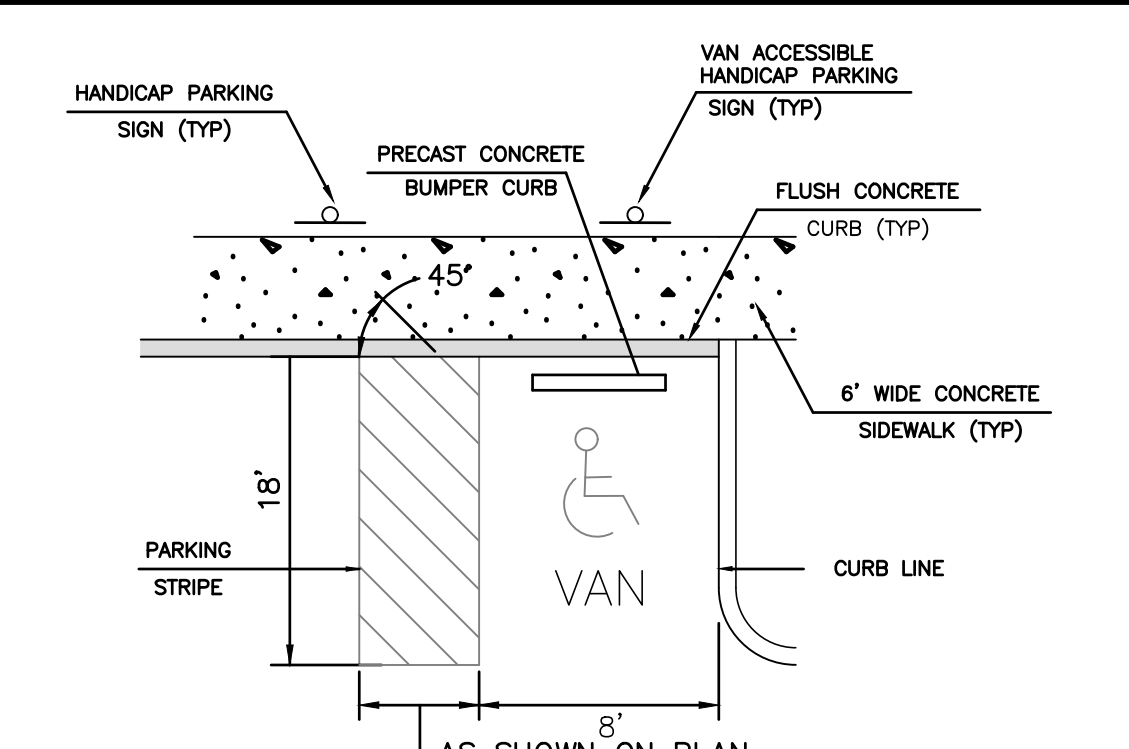
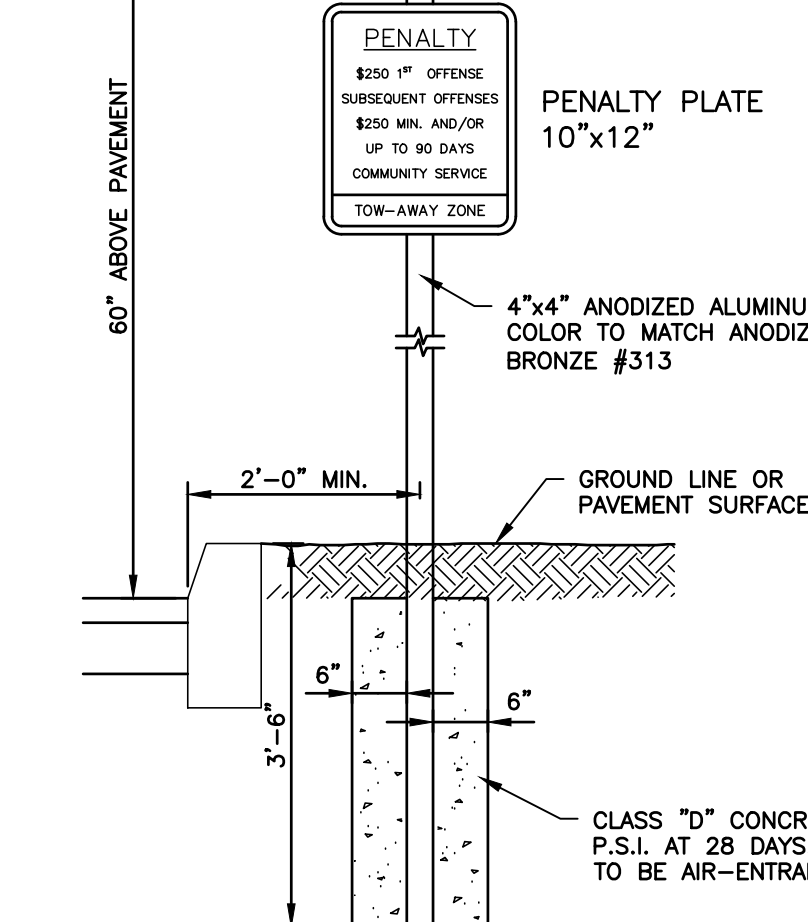
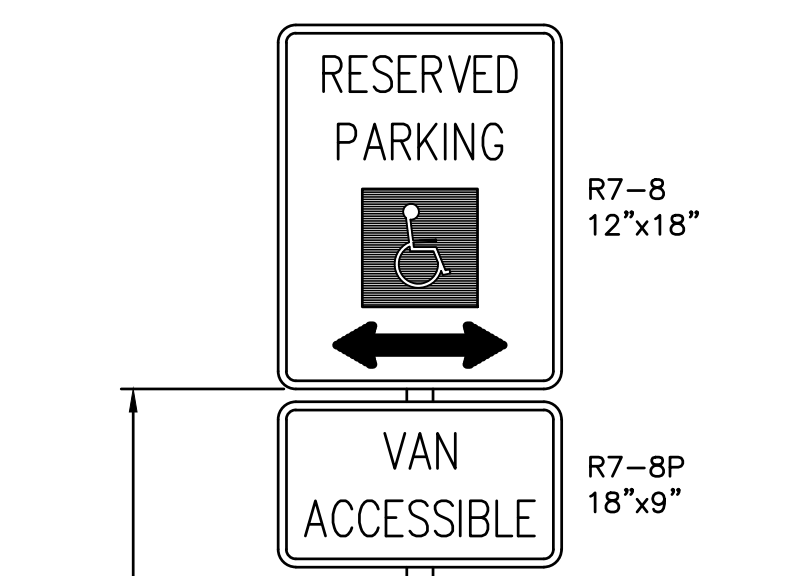
BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 02, BLOCK 8, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY  
 SOIL EROSION & SEDIMENT CONTROL DETAILS



11 TINDALL ROAD  
 MIDDLETOWN, NJ 07748  
 TEL 732-671-6400  
 FAX 732-671-7365  
 NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS AND LAND SURVEYORS  
 CERTIFICATE OF AUTHORIZATION 262478950

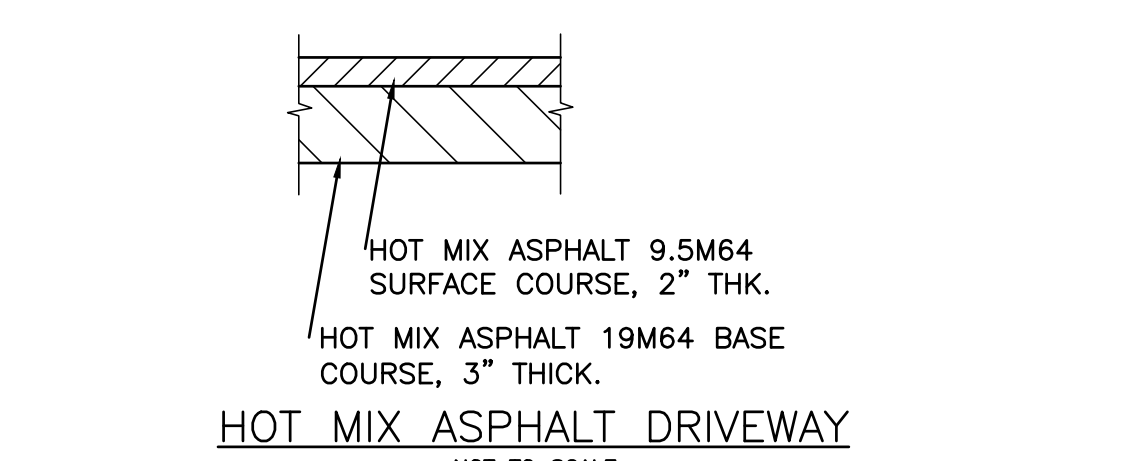
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SCALE	AS SHOWN
PROJ. NO.	OF <b>16</b>

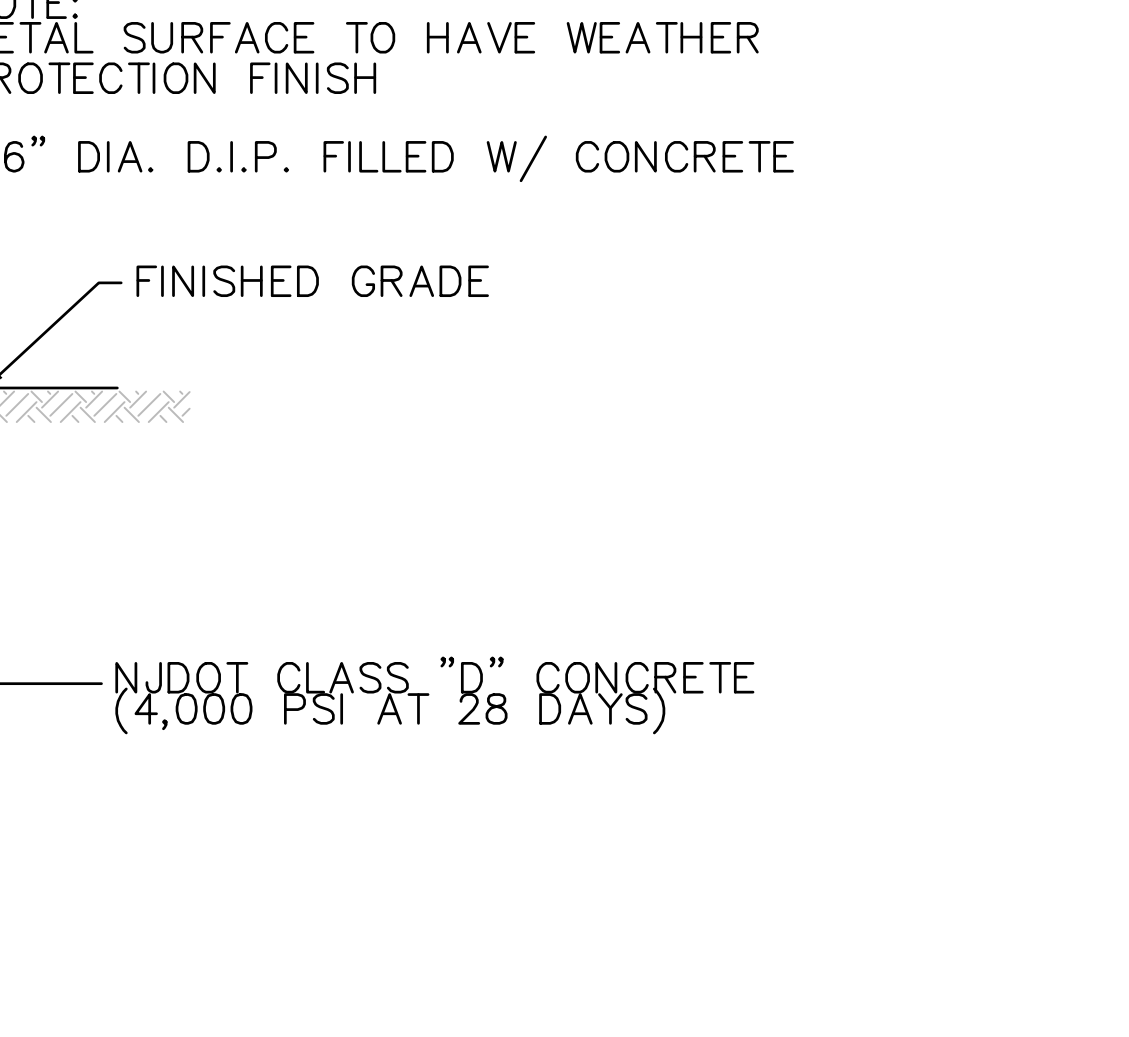


**NOTES:**  
 1. ALL PAVEMENT STRIPING SHALL BE 4" WIDE SOLID LINES.  
 2. ACCESS AISLE STRIPING SHALL BE SPACED 24" O.C.  
 3. ALL PAVEMENT MARKINGS FOR HANDICAP PARKING SPACES SHALL BE BLUE.

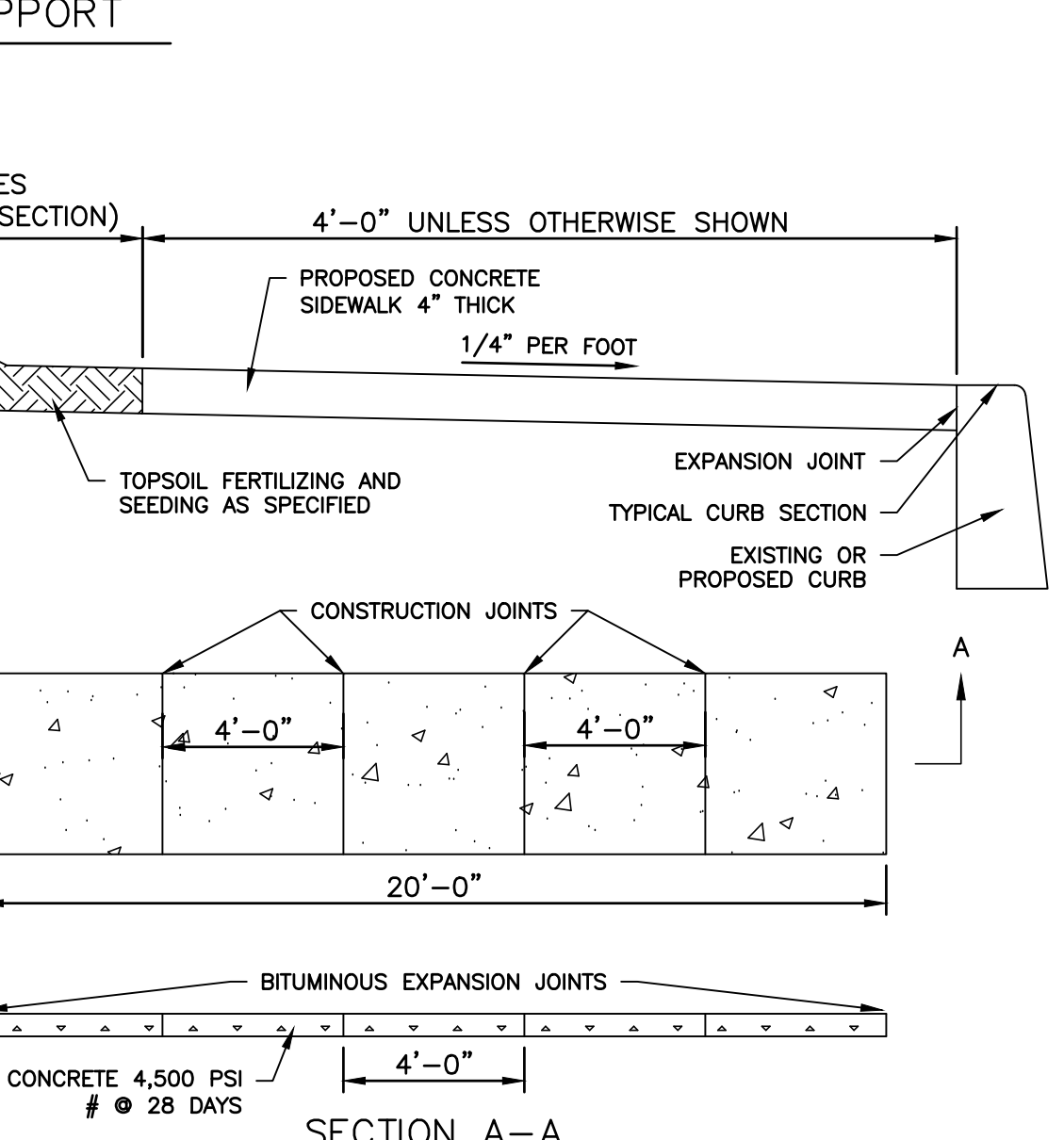
**HANDICAP PARKING STALL**  
NOT TO SCALE



**CONCRETE PAD/REINFORCED WALKWAY DETAIL**  
NOT TO SCALE



**BOLLARD & SUPPORT**  
NOT TO SCALE



**DOUBLE GATE DETAIL**  
NOT TO SCALE

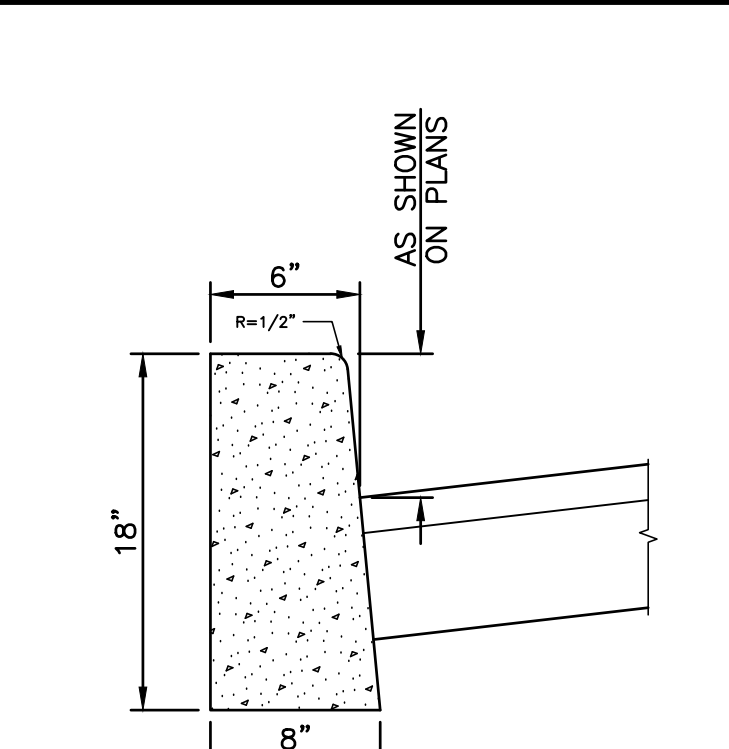
**CONSTRUCTION NOTES:**  
 1. ALL SIDEWALK AND DRIVEWAY APRON CONCRETE TO BE 4,500 PSI, AIR ENTRAINED.  
 2. PROVIDE PRE-MOLDED BITUMINOUS EXPANSION JOINT MATERIAL 1/2" THICK CONFORMING TO AASHTO M227, AT 20'-0" INTERVALS. PROVIDE HALF-DEEP CONTRACTION JOINTS AT 4' INTERVALS BETWEEN EXPANSION JOINTS.  
 3. THERE SHALL BE A BROOM FINISH WITH THE EDGES FINISHED WITH A SUITABLE TOOL.  
 4. REINFORCED CONCRETE TO BE USED AS NEEDED.

**CONCRETE SIDEWALK**  
N.T.S.



**R7-6**  
NO PARKING LOADING ZONE 'R7-6'

**NO PARKING LOADING ZONE 'R7-6'**  
NOT TO SCALE

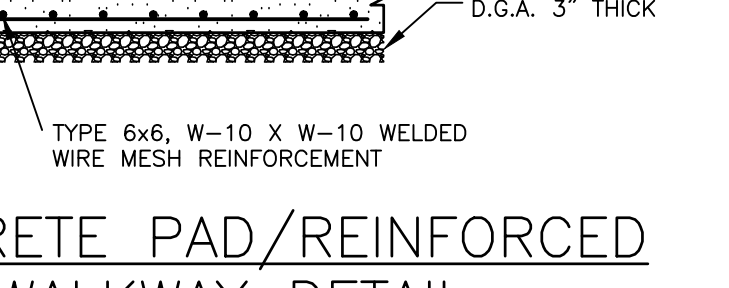


**6'x18" CONCRETE VERTICAL CURB**  
N.T.S.

**CONSTRUCTION NOTES:**  
 1. ALL CONCRETE SHALL BE 4500 P.S.I. AIR ENTRAINED.  
 2. PROVIDE PREFORMED BITUMINOUS FIBER EXPANSION JOINTS, 1/2" THICK AT 20'-0" (MAXIMUM) INTERVALS.  
 3. PROVIDE DUMMY JOINTS (FORMED) BETWEEN EXPANSION JOINTS.

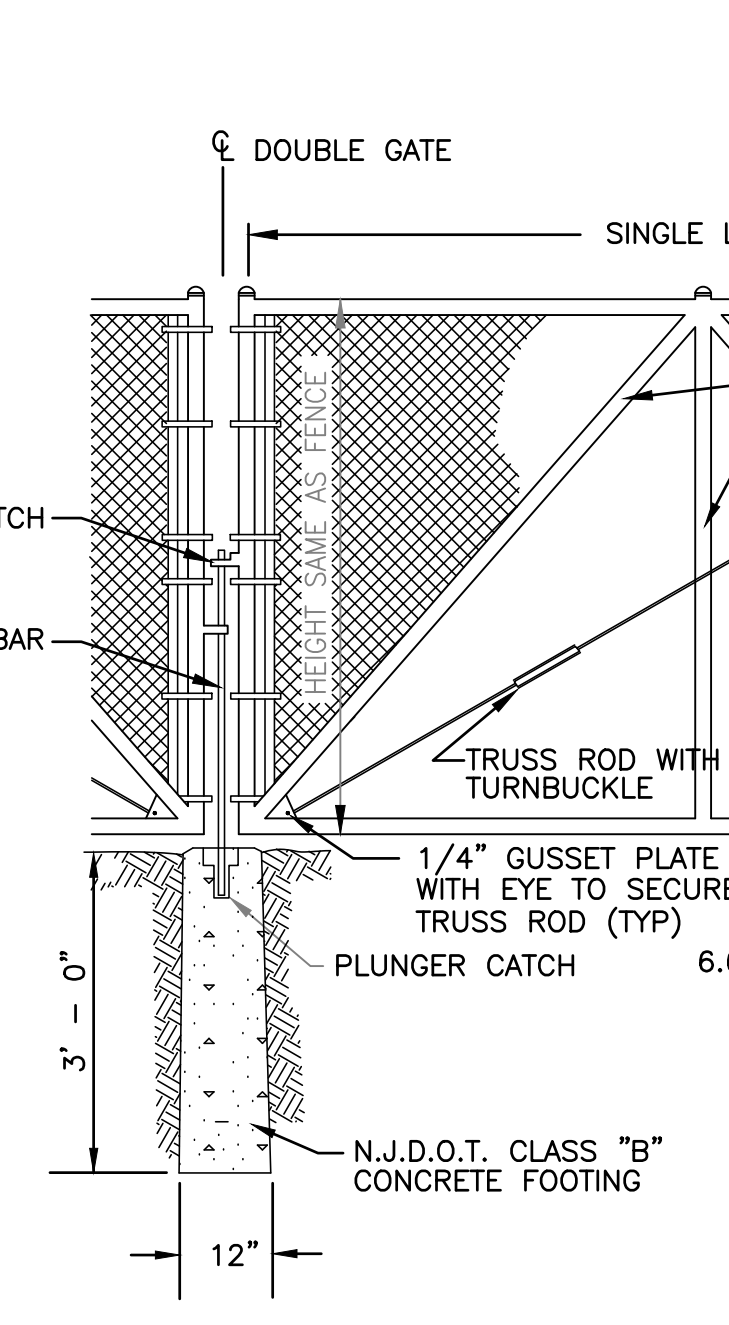


**CONCRETE PAD/REINFORCED WALKWAY DETAIL**  
NOT TO SCALE



**BIKE RACK DETAIL**  
NOT TO SCALE OR APPROVED EQUAL

**NOTES:**  
 1. BIKE RACK SHALL BE PAINTED BRONZE.



**TRENCH AND PAVEMENT REPAIR**  
SCALE: NOT TO SCALE

**CONDUIT BURIAL DETAIL**  
SCALE: NOT TO SCALE

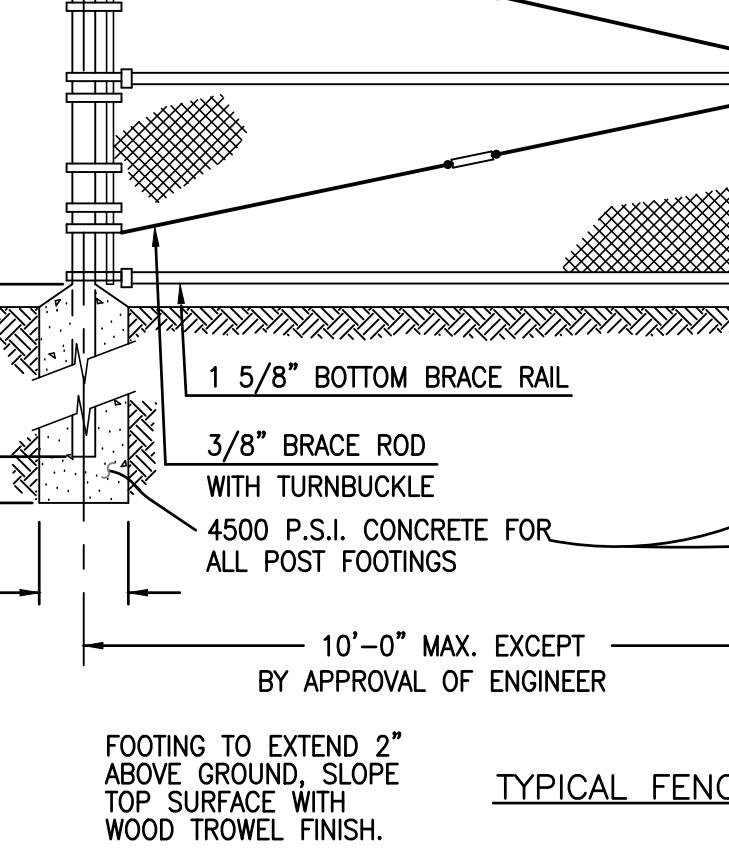


**CONDUIT BURIAL DETAIL**  
SCALE: NOT TO SCALE

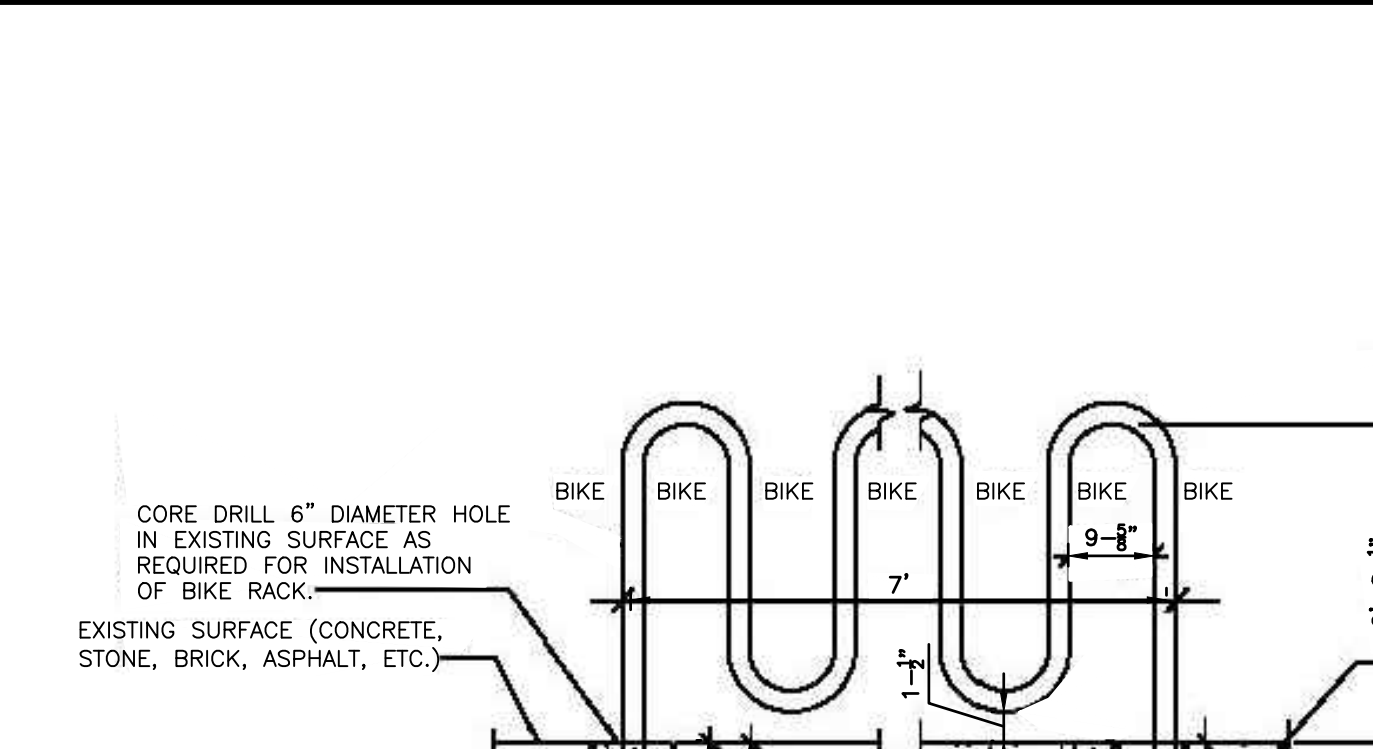
**DOUBLE GATE DETAIL**  
NOT TO SCALE

**NOTES:**  
 1. ALL POSTS & TUBING SIZES AND SPACING SUBJECT TO MODIFICATION TO MEET MANUFACTURER'S REQUIREMENTS.  
 2. FENCE TO BE LINED WITH BLACK VERTICAL PRIVACY SLATS.

**6' CHAIN LINK FENCE DETAILS**  
NOT TO SCALE



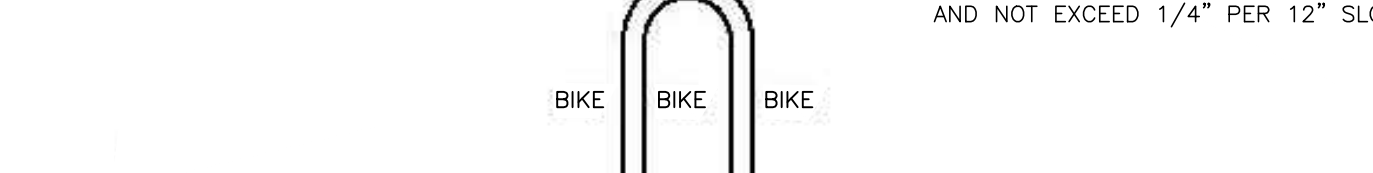
**TYPICAL FENCE CONSTRUCTION**  
NOT TO SCALE



**NEW CONCRETE PAD**  
TYPE 'A' MOUNTING



**NEW CONCRETE PAD**  
TYPE 'B' MOUNTING



**EXISTING SURFACE SURFACE MOUNT**  
TYPE 'C' MOUNTING

**NOTES:**  
 1. BIKE RACK SHALL BE PAINTED BRONZE.



**TRENCH AND PAVEMENT REPAIR**  
SCALE: NOT TO SCALE



**CONDUIT BURIAL DETAIL**  
SCALE: NOT TO SCALE

**CONSTRUCTION NOTES:**  
 1. CONCRETE TO BE NJDOT CLASS B (AIR ENTRAINED).  
 2. TRANSVERSE JOINTS 1/2" WIDE SHALL BE INSTALLED IN THE CURB 20'-0" APART AND SHALL BE FILLED WITH PREFORMED BITUMINOUS-IMPREGNATED FIBER JOINT FILLER, COMPLYING WITH THE REQUIREMENTS OF AASHTO M-213, RECESSED 1/4" FROM THEE FRONT FACE AND TOP OF THE CURB.  
 3. DUMMY JOINTS (FORMED) SHALL BE INSTALLED MIDWAY BETWEEN EXPANSION JOINTS.  
 4. THERE SHALL BE NO SEPARATE PAYMENT FOR SPECIAL CURB TREATMENT AT PUBLIC SIDEWALK CURB RAMPS. SEE PUBLIC SIDEWALK RAMP DETAILS.

**MOUNTABLE CONCRETE CURB**  
NOT TO SCALE



Carnegie Center - Building 105  
 Existing Lot 71, Block 9  
 Township of West Windsor, Mercer County, New Jersey

SANITARY DEMAND - EXISTING			
NIDEP Requirement	Demand (gal/5F)	Square Feet	Sanitary Demand
Office Building	0.1	69,648	6,965
<b>TOTAL SANITARY DEMAND (Gallons per Day)</b>			<b>6,965</b>

SANITARY DEMAND - PROPOSED			
NIDEP Requirement	Demand (gal/5F, gal/imp)	Square Feet, Employee	Sanitary Demand
Office Building	0.1	11,692	1,169
Factory/Warehouse	25.0	94	2,350
<b>TOTAL SANITARY DEMAND (Gallons per Day)</b>			<b>3,519</b>

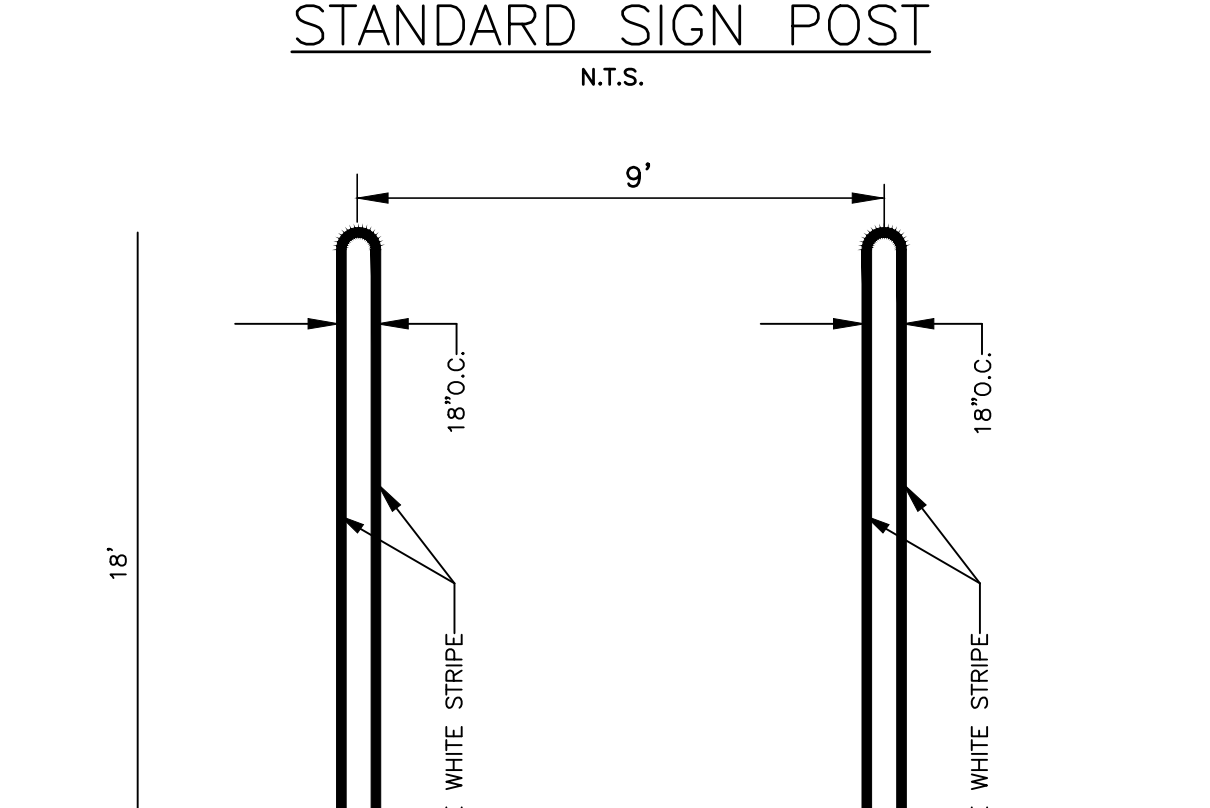
  

NET CHANGE			
Existing Demand (GPD)	Proposed Demand (GPD)	Change in Demand	GPD
6,965	3,519	-3,446	GPD

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 DATE: 03/10/2023 10:43AM  
 LAST SAVE BY: R.Bojarski

**GENERAL NOTES:**  
 1. FOR REGULATORY SIGNS, ALL COLORS, MATERIALS AND METHODS OF CONSTRUCTION SHALL BE IN ACCORDANCE WITH THE "MANUAL OF UNIFORM TRAFFIC CONTROL DEVICES".  
 2. ALL SIGN SYMBOLS AND LETTERING TO BE REFLECTIVE.

**STANDARD SIGN POST**  
N.T.S.



**HAIR PIN PARKING STRIPE**  
NOT TO SCALE

NO.	DATE	REVISED PER	TRC COMMENTS	T.J.L.	MRT	CHD
1	03/29/23					

**MICHAEL R. THOMAS, P.E.**  
DEPARTMENT MANAGER

*MRT* 03/29/2023  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE NO. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 03, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY

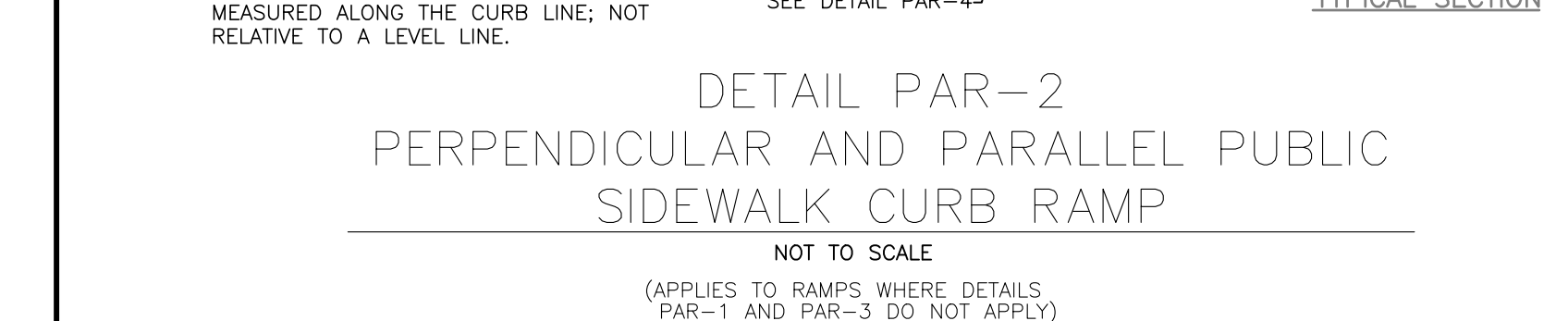
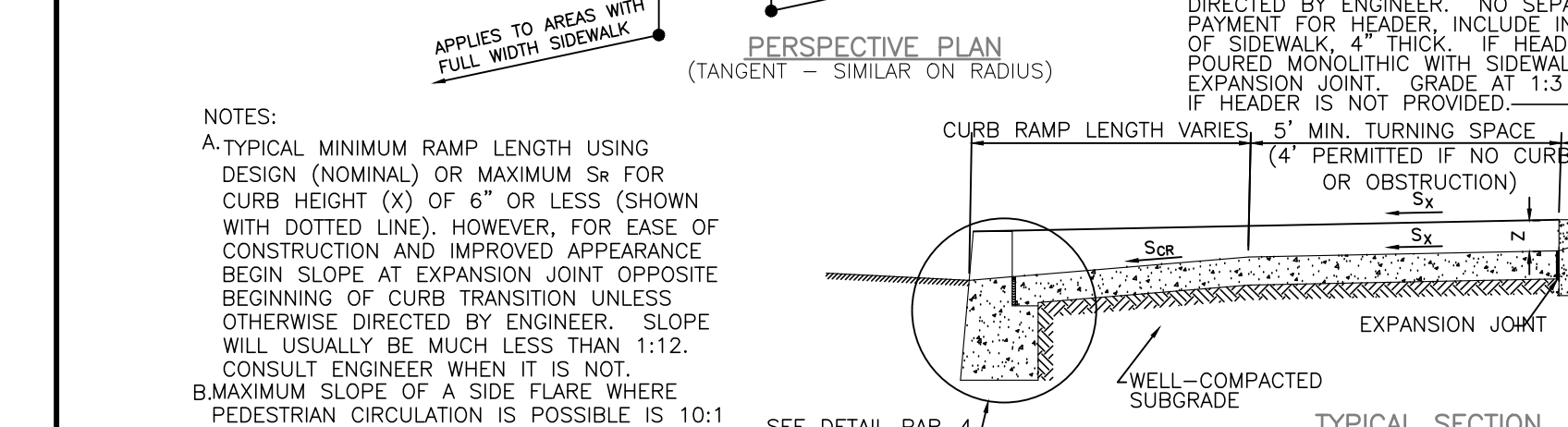
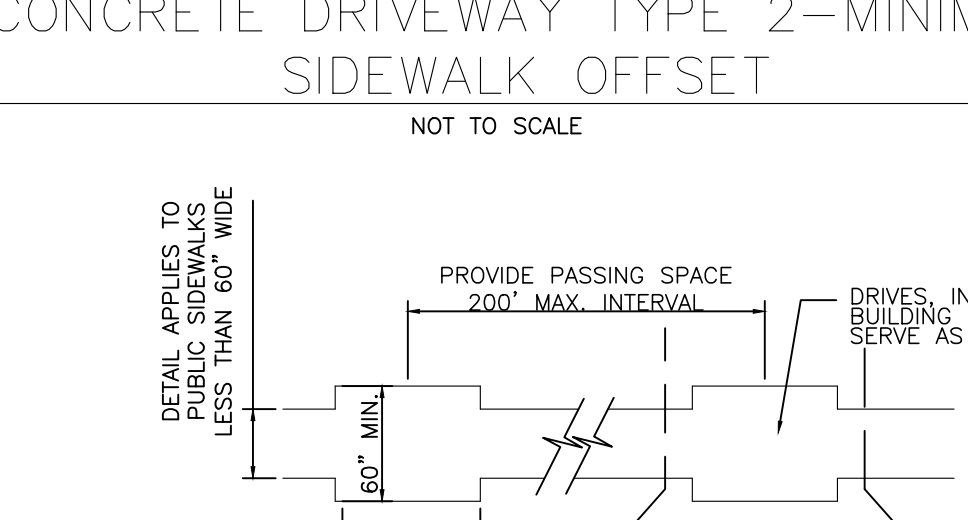
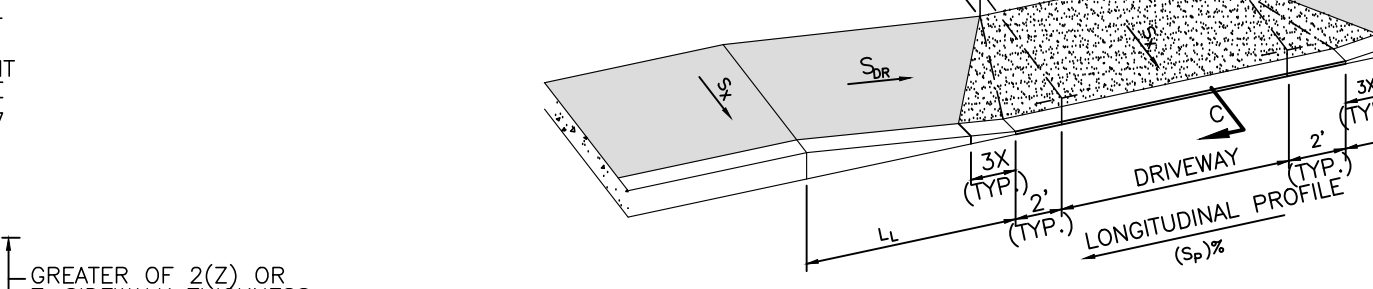
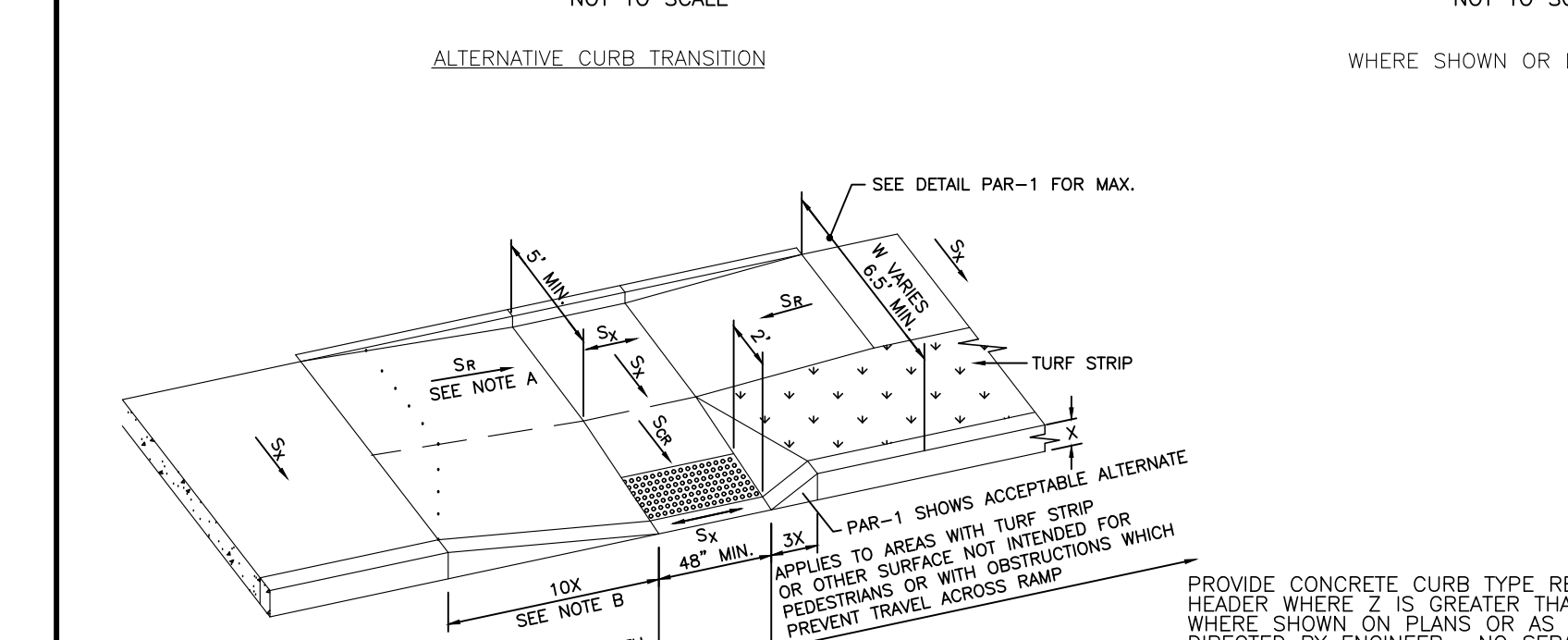
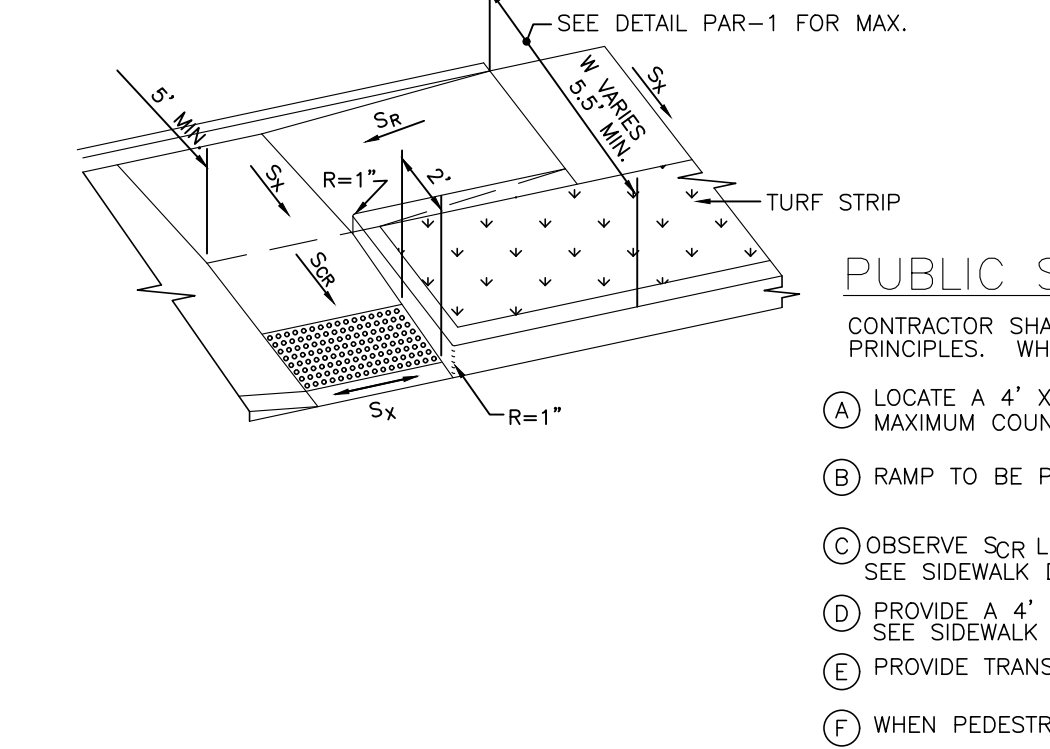
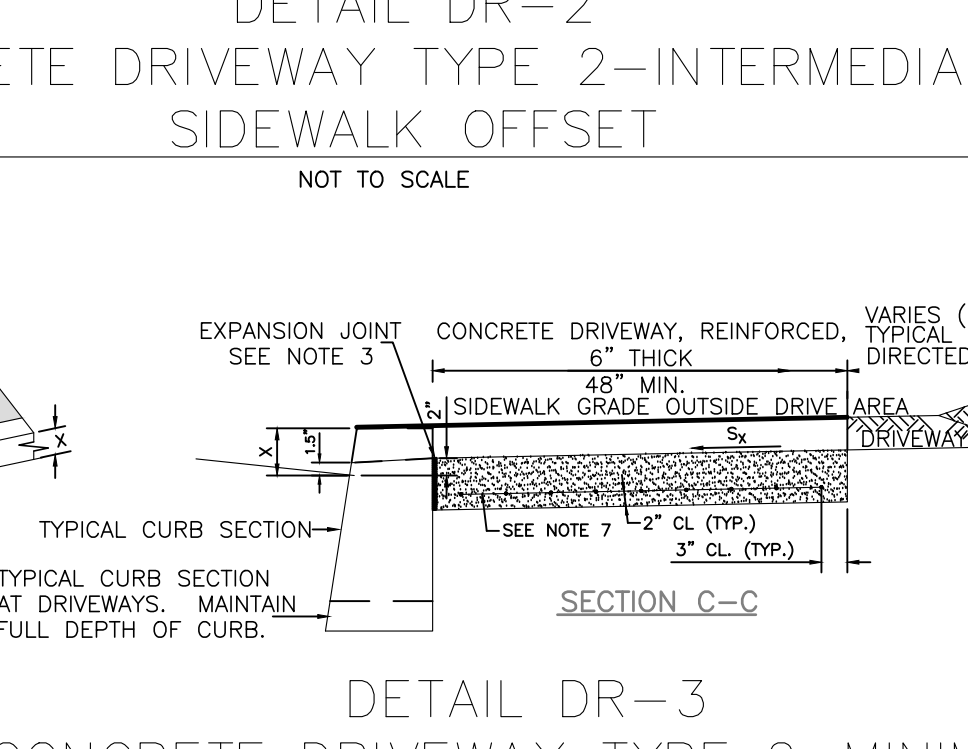
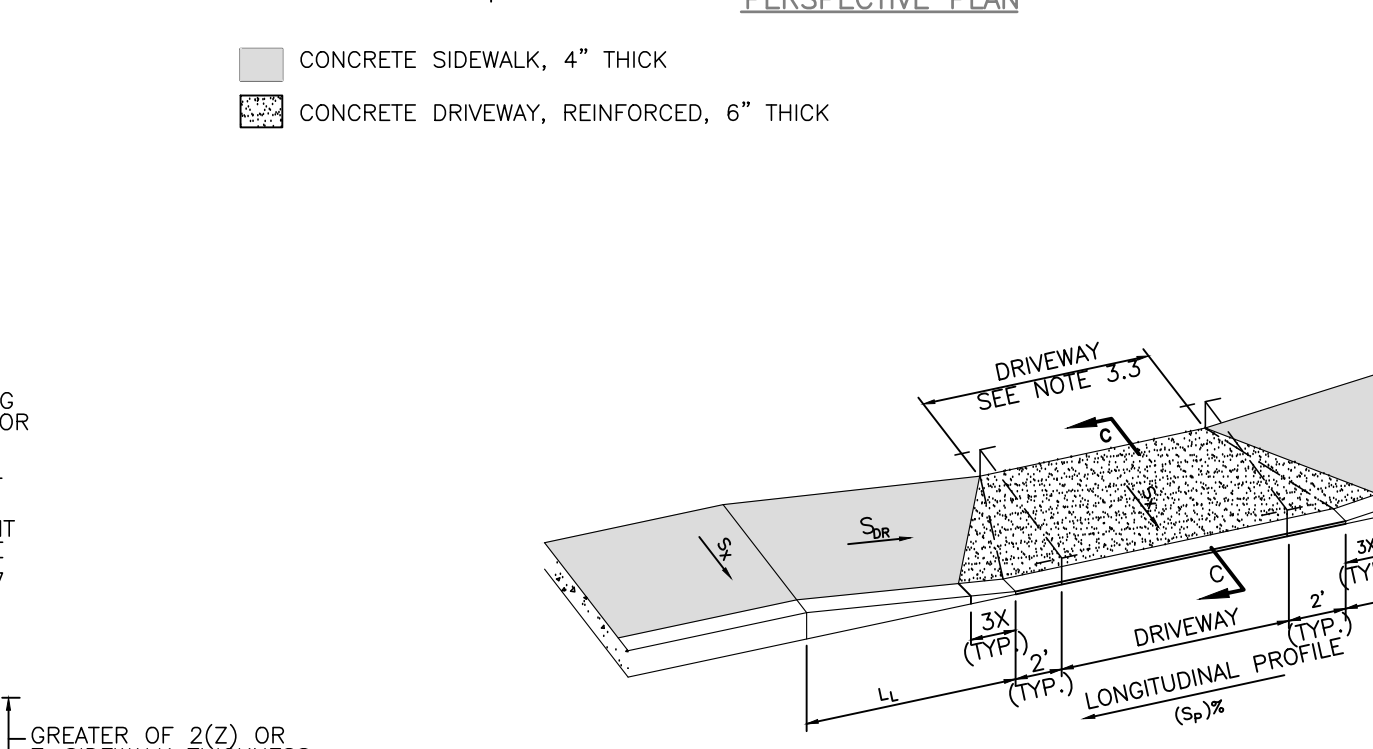
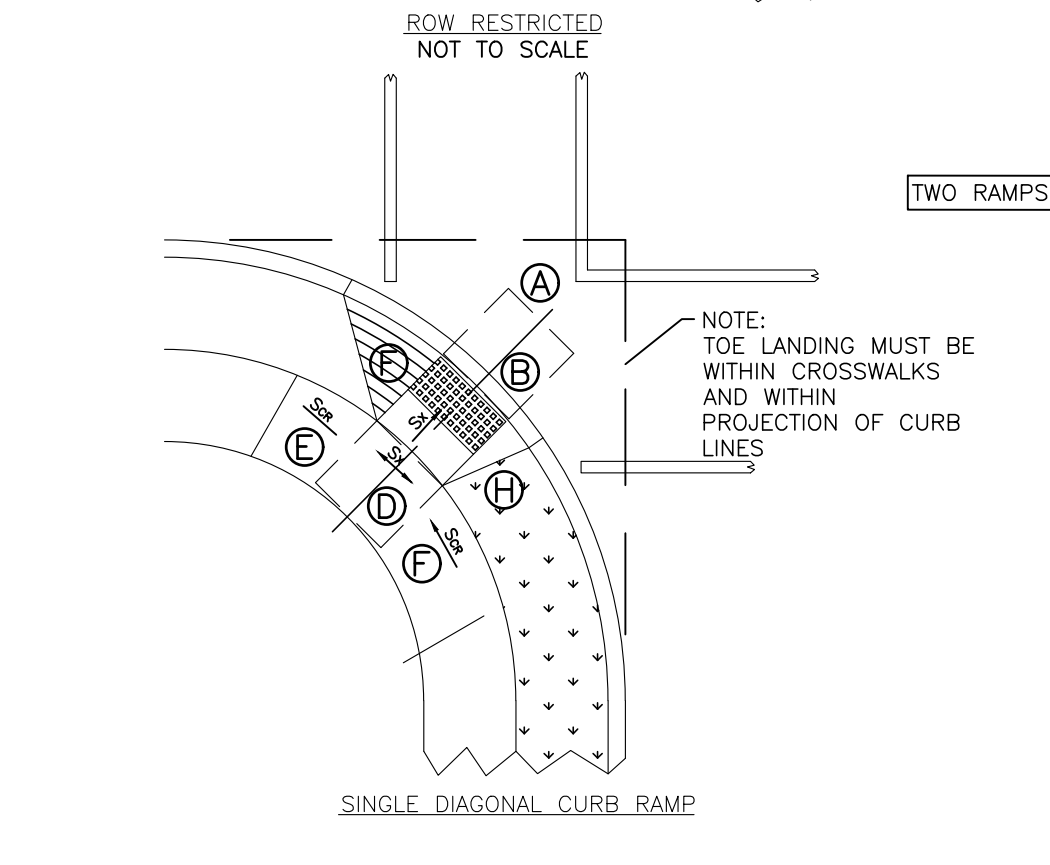
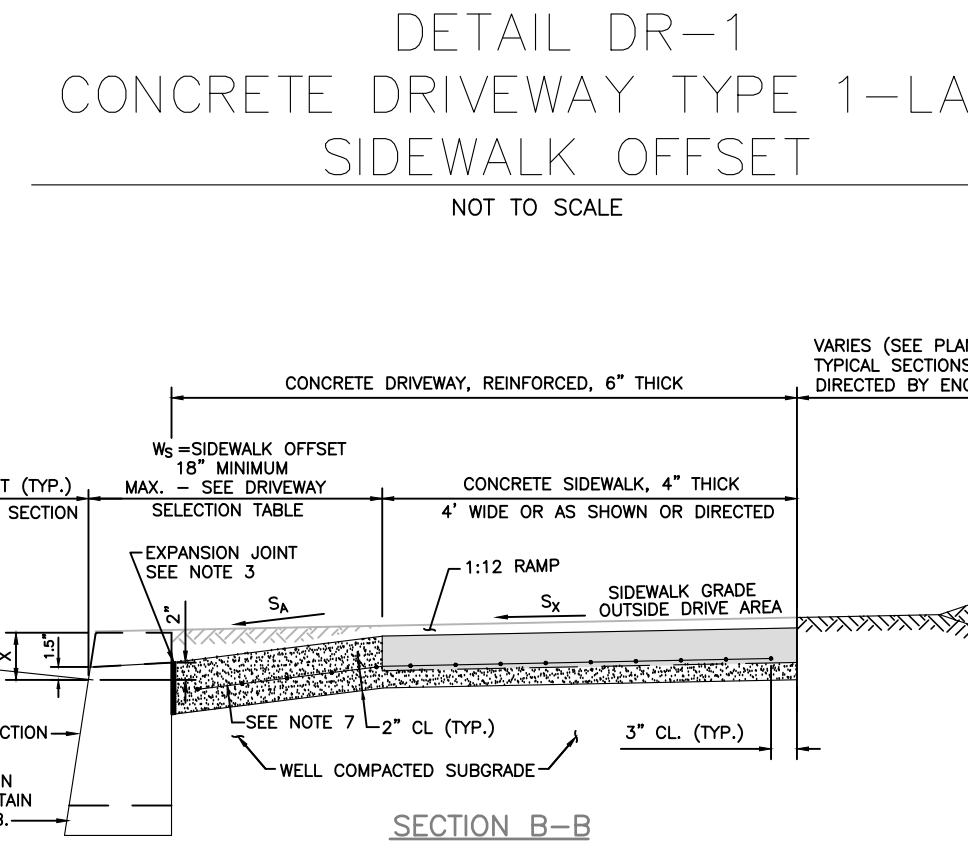
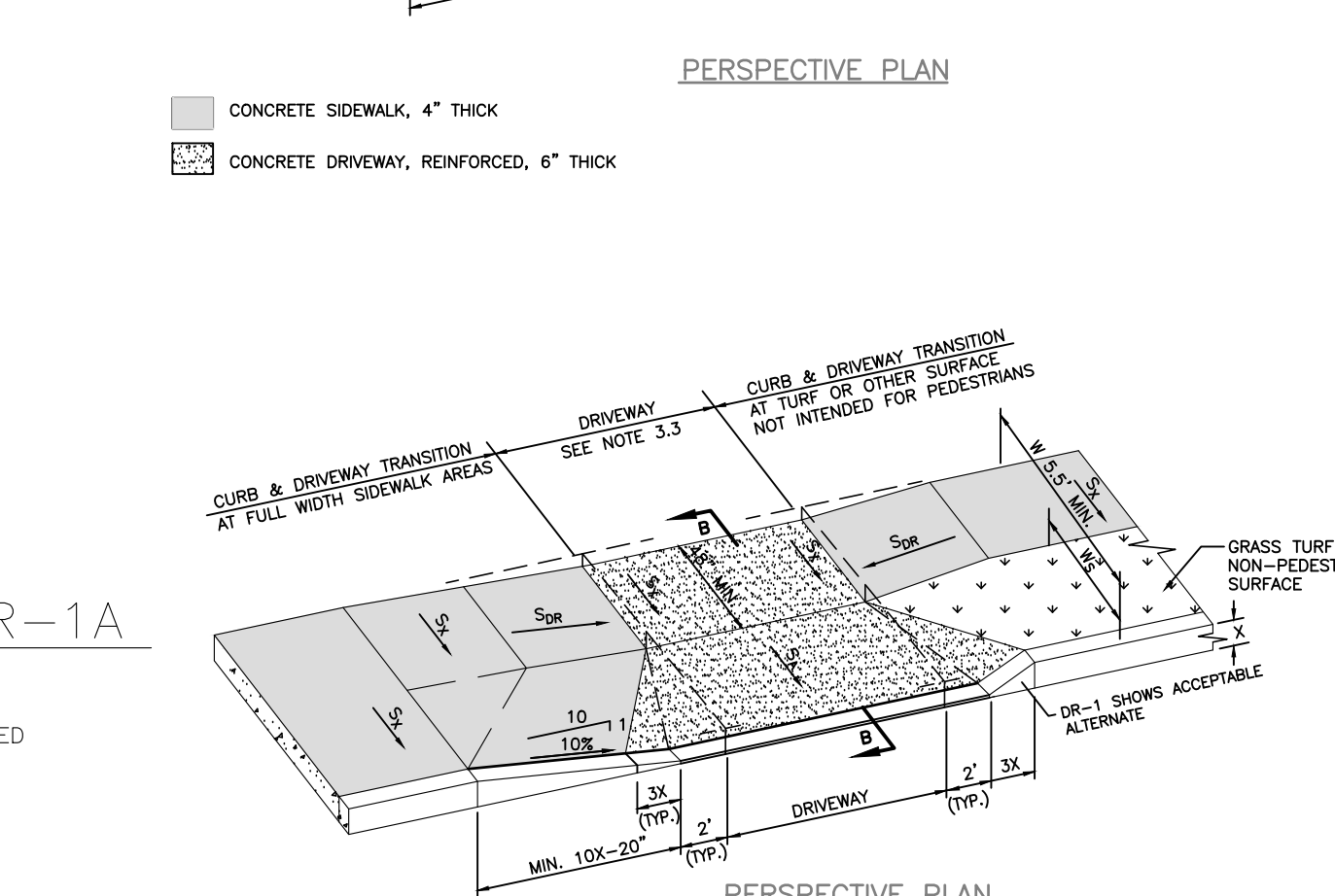
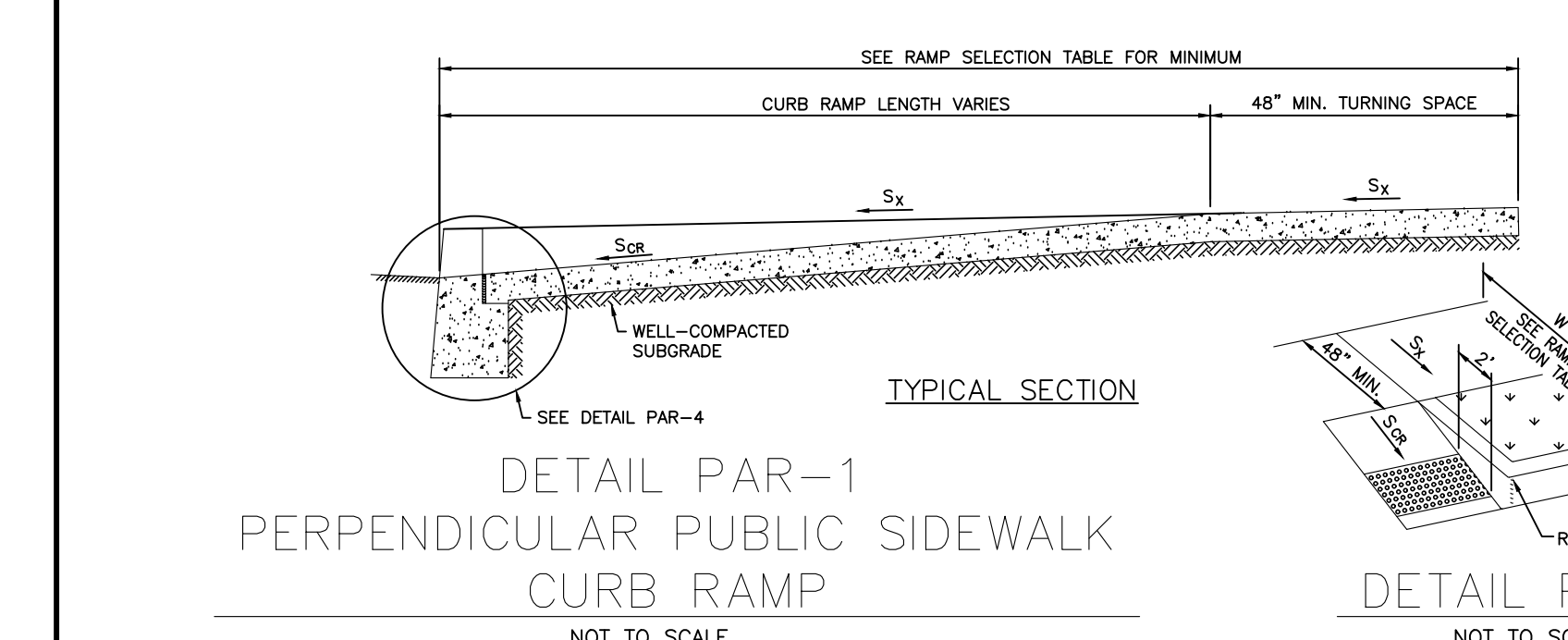
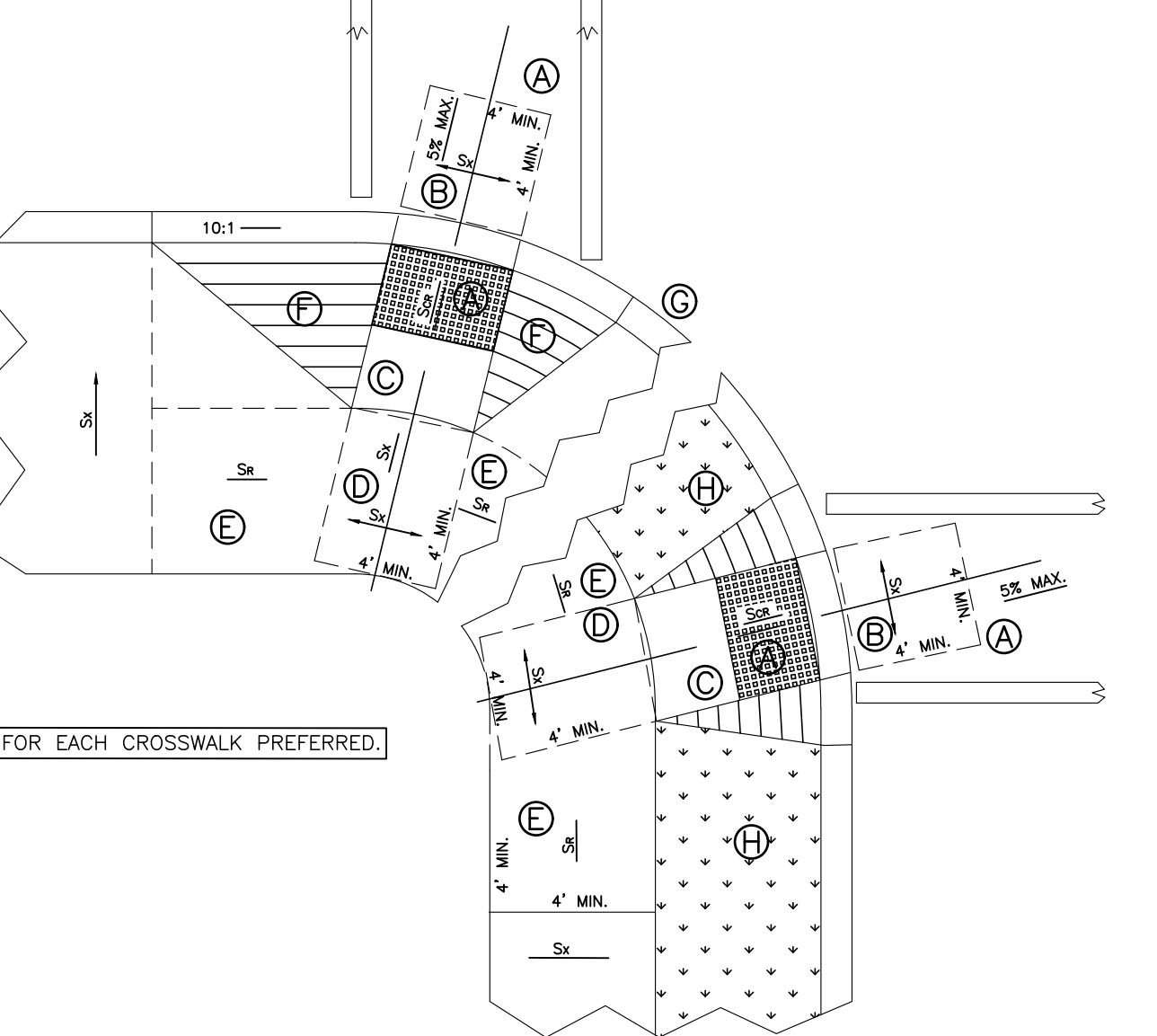
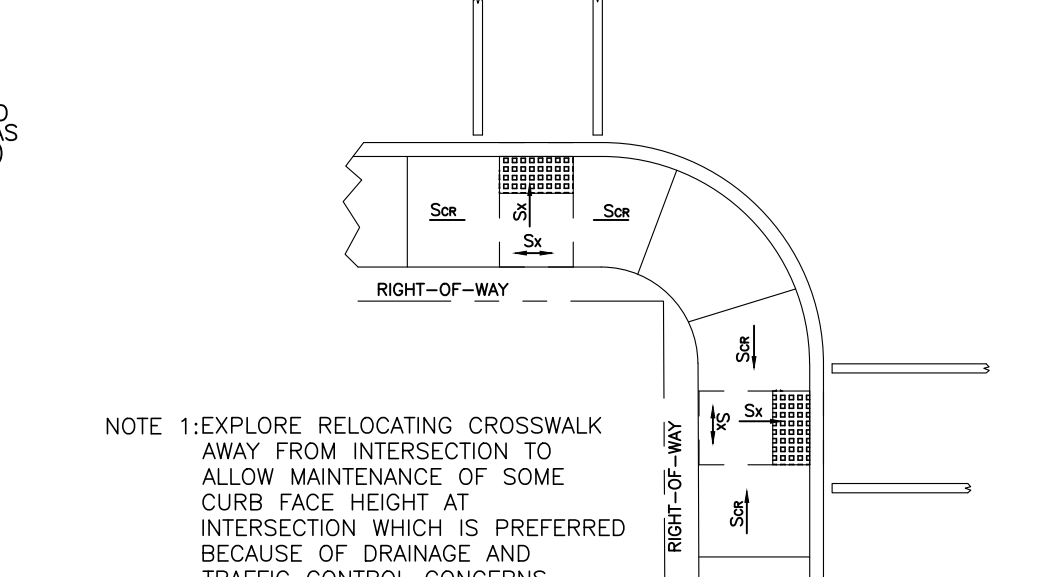
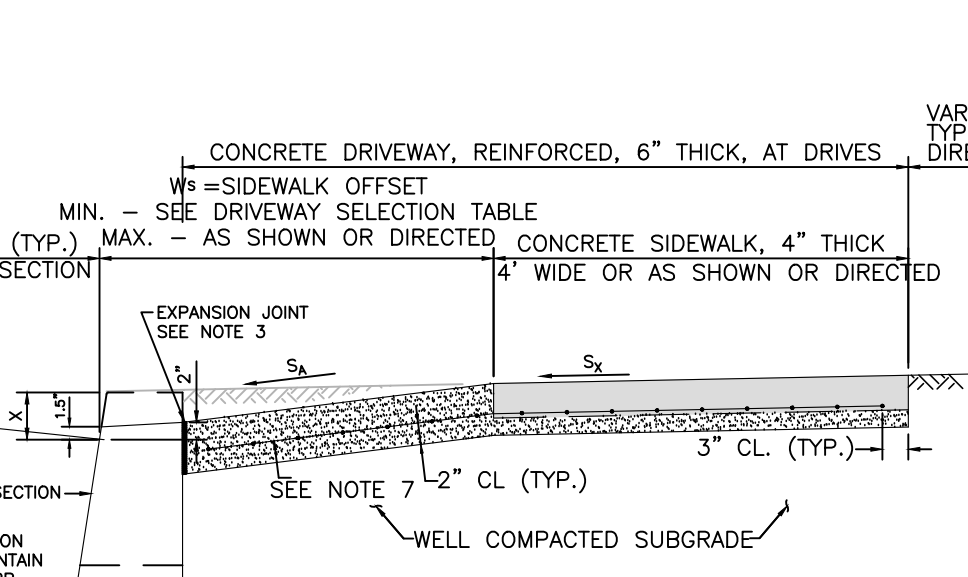
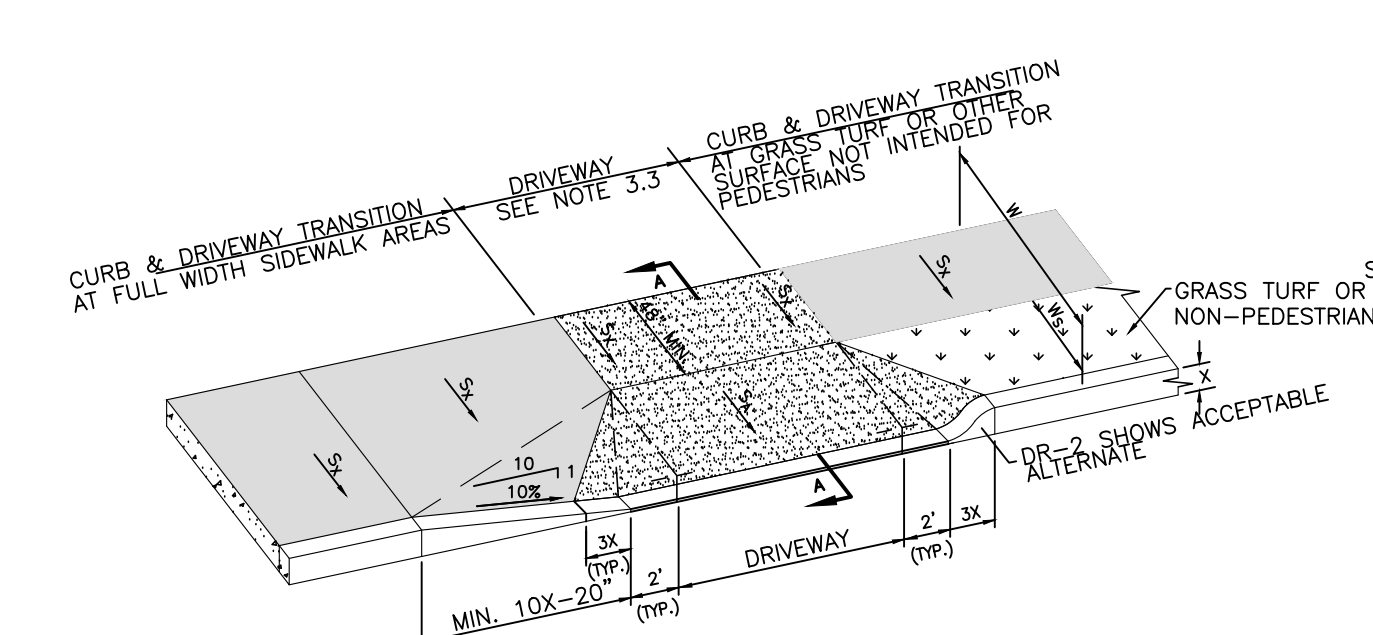
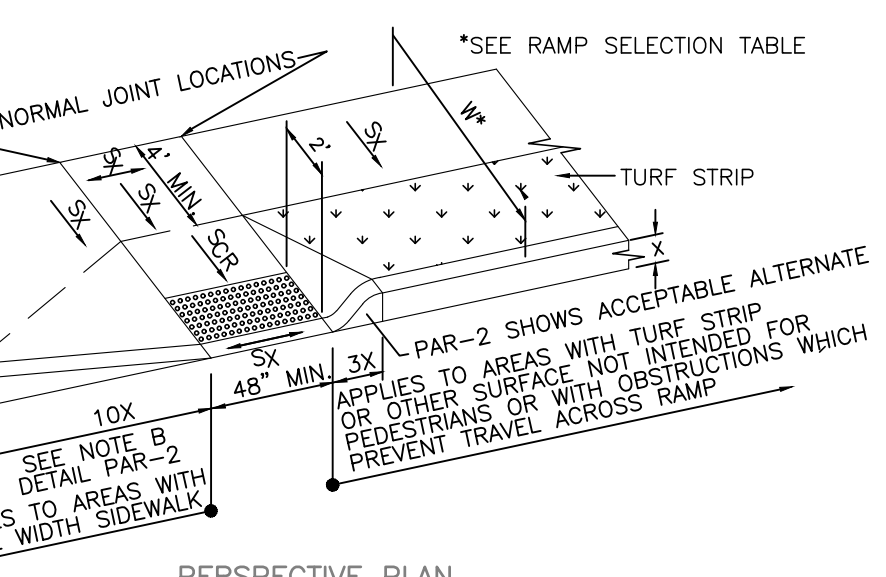


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 CERTIFICATE OF AUTHORIZATION REG-00000000

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 MASSACHUSETTS, MICHIGAN, NEW JERSEY,  
 OHIO AND PENNSYLVANIA

DESIGNED BY	T.J.L.	DRAWING	
CHECKED BY	MRT	<b>CSD-1</b>	
DRAWN BY	RPD	SHEET	
DATE	03/10/2023		
SCALE	AS SHOWN		
PROJ. NO.	CARN00719	OF	16



- PUBLIC SIDEWALK CURB RAMPS LAYOUT PRINCIPLES
CONTRACTOR SHALL CONSTRUCT ALL PUBLIC SIDEWALK CURB RAMPS IN ACCORDANCE WITH THESE PRINCIPLES. WHEN CONDITIONS DO NOT PERMIT COMPLIANCE, CONSULT ENGINEER.
A) LOCATE A 4' x 4' CLEAR SPACE WITHIN CROSSWALK AT TOE OF RAMP CROSS SLOPE 5:100 (2%); MAXIMUM COUNTERSLOPE SCR AT TOE OF RAMP 1:20 (5%) MAXIMUM.
B) RAMP TO BE PERPENDICULAR (RADIAL) TO CURB LINE (OR ROADWAY EDGE), NO LIP AT STREET - CURB TOP TO SLOPE WITH RAMP.
C) OBSERVE SCR LIMITS: 1:50 (2%) MINIMUM, (8:3%) MAXIMUM IN NEW CONSTRUCTION. OBSERVE SCR LIMITS 1:90 (1.1%) MAXIMUM IN EXISTING CONSTRUCTION. PROVIDE DETECTABLE WARNING SURFACE.
D) PROVIDE 4' x 4' TURNING SPACE AT TOP OF RAMP. OBSERVE SCR LIMITS 1:50 (2%) MAXIMUM IN ANY DIRECTION. SEE SIDEWALK DESIGN SLOPE AND TOLERANCES TABLE.
E) PROVIDE TRANSITION RAMPS AS REQUIRED. OBSERVE SCR LIMITS. SEE SIDEWALK DESIGN SLOPE AND TOLERANCES TABLE.
F) WHEN PEDESTRIAN TRAVEL ACROSS RAMP IS POSSIBLE, PROVIDE 10:1 MAXIMUM TRANSITION AT CURB LINE (OR ROADWAY EDGE).
G) PROVIDE CURB FACE ON RADIUS AT INTERSECTION TO THE EXTENT POSSIBLE IN PREFERENCE TO DEPRESSING ENTIRE RADIUS.
H) WHEN PEDESTRIAN TRAVEL ACROSS RAMP IS OBSTRUCTED BY TURF OR OTHER ELEMENTS, PROVIDE 18' LONG CURB TRANSITION. SEE DETAIL PAR-2.

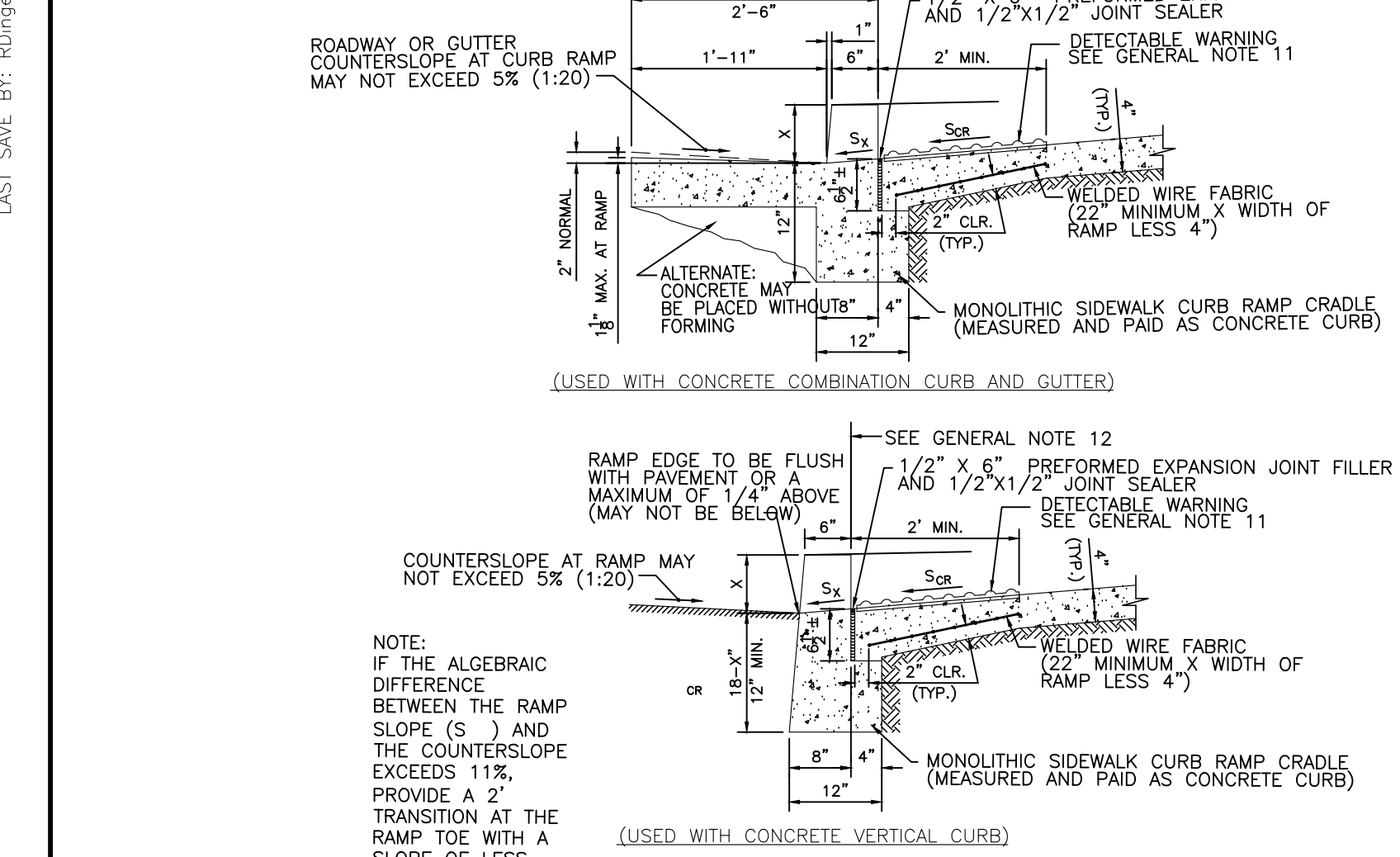
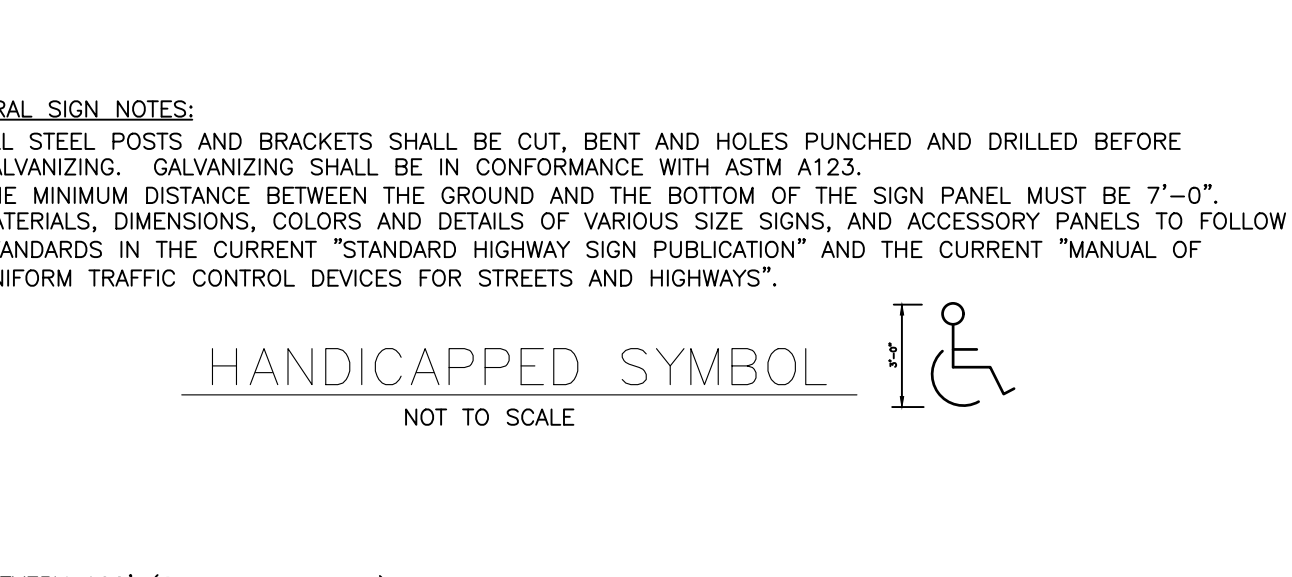
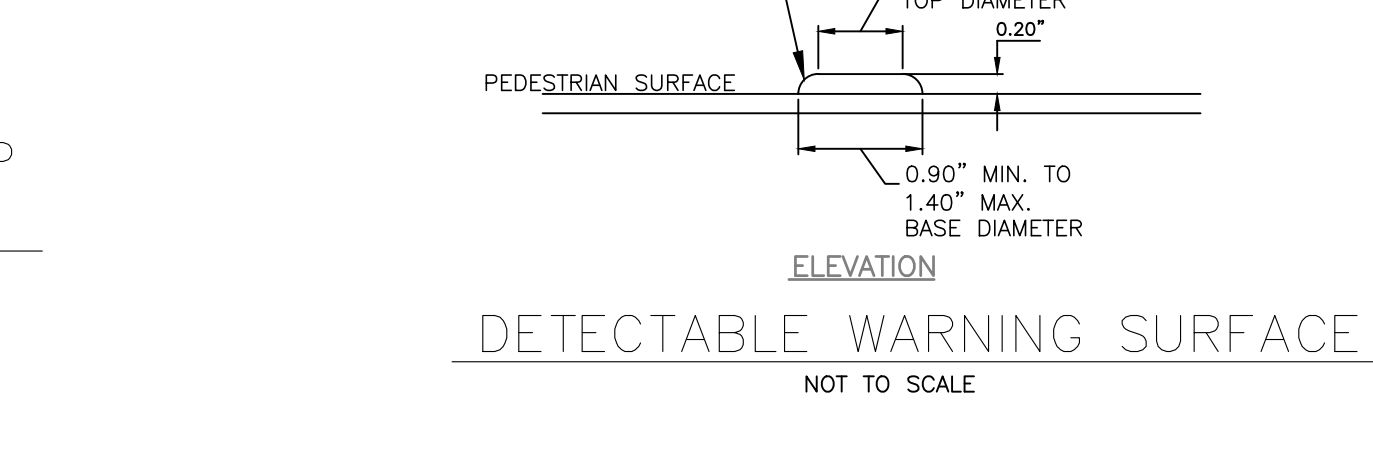
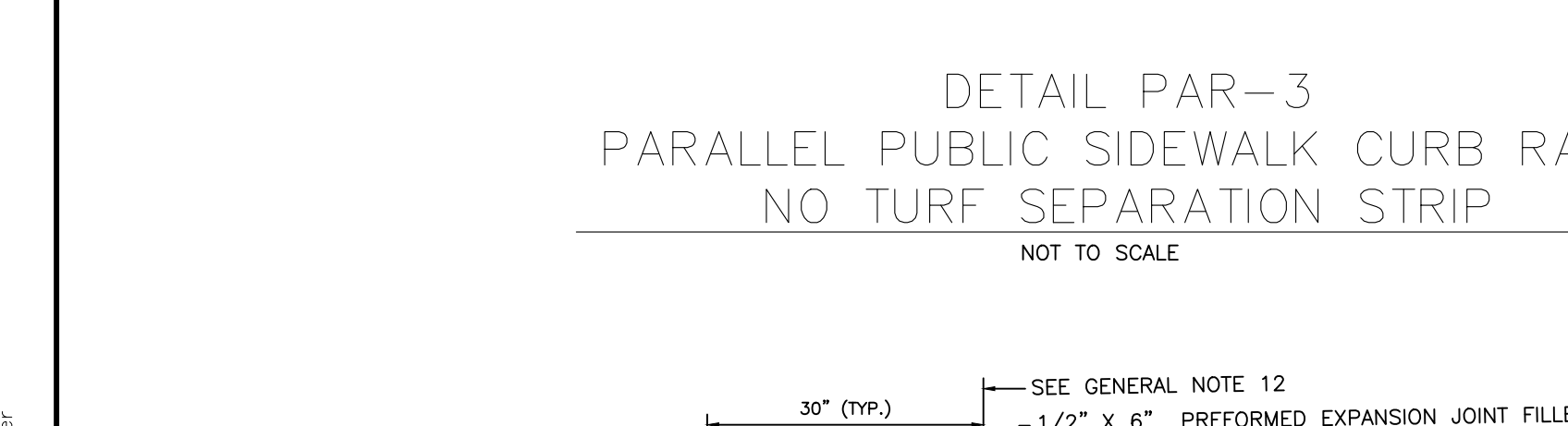
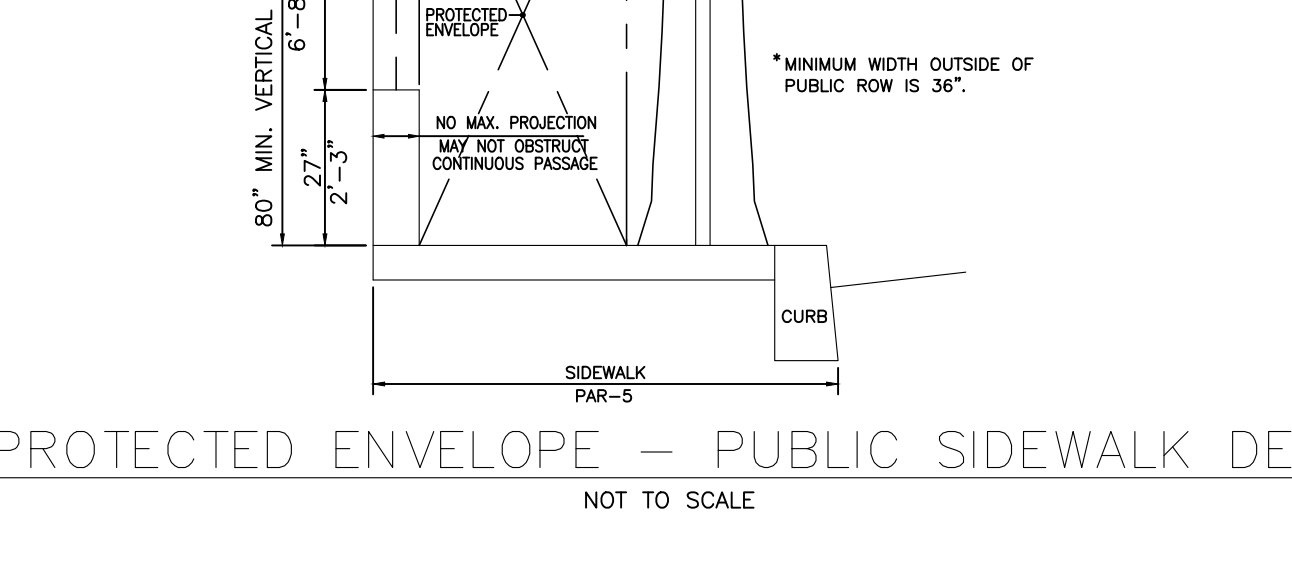
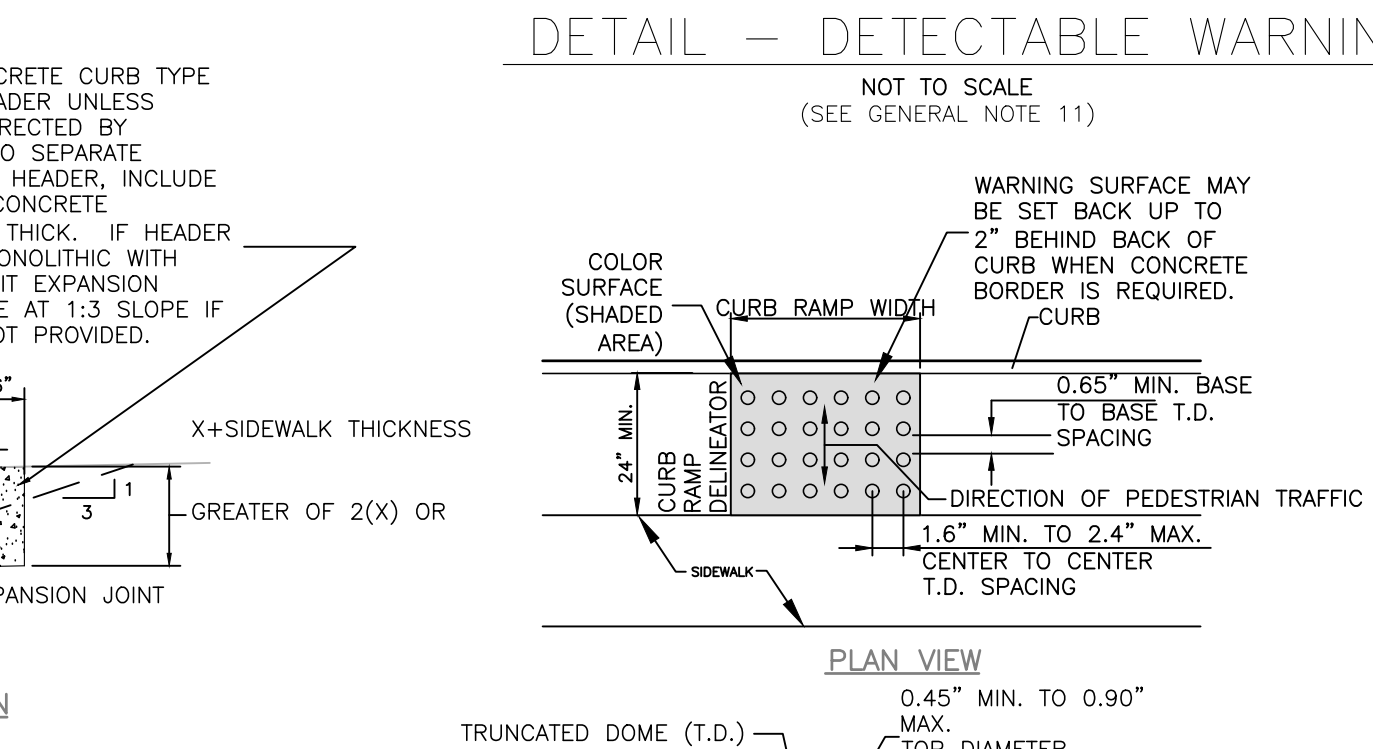
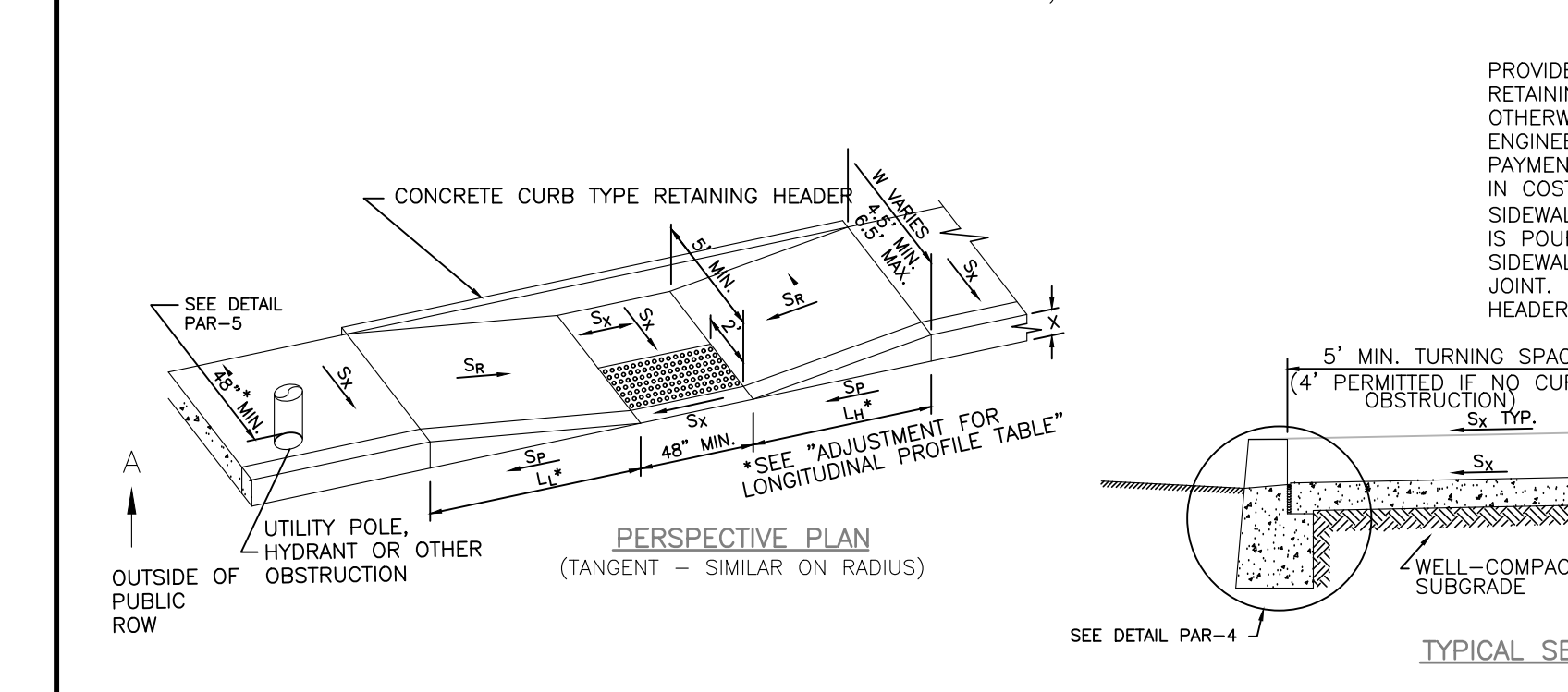
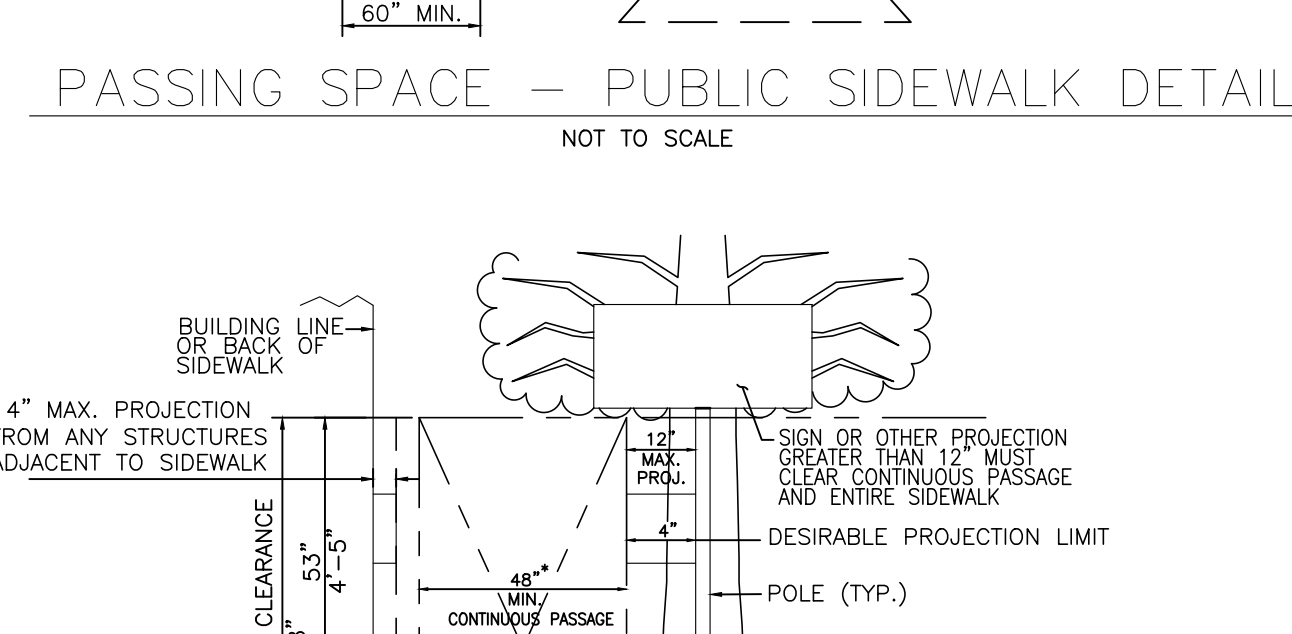
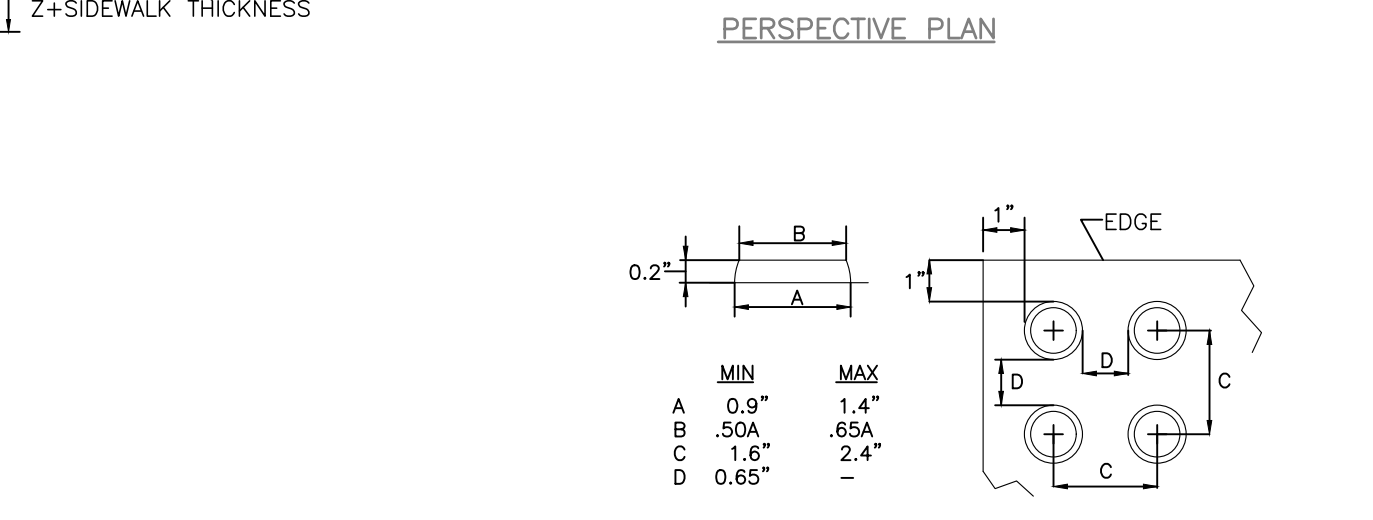


Table with columns for SLOPE (e.g., 1:20, 1:40, 1:60) and VAN ACCESSIBLE PARKING SPACE (e.g., 16' x 8', 16' x 12'). Includes notes on accessible spaces and ramp requirements.

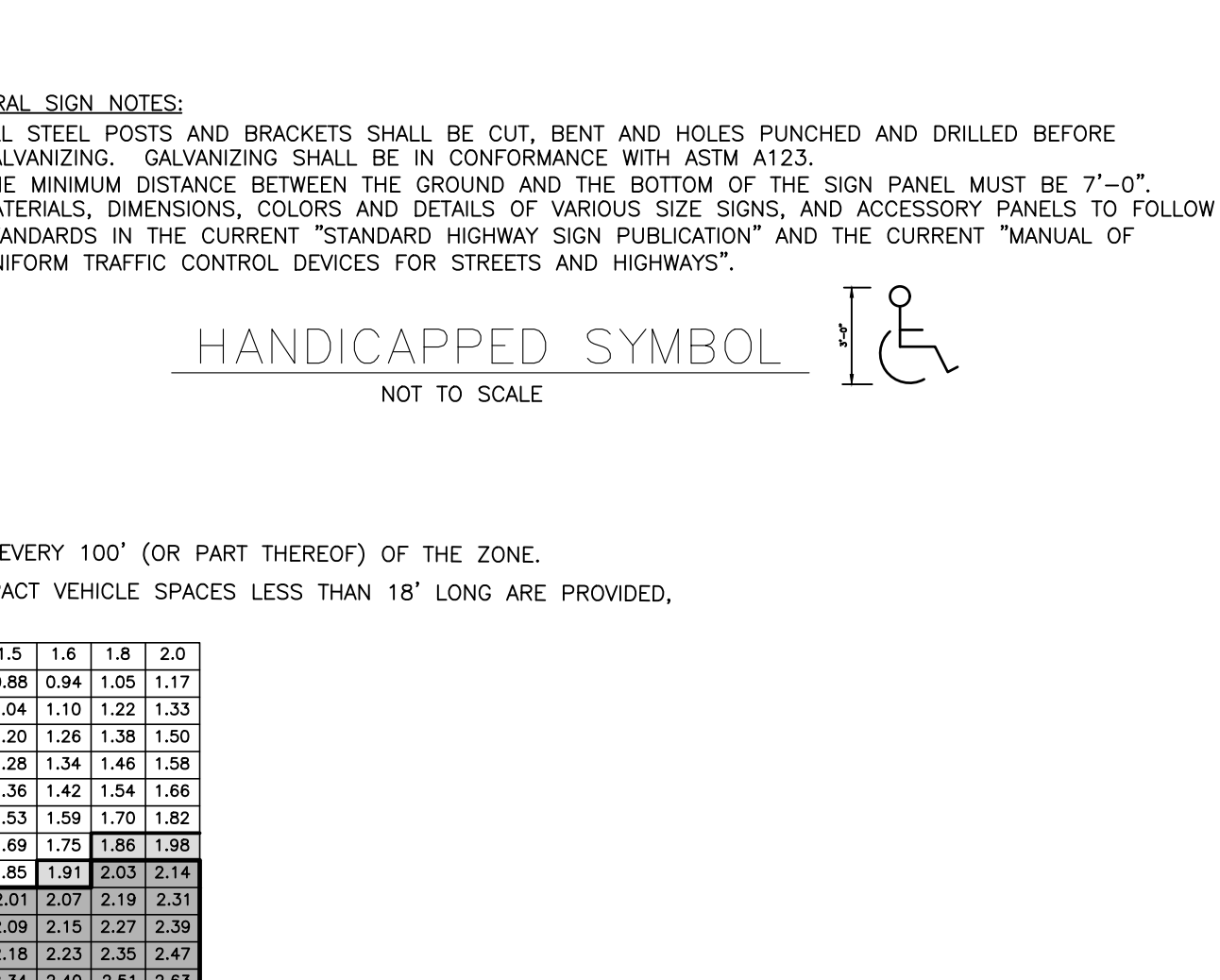


Table with columns for SLOPE (e.g., 1:20, 1:40, 1:60) and VAN ACCESSIBLE PARKING SPACE (e.g., 16' x 8', 16' x 12'). Includes notes on accessible spaces and ramp requirements.



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MICHAEL R. THOMAS, P.E. DEPARTMENT MANAGER. State of NJ License No. GE48086. Includes date 03/29/23 and revision information.

BOSTON PROPERTIES, L.P. MINOR SITE PLAN CARNegie CENTER - BUILDING 105. CONSTRUCTION DETAILS. State of NJ License No. GE48086.

AND YOUR GOALS. OUR MISSION. 11 TRINIDAD ROAD MIDDLETOWN, NJ 07748 TEL: 732-671-6400 FAX: 732-671-7365. OFFICES LOCATED IN CALIFORNIA, INDIANA, KENTUCKY, MASSACHUSETTS, MICHIGAN, NEW JERSEY, OHIO AND PENNSYLVANIA.





**Description:**  
 This gas cylinder cage holds up to 20 cylinders (9" diameter) in vertical position (12 and 8 per compartment). The tank cabinet features steel galvanized screen that is coated with hi-build electrostatic powder coating. The top and back is made from solid galvanized steel panels. The door includes tamper resistant stainless steel hinges and has a heavy duty lock receiver (lock is not included). There is "Flammable Gas - No Smoking" signage on the front of the cabinet. Meets OSHA and NFPA requirements for cylinder storage. There are four 1/2" pre-drilled holes in the 3/16" thick bright aluminum diamond plate floor of each compartment available for anchoring. Ships assembled. This product is made in the USA. Optional safety chain set available for purchase separately. Cabinet dimensions (WxDxH): External: 76" x 29" x 82"  
 MPN: HP20322SA

**Get more information:**  
 Call 1-877-805-8650 (M-F, 9-5 p.m. CST) if you have questions about this product.

**PREFABRICATED GAS STORAGE ENCLOSURE**

NOT TO SCALE  
**NOTE:** CONTRACTOR TO USE SAFETY (877-805-8650) PRE-FABRICATED OUTDOOR STEEL & MESH GAS 20-CYLINDER CAGE OR APPROVED EQUAL  
 HAZARDOUS GAS STORAGE ANTICIPATED INCLUDES: ARSINE, PHOSPHINE, HELIUM, SILANE, OXYGEN, HYDROGEN ARGON, NITROGEN, CARBON DIOXIDE, AMMONIA, HEXAFLUOROETHANE, METHANE, CHLORINE, SILICON TETRACHLORIDE, BORON TRICHLORIDE, TRIFLUORO METHANE.



**FILLING STATION**

NOT TO SCALE  
**NOTE:** MESSER FILLING (OR APPROVED EQUAL) MAXIMUM HEIGHT NOT TO EXCEED 16 FEET. CHAIN LINK FENCE SHOWN HEREIN WILL BE REPLACED WITH PROPOSED FENCE ENCLOSURE DETAIL NOTED ABOVE. BARBED WIRE FENCE IS PROHIBITED.



**HYDROGEN GAS STORAGE TANK**

NOT TO SCALE  
**NOTE:** MESSER HYDROGEN STORAGE TANK (OR APPROVED EQUAL) MAXIMUM HEIGHT NOT TO EXCEED 6 FEET. CHAIN LINK FENCE SHOWN HEREIN WILL BE REPLACED WITH PROPOSED FENCE ENCLOSURE DETAIL NOTED ABOVE. BARBED WIRE FENCE IS PROHIBITED.



**ACCESSORY 6' BOARD ON BOARD FENCE ENCLOSURE**

NOT TO SCALE  
**NOTE:** CONTRACTOR TO UTILIZE ASHEVILLE FENCE (828-665-8900) FOR BROWN ACCESSORY STRUCTURE ENCLOSURE(S) OR APPROVED EQUAL.



**NITROGEN GAS STORAGE TANK**

NOT TO SCALE  
**NOTE:** MESSER NITROGEN STORAGE TANK (OR APPROVED EQUAL) MAXIMUM HEIGHT NOT TO EXCEED 25 FEET. CHAIN LINK FENCE SHOWN HEREIN WILL BE REPLACED WITH PROPOSED FENCE ENCLOSURE DETAIL NOTED ABOVE. BARBED WIRE FENCE IS PROHIBITED.

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 LAST SAVE BY: Ringer

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NO.	DATE	REVISED PER WWT TRC COMMENTS	T.J.L. BY	MRT	CHD
1	03/29/23				

**MICHAEL R. THOMAS, P.E.**  
 DEPARTMENT MANAGER

*WTR* 03/29/2023  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE No. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 03, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY  
 CONSTRUCTION DETAILS



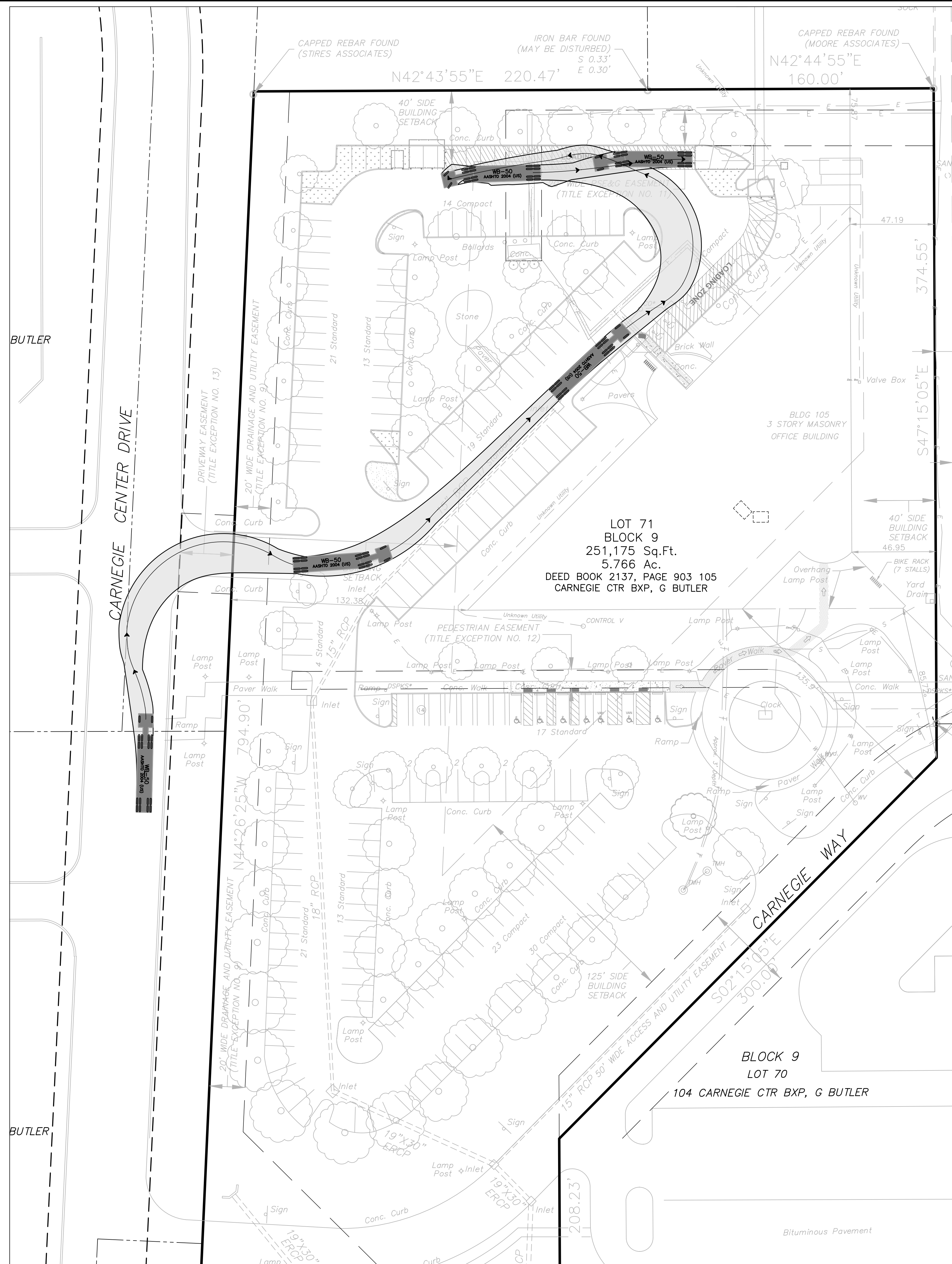
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 MIDDLETOWN, NJ 07748  
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 FAX 732-671-7365

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS  
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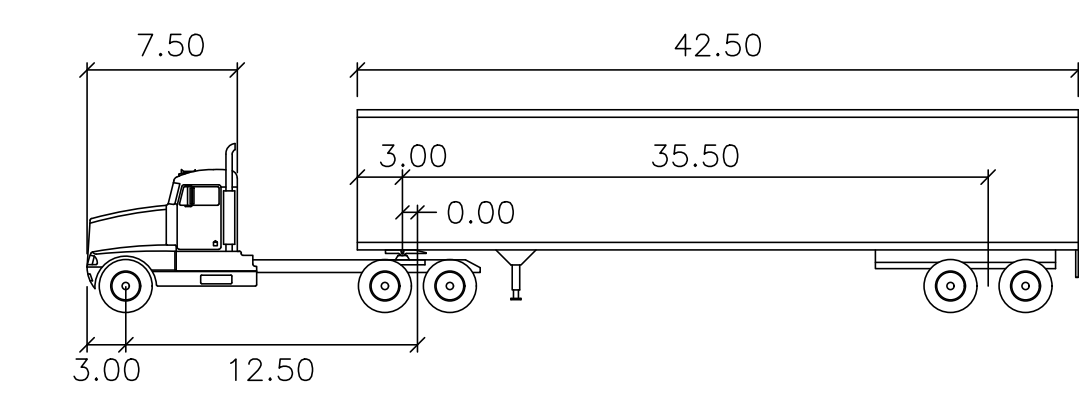
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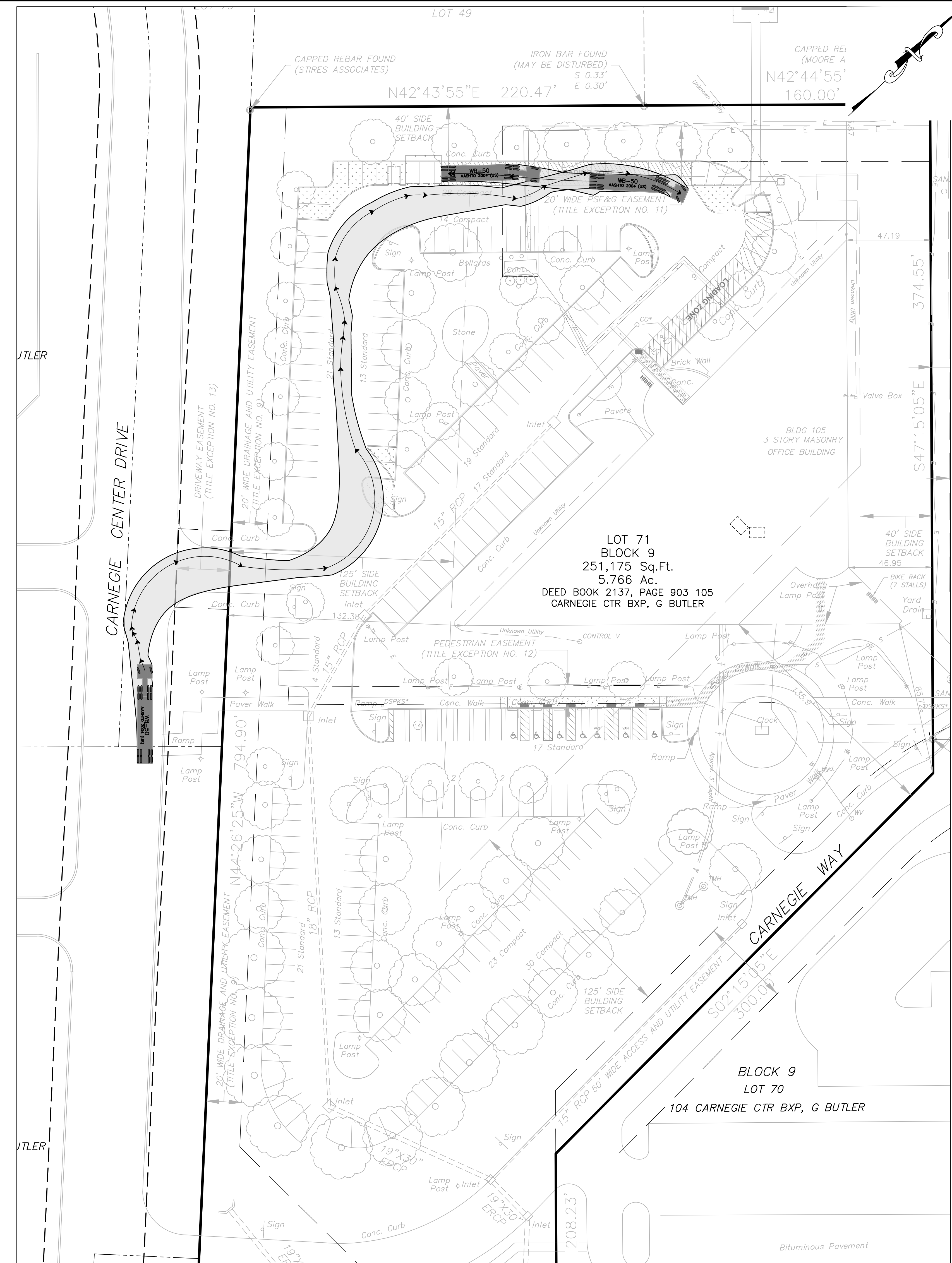
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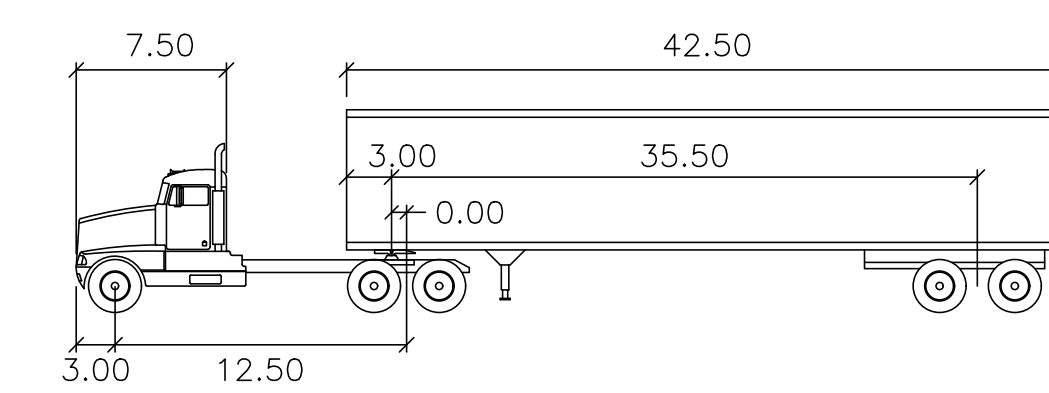
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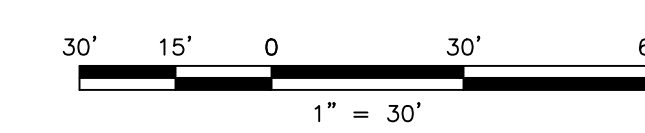
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feet			
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Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



**WB-50 TRUCK EXHIBIT**



WB-50			
feet			
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



NO.	DATE	REVISED PER WWT TRC COMMENTS	TJL	MRT	BY	CHKD
1	03/29/23					

**MICHAEL R. THOMAS, P.E.**  
 DEPARTMENT MANAGER

**WTR**  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE NO. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 02, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY

TRUCK TURNING PLAN - WB-50



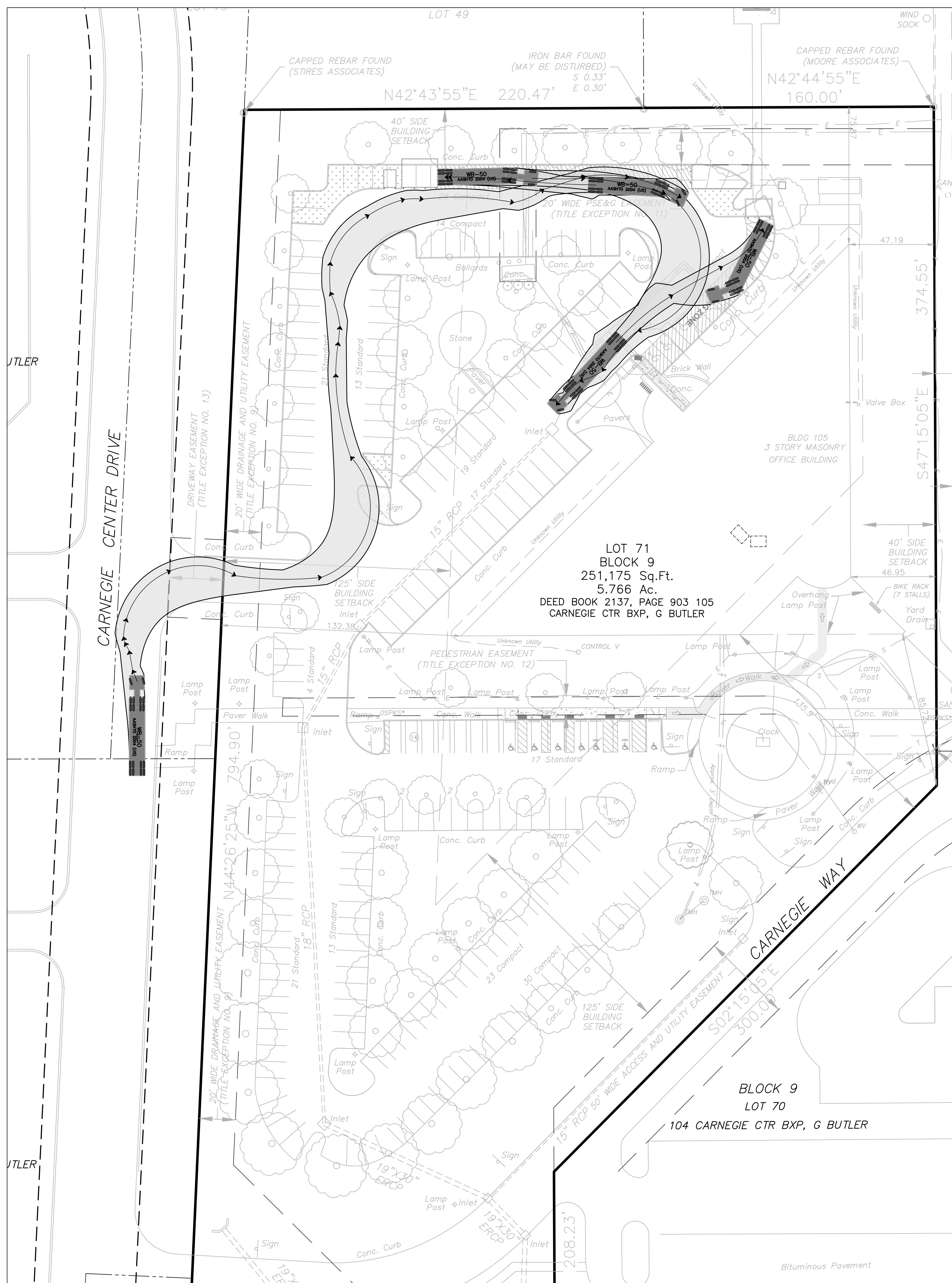
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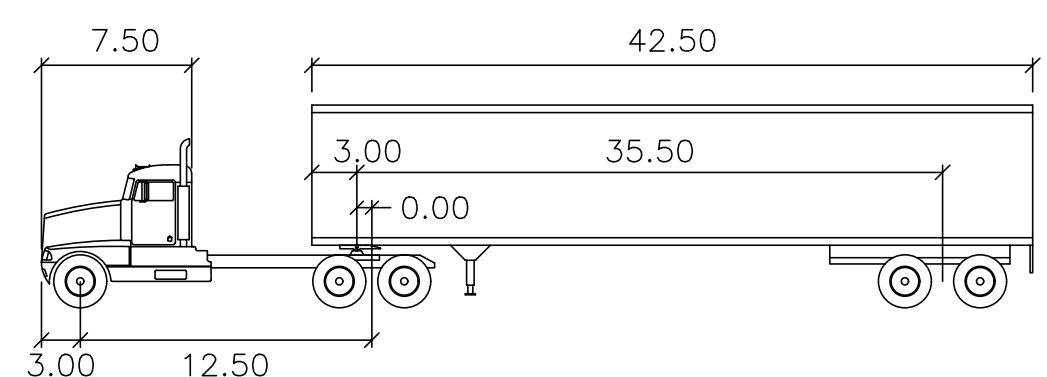
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PROJ. NO.	CARN00719	

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 LAST SAVE BY: R.Boyer

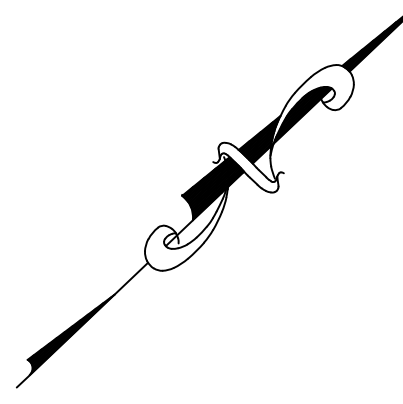
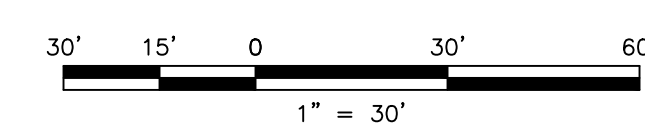
DESIGNED BY: TJA  
 CHECKED BY: MRT  
 DRAWN BY: DA  
 DATE: 03/10/2023  
 SCALE: AS SHOWN  
 PROJ. NO.: CARN00719



**WB-50 TRUCK EXHIBIT**



WB-50		feet	
Tractor Width	: 8.00	Lock to Lock Time	: 6.0
Trailer Width	: 8.50	Steering Angle	: 17.7
Tractor Track	: 8.00	Articulating Angle	: 70.0
Trailer Track	: 8.50		



NO.	DATE	REVISED PER	WT	TRC	COMMENTS	T.J.A.	MRT	CHD
1	03/29/23							

**MICHAEL R. THOMAS, P.E.**  
 DEPARTMENT MANAGER

*MRT* 03/29/2023  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE No. GE48086

BOSTON PROPERTIES, L.P.  
 MINOR SITE PLAN  
 CARNEGIE CENTER - BUILDING 105  
 TAX MAP SHEETS 01 & 02, BLOCK 9, LOT 71, WEST WINDSOR TOWNSHIP, MERCER COUNTY, NEW JERSEY  
 TRUCK TURNING PLAN - WB-50



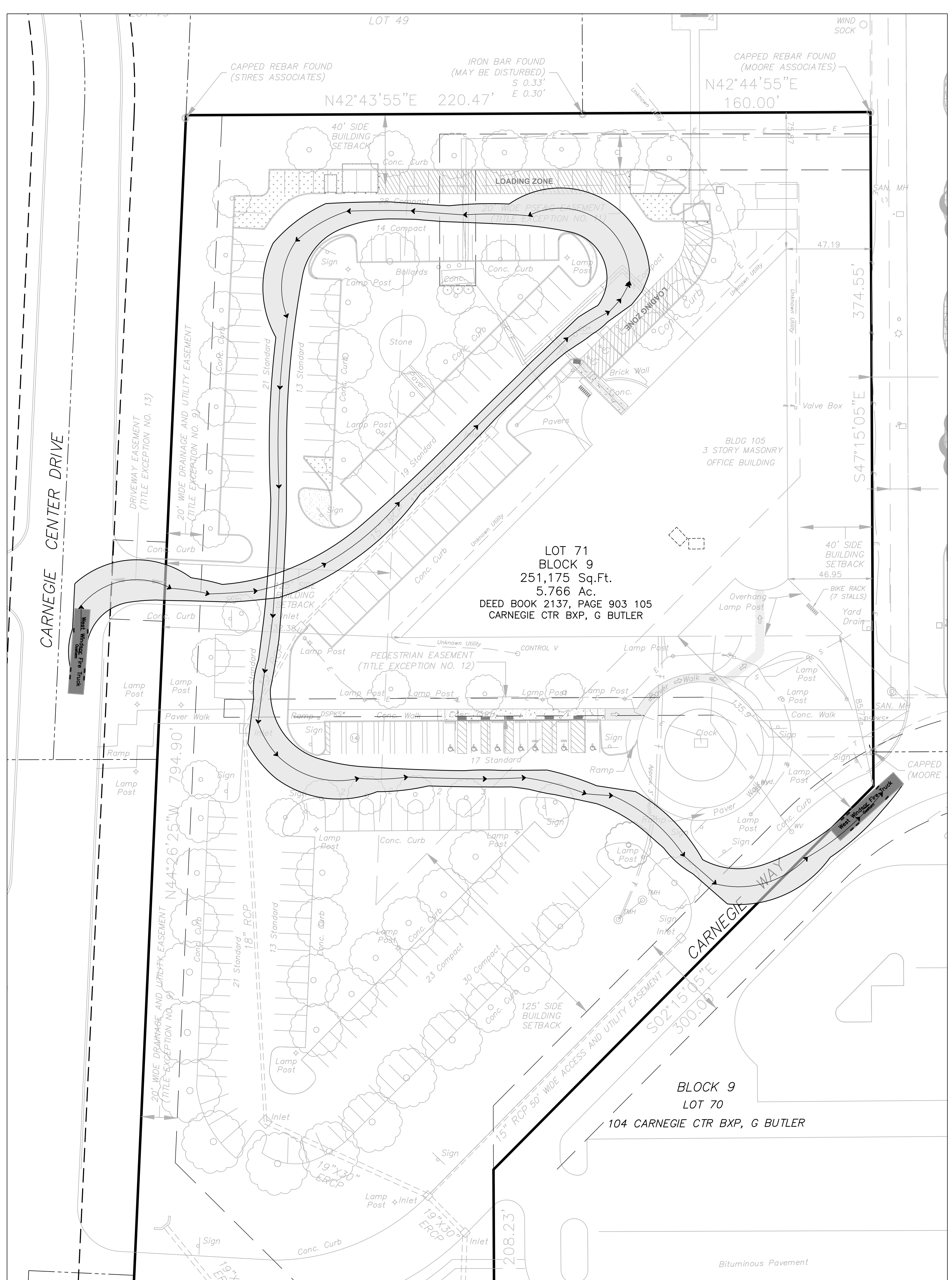
11 TINBALL ROAD  
 MIDDLETOWN, NJ 07748  
 TEL: 732-671-6400  
 FAX: 732-671-7365

NEW JERSEY BOARD OF PROFESSIONAL ENGINEERS  
 AND LAND SURVEYORS  
 CERTIFICATE OF AUTHORIZATION 262478500

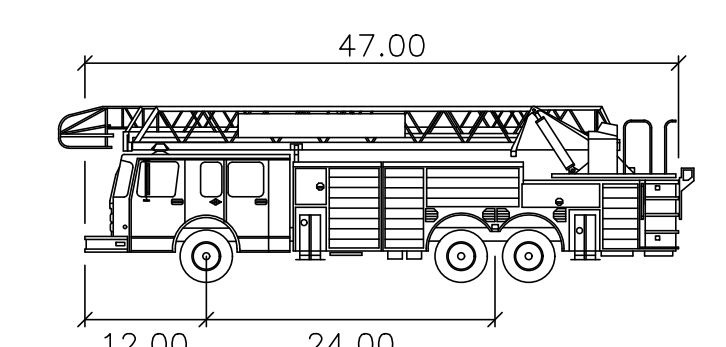
DESIGNED BY	TJA	DRAWING	TTP-2
CHECKED BY	MRT		
DRAWN BY	DA	SHEET	15
DATE	03/10/2023		
SCALE	AS SHOWN		
PROJ. NO.	CARN00719	OF	16

PROJECT INFORMATION:  
 FILE PATH: C:\PROJETS\CARN\00719\Plan\A  
 FILE NAME: CARN00719-TTP.dwg  
 DATE: 03/29/2023 12:42PM  
 LAST SAVE BY: Rongjie

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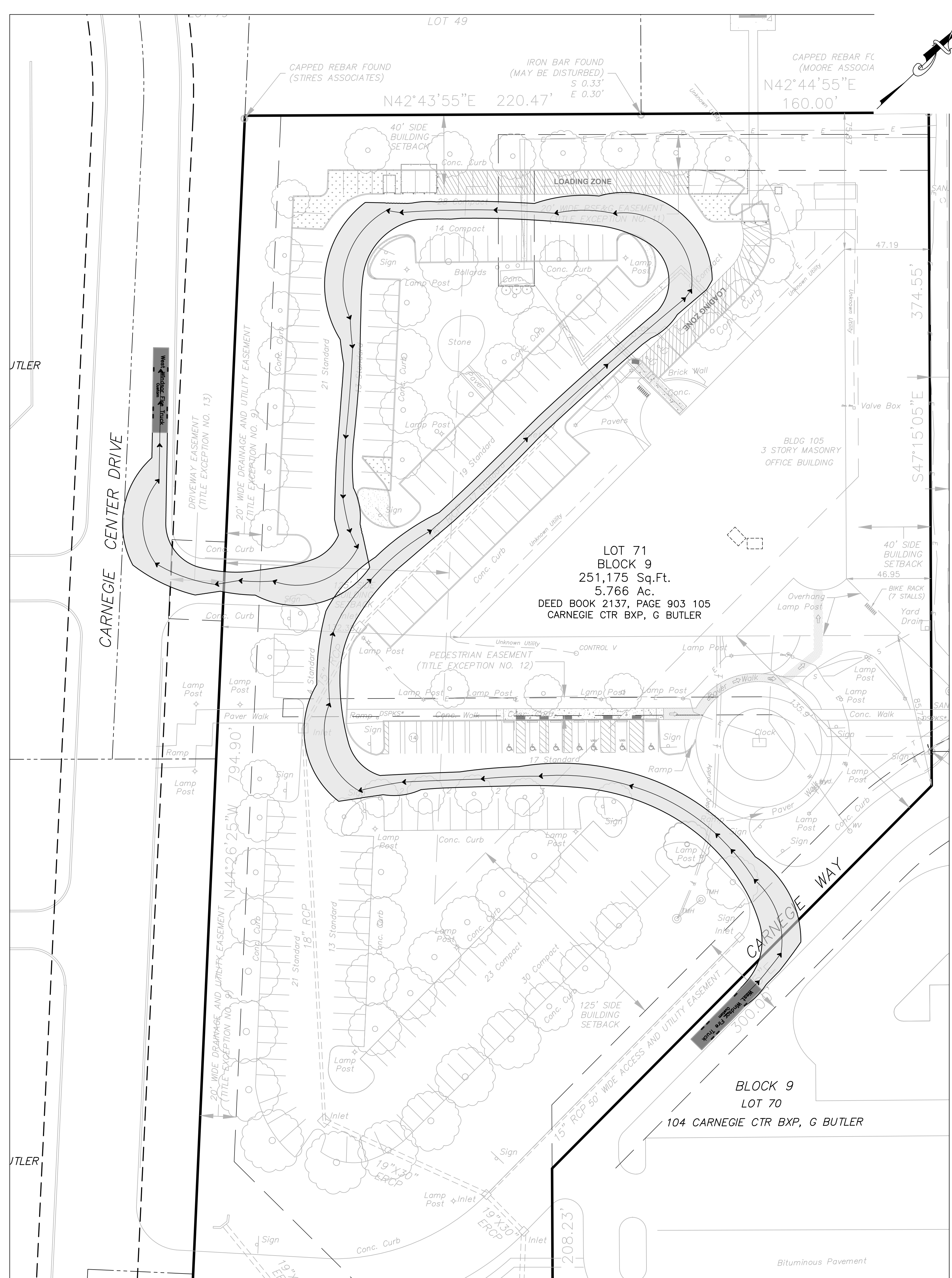


WEST WINDSOR FIRE TRUCK EXHIBIT-2

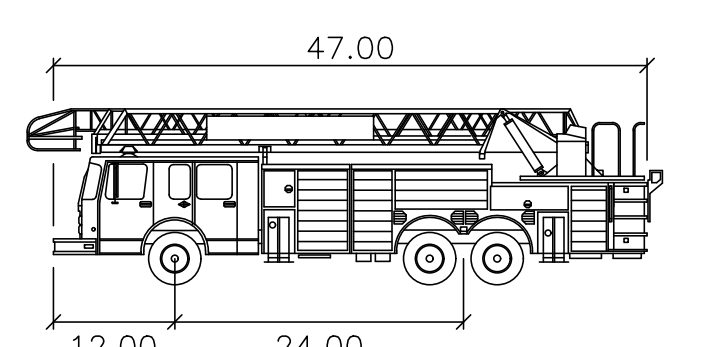


West Windsor Fire Truck

	feet
Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 39.3

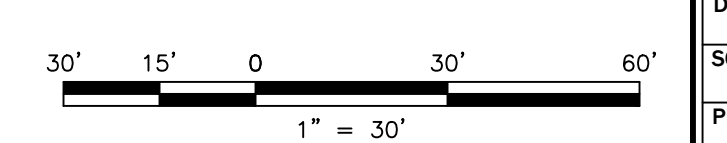


WEST WINDSOR FIRE TRUCK EXHIBIT-2



West Windsor Fire Truck

	feet
Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 39.3



NO.	DATE	REVISED PER WWT TRC COMMENTS	TJL	MRT	BY	CHKD
1	03/29/23					

MICHAEL R. THOMAS, P.E.  
 DEPARTMENT MANAGER

WWT  
 LICENSED PROFESSIONAL ENGINEER  
 STATE OF NJ LICENSE NO. GE48086

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 CERTIFICATE OF AUTHORIZATION 062478958

OFFICES LOCATED IN:  
 CALIFORNIA, INDIANA, KENTUCKY,  
 MASSACHUSETTS, MICHIGAN, NEW JERSEY,  
 OHIO AND PENNSYLVANIA

DESIGNED BY	TJL	DRAWING	
CHECKED BY	MRT		TTP-3
DRAWN BY	RPD	SHEET	
DATE	03/10/2023		16
SCALE	AS SHOWN		
PROJ. NO.	CARN00719		OF 16