

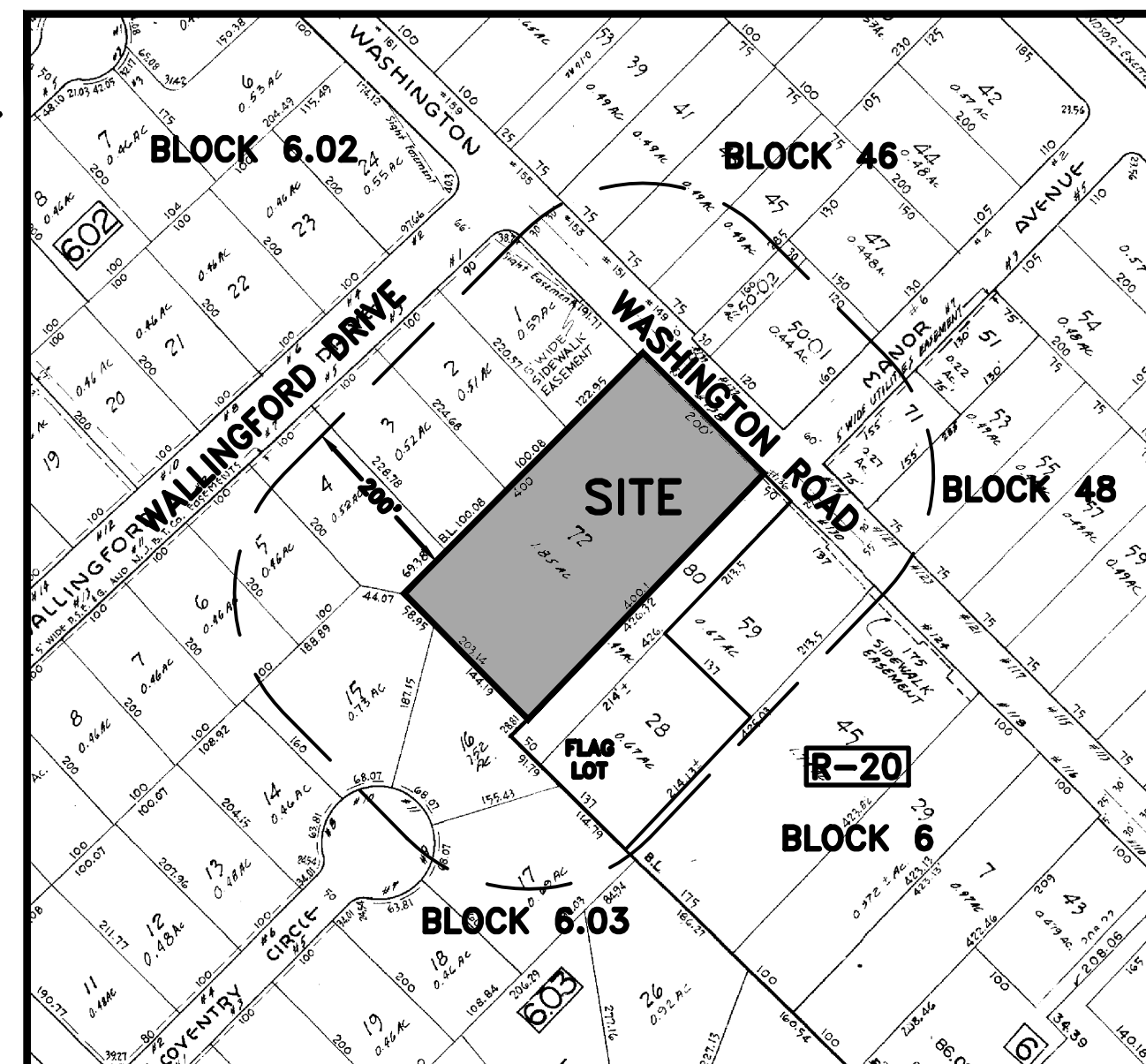


MINOR SITE PLAN FOR NEW JERSEY, INC

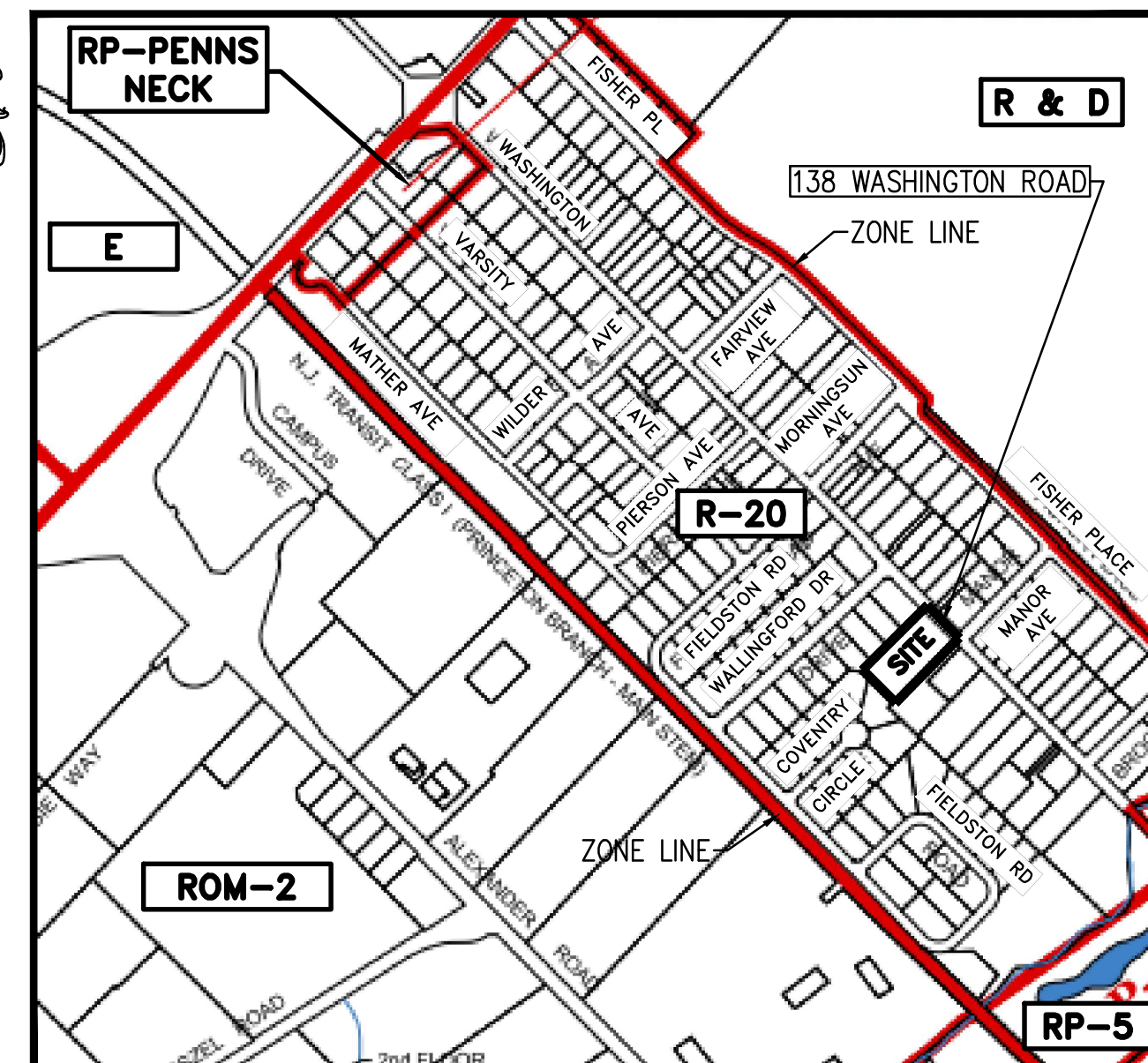
**PENNS NECK CENTRAL OFFICE
PROPOSED EMERGENCY
GENERATOR
BLOCK 6, LOT 72
138 WASHINGTON ROAD
TOWNSHIP OF WEST WINDSOR
MERCER COUNTY, NEW JERSEY**

CERTIFIED LIST OF PROPERTY OWNERS

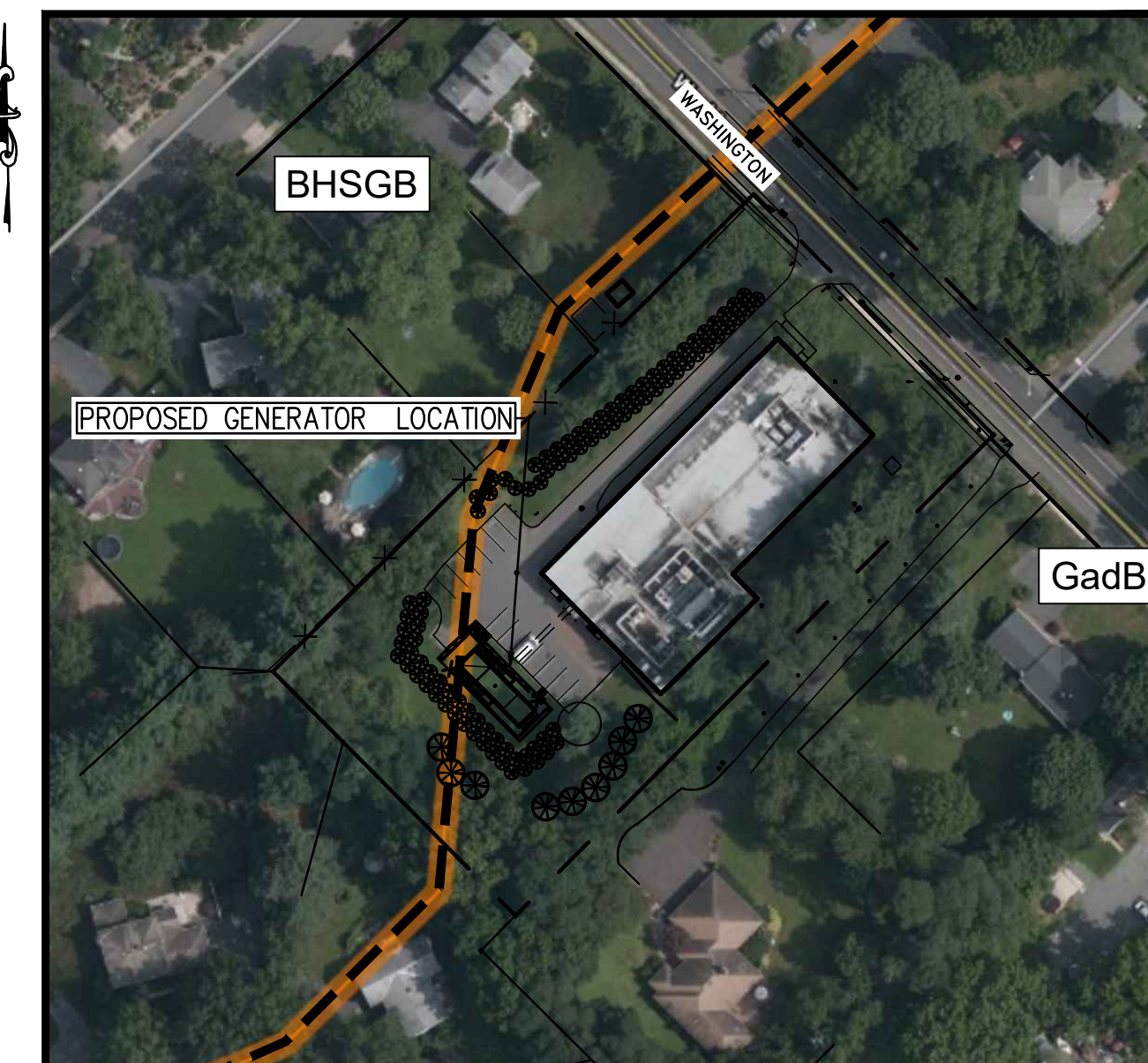
BLOCK	LOT	OWNERS NAME & ADDRESS
6.03	25	JOSE & CATHERIN ANICO 37 FIELDSTON ROAD PRINCETON, NJ 08540
6	28.01	EUGENE & EVA SZEWCZYK 136 WASHINGTON ROAD PRINCETON, NJ 08540
6	45	KOOLDIP HARKOO 6 PINEDALE COURT HAMILTON, NJ 08690
6	59	ERIC MILLIKEN & MARIESA HERRMANN 130 WASHINGTON ROAD PRINCETON, NJ 08540
6.03	1	JOSEPH & CESINA MANGONE 11 WALLINGFORD DRIVE PRINCETON, NJ 08540
6.03	2	JEFFREY LUBIN 3 WALLINGFORD DRIVE PRINCETON, NJ 08540
6.03	3	VALDA SHWANKE 5 WALLINGFORD DRIVE PRINCETON, NJ 08540
6.03	4	PETER & LORI LELAND 7 WALLINGFORD DRIVE PRINCETON, NJ 08540
6.03	5	CHRISTOPHER & DANIELLE MANN 9 WALLINGFORD DRIVE PRINCETON, NJ 08540
6.03	6	NIMESH & BHUMI PATEL 11 WALLINGFORD DRIVE PRINCETON, NJ 08540
6.03	7	HOWARD & SARAH KAMPEL 13 WALLINGFORD DRIVE PRINCETON, NJ 08540
6.03	14	TODD RUSSELL & KATHLEEN CARLIN 8 COVENTRY CIRCLE PRINCETON, NJ 08540
6.03	15	MARTIN & MARTHA ROSSMAN 10 COVENTRY CIRCLE PRINCETON, NJ 08540
6.03	16	NEIL & VICTORIA WEISFELD 11 COVENTRY CIRCLE PRINCETON, NJ 08540
6.03	17	SHIRLEY CRIPPS 9 COVENTRY CIRCLE PRINCETON, NJ 08540
6.03	18	SUNIL & BINU THOMMAN 7 COVENTRY CIRCLE PRINCETON, NJ 08540
6.03	26	NICOLE & EDWARD WHITTAKER 35 FIELDSTON ROAD PRINCETON, NJ 08540
46	41	LEOPOLD & REBECCA NTAB 153 WASHINGTON ROAD PRINCETON, NJ 08540
46	43	PETER MENDONEZ & J. PETERSON 151 WASHINGTON ROAD PRINCETON, NJ 08540
46	45	SHARLEY CHUANG 60 CAMBRIDGE WAY PRINCETON, NJ 08540
46	47	BRUCE & ELIZABETH SMITH 8 MANOR AVENUE PRINCETON, NJ 08540
46	50.01	W & DEANIN HOPKINS, JR. 137 WASHINGTON ROAD PRINCETON, NJ 08540
46	50.02	LOGAN MAHAN & WM E. HOPKINS 137 WASHINGTON ROAD PRINCETON, NJ 08540
48	51	DENIZ ERDEMIR & ALFRED LEE 7 MANOR AVENUE WEST WINDSOR, NJ 08540
48	53	KHURRUM S. SHEIKH 127 WASHINGTON ROAD PRINCETON, NJ 08540
48	55	CARLO FIORENTINI & NINA GUSEVA 123 WASHINGTON ROAD PRINCETON, NJ 08540
48	71	129 PROPERTIES, LLC 218 GOAT HILL ROAD LAMBERTVILLE, NJ 08530
		COMCAST MONMOUTH CLUSTER 751 BRICK BLVD. BRICK, NJ 08723
		MERCER COUNTY DEPT. OF TRANSPORTATION 640 S. BROAD ST., ADMIN. BLDG., ROOM 301 TRENTON, NJ 08650
		PUBLIC SERVICE ELECTRIC AND GAS COMPANY MANAGER-CORPORATE PROPERTIES 80 PARK PLAZA, T68 NEWARK, NJ 07102
		NJ AMERICAN WATER COMPANY, INC. GIS SUPERVISOR 1 WATER STREET CAMDEN, NJ 08102-1658
		VERIZON-NJ C/O WIRELINE ENGINEERING 999 W. MAIN ST., FL. 2 FREEHOLD, NJ 07728
		JCP&L REAL ESTATE PO BOX 1911 MORRISTOWN, NJ 07962



200' LOCATION MAP
SCALE: 1"=200'±
WEST WINDSOR TOWNSHIP TAX MAP SHEET NO. 5.03



ZONE MAP
SCALE: 1"=750'±



AERIAL PHOTO/SOILS MAP
W/TRACT BOUNDARIES
SCALE: 1"=750'±
SOILS:
BHSGB - BIRDSBORO GRAVELLY SOLUM VARIANT SOILS
GadB - GALESTOWN LOAMY SAND

EXISTING USE: TELEPHONE SWITCHING STATION (SUPPORTS 911 SERVICE)
PROPOSED USE: TELEPHONE SWITCHING STATION.
THIS PLAN IS TO ACCOMMODATE A NEW EMERGENCY GENERATOR NEEDED TO SUPPORT EXISTING TELECOMMUNICATION EQUIPMENT. THERE WILL BE NO INCREASE IN EMPLOYEES OR BATHROOM FACILITIES. THE EXISTING BUILDING IS CURRENTLY OCCUPIED PERIODICALLY BY ONE SWITCHPERSON. (NO INCREASE IN STAFF OR TRAFFIC)

ZONE DATA:

R-20 DISTRICT (RESIDENTIAL DISTRICT) -PERMITTED USES SAME AS R-30A DISTRICT
-CONDITIONAL USES PERMITTED PER R-24 DISTRICT

DESCRIPTION	REQUIRED	EXISTING	PROPOSED
MINIMUM LOT AREA (SF)	20,000 SF	80,744 SF	80,744 SF
MINIMUM LOT WIDTH (FT.)	100 FT	200.58	200.58
MINIMUM FRONT YARD (FT.)	40 FT	50.1 FT	50.1 FT
MINIMUM ONE SIDE YARD (FT.)	15 FT	30.9 FT	30.9 FT
MINIMUM REAR YARD (FT.)	30 FT	153.0 FT	76.8 FT (GENERATOR)
MAXIMUM LOT COVERAGE (%)	20%	35.0% (ENC)	37.4% (V)(GENERATOR)
MAXIMUM BUILDING HEIGHT (FT.)	2.5 STORY/35 FT	1 STORY/<35FT	1 STORY/<35FT
MAXIMUM FAR	13 %	21.5% (ENC)	21.5% (ENC)

(ENC) EXISTING NONCONFORMANCE
(V) VARIANCE CONDITION
(FV) FUTURE VARIANCE CONDITION
A PUBLIC UTILITY IS CONSIDERED A CONDITIONAL USE PER § 200-172 B.(6) R-24 RESIDENCE DISTRICT USE REGULATIONS.

THIS PROPOSED GENERATOR IS CONSIDERED A PERMITTED ACCESSORY TO THE PRINCIPLE USE.

FLOOD HAZARD INFORMATION

- Map entitled, FIRM Flood Insurance Rate Map Mercer County, New Jersey (All Jurisdictions) Panel 134 of 276" Map Number 34021C0134F, Effective Date July 20, 2016.
- Block 6 Lot 72 is in an unshaded Zone X, an Area determined to be outside the 0.2% annual chance floodplain.

WATER & SEWER

- THIS PROPERTY IS CONNECTED TO PUBLIC WATER & SEWER.

TREES

- ALL EXISTING LIVING TREES ARE TO REMAIN.

LIGHTING

- 3 LIGHTS PROPOSED (TOTAL), OPERATED BY SWITCHES.
- ALL LIGHTS FACE DOWNWARD AND ARE SHIELDED FROM VIEW.
- ONE LIGHT ABOVE EACH GENERATOR DOOR (2 DOORS)(INSIDE FENCED AREA), 10' MOUNTING HEIGHT.
- ONE LIGHT ABOVE TRANSFER SWITCH (UP AGAINST REAR OF BUILDING), BUILDING MOUNTED (MATCH EXISTING LIGHT HEIGHTS)

SOLID SCREEN NOTES:

- THE PROPOSED FENCE AND INSERTS WILL PROVIDE A 15' TALL SOLID SCREENING OF THE 14'-10" TALL GENERATOR.
- FENCE INSERTS ARE TO BE MAINTAINED AS NECESSARY TO RETAIN A COMPLETE VISUAL BARRIER. ANY INSERTS THAT DEGRADATE TO ALLOW VIEWS BEYOND, OR ARE REMOVED ON PURPOSE OR BY MEANS OF NATURAL EVENTS SHALL BE REPLACED AS SOON AS POSSIBLE.

DRAWING LIST

- SP-1 COVER SHEET
- SP-2 OVERALL/STORMWATER & SELECTIVE DEMOLITION PLAN
- SP-3 DIMENSION PLAN
- SP-4 LANDSCAPE PLAN
- SP-5 CONSTRUCTION DETAILS
- GENERATOR ENCLOSURE DETAILS

TOWNSHIP APPROVAL:

APPROVED BY THE TOWNSHIP OF WEST WINDSOR PLANNING BOARD AS A MINOR SITE PLAN.

- SITE PLAN OF PENNS NECK CENTRAL OFFICE PROPOSED GENERATOR BLOCK 6, LOT 72, ZONE R-20 DATE JULY 2021, SCALE AS SHOWN

APPLICANT: VERIZON NEW JERSEY, INC.
1 VERIZON WAY
BASKING RIDGE, NEW JERSEY 07920

SITE PLAN CONTROL NO. _____ PB21-12 _____

- I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE TOWNSHIP PLANNING BOARD OF WEST WINDSOR TOWNSHIP.

(OWNER) _____ (DATE) _____

- TO BE SIGNED BEFORE ISSUANCE OF A BUILDING PERMIT AND INCORPORATED ONLY ON A FINAL SITE PLAN (AS APPLICABLE):

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

(TOWNSHIP CLERK) _____ (DATE) _____

(BUILDING PERMIT ISSUED) _____ (DATE) _____

- TO BE INCORPORATED ONLY ON FINAL SITE PLAN AND SIGNED PRIOR TO ISSUANCE OF A BUILDING PERMIT.

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT.

(TOWNSHIP CLERK) _____ (DATE) _____

(APPROVAL DATE) _____ (APPROVAL DATE) _____

(CHAIRMAN) _____ (DATE) _____

(SECRETARY) _____ (DATE) _____

6. APPROVED BY THE HEALTH OFFICER

(CHAIRMAN) _____ (DATE) _____

EXPIRATION OF APPROVAL

DATE OF EXPIRATION (WITHOUT EXTENSIONS)

OWNER and APPLICANT:

VERIZON NEW JERSEY, INC.
1 VERIZON WAY
BASKING RIDGE, NEW JERSEY 07920

VERIZON NEW JERSEY, INC.
RAFAEL LEONARDO
VERIZON REAL ESTATE-DESIGN & CONSTRUCTION
147 MORRISTOWN ROAD, ROOM 118
BERNARDSVILLE, NEW JERSEY 07924
(732)-289-7014

revisions		
no.	date	description
1	03/15/22	PER TOWNSHIP COMMENTS
2	04/15/22	PER TOWNSHIP COMMENTS



The Reynolds Group Inc.

State of New Jersey
Certificate of Authorization
Number 24CA27969200
21MH00004300

F. Mitchel Ardman, P.E., P.P.
Jeffrey D. Reynolds, P.L.A.

project

PROPOSED GENERATOR

BLOCK 6, LOT 72
TOWNSHIP OF WEST WINDSOR
MERCER COUNTY, NEW JERSEY

drawing title

COVER SHEET

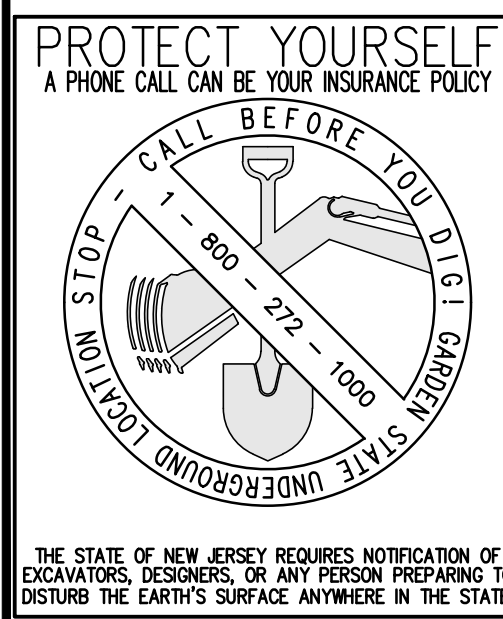
job number 20-010 drawing number

scale AS SHOWN

checked by FMA

drawn by AR

date 07/22/20 sheet 1 of 6



THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXCAVATORS, DESIGNERS, OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

revisions		
no.	date	description
1	03/15/22	PER TOWNSHIP COMMENTS
2	04/15/22	PER TOWNSHIP COMMENTS

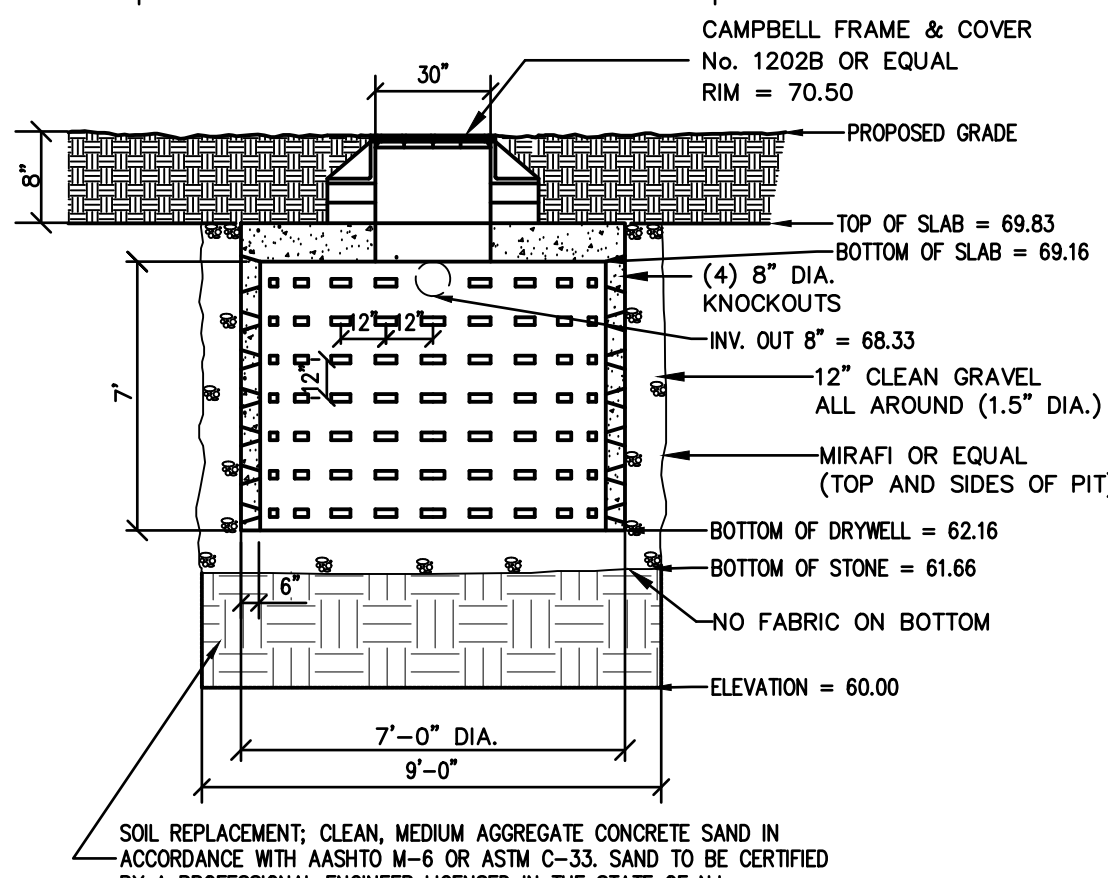
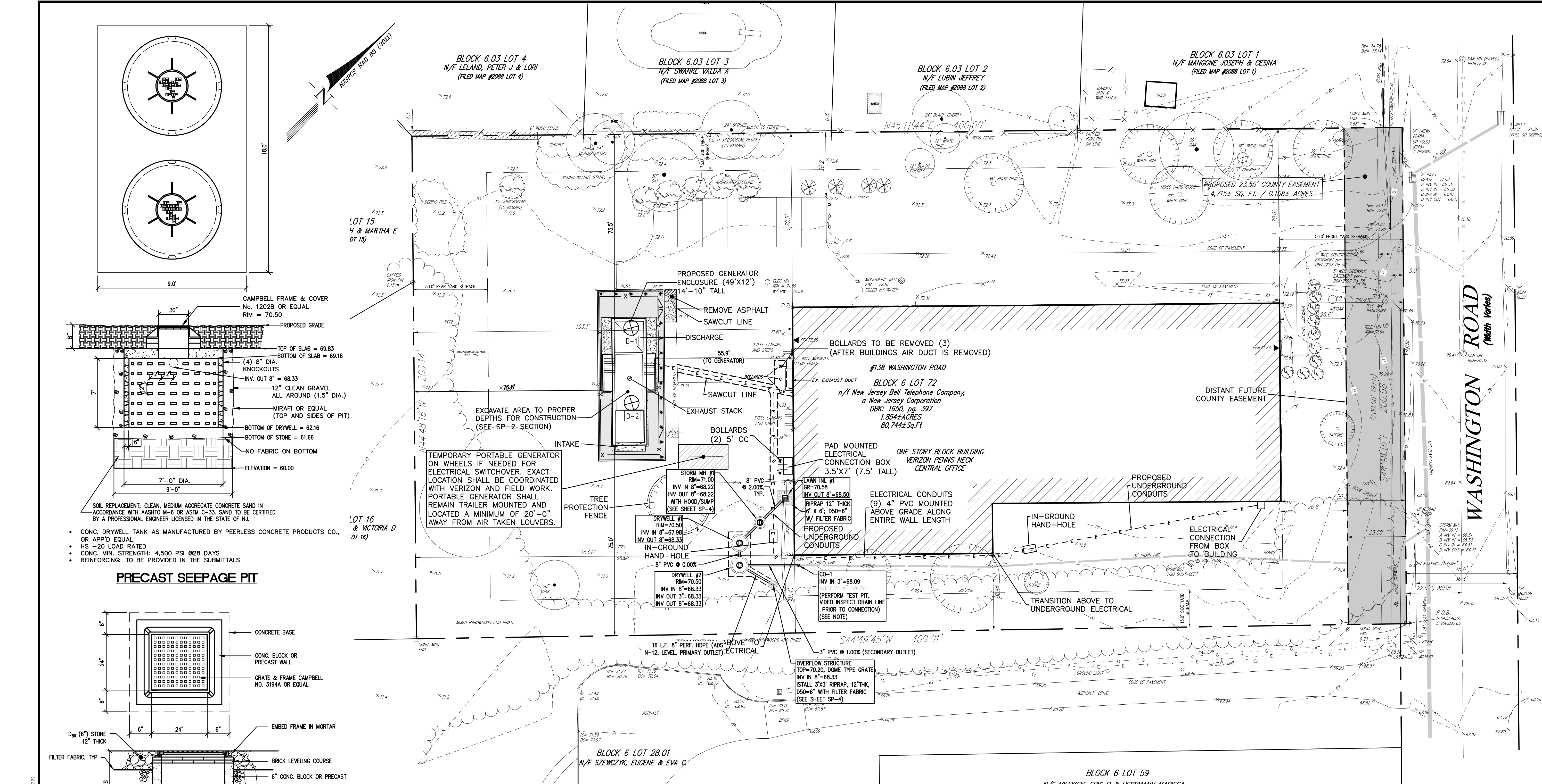
LEGEND	
	GAS VALVE
	GAS METER
	WATER VALVE
	HYDRANT
	WATER METER
	CURB STOP
	FIRE DEPT. CONNECTION
	DRAINAGE MH
	CURB INLET
	LAWN INLET
	SANITARY MH
	CLEANOUT
	BOLLARD
	SIGN
	LIGHT
	MAIL BOX
	GUY WIRE
	UTILITY POLE
	ELECTRIC MH
	CONIFEROUS TREE
	DECIDUOUS TREE
	FENCE
	RAILING
	WALL
	GATE POST
	W - WATER LINE
	G - GAS LINE
	E - ELECTRIC LINE
	S - SANITARY LINE
	OH - OVERHEAD WIRES

The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number 24GA27969200
 21MH00004300
 F. Mitchel Ardan, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

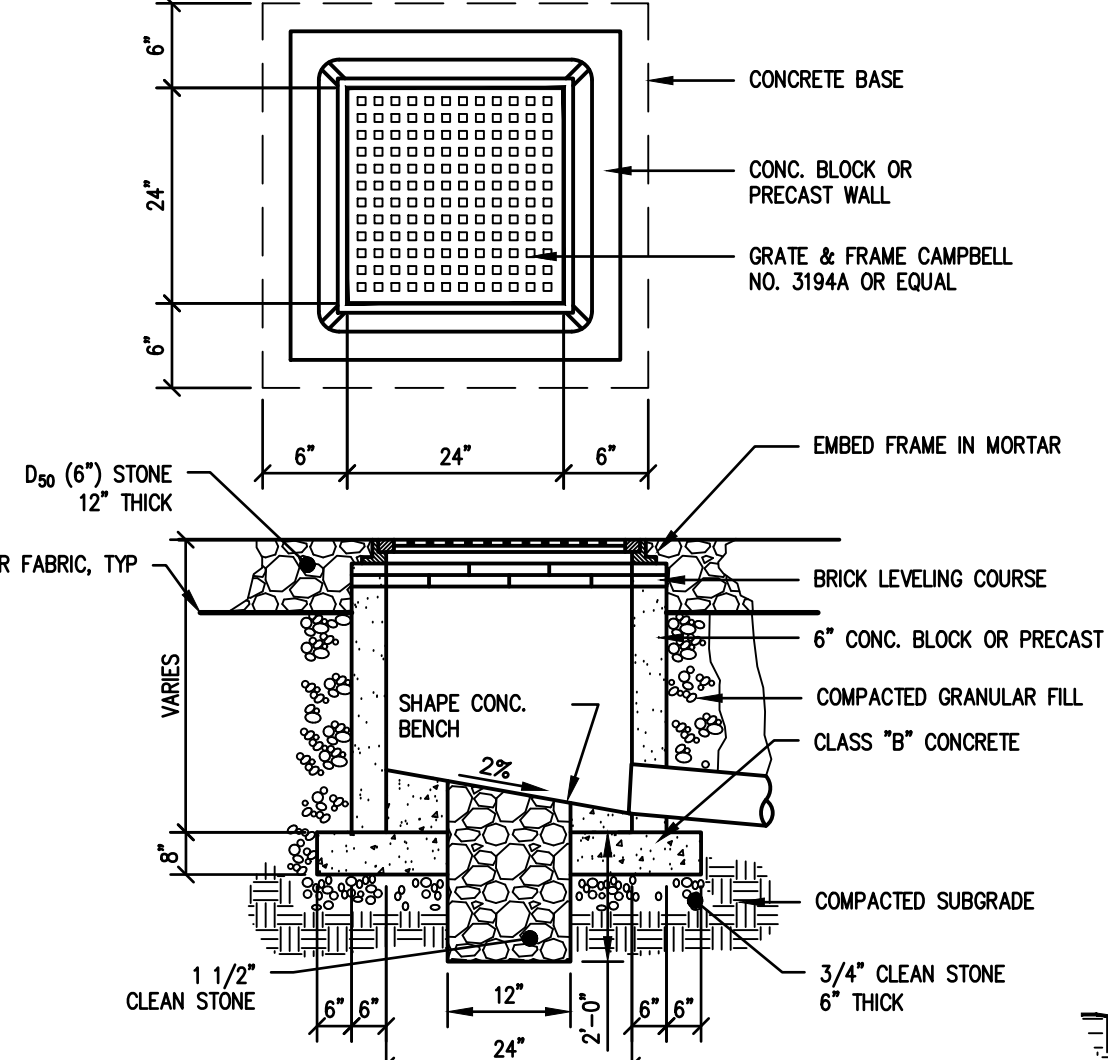
F. Mitchel Ardan
F. MITCHEL ARDMAN
 N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project
PENNS NECK VERIZON PROPOSED GENERATOR
 BLOCK 6, LOT 72
 TOWNSHIP OF WEST WINDSOR
 MERCER COUNTY, NEW JERSEY
 drawing title
OVERALL/STORMWATER & SELECTIVE DEMOLITION PLAN

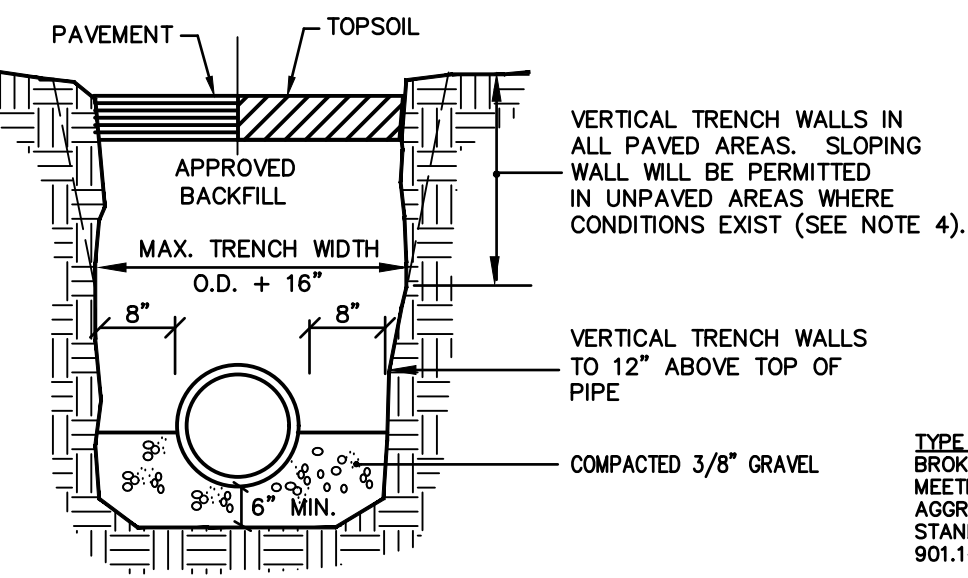
job number	20-010	drawing number	
scale	1"=20'	SP-1	
checked by	FMA		
drawn by	AR		
date	07/22/20	sheet	2 of 6



PRECAST SEEPAGE PIT



2' X 2' LAWN INLET W/ OPEN BOTTOM



TYPICAL STORM LINE TRENCH

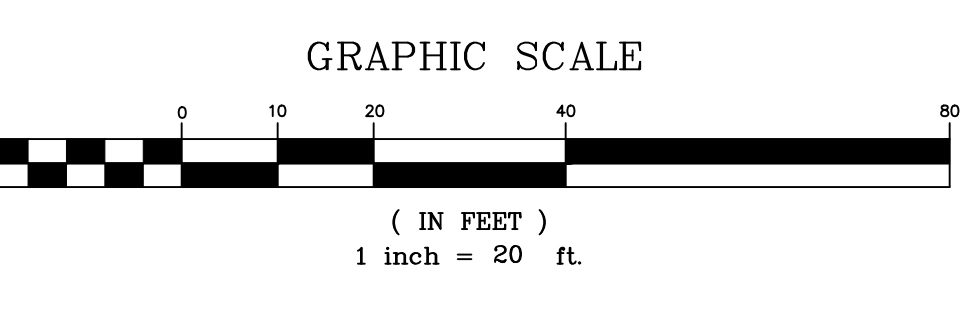
- CCTV NOTES:**
- VIDEO 8" DRAIN PIPE.
 - SUBMIT VIDEO TO ENGINEER WITH SUMMARY OF FINDINGS.
 - DRAIN LINE DEFECTS IN PIPE TO BE REPLACED.
- DEMOLITION NOTES:**
- A PERMIT IS REQUIRED TO BE OBTAINED BY THE CONTRACTOR FROM THE OFFICE OF THE TOWNSHIP ENGINEER PRIOR TO BEGINNING ANY WORK.
 - THE REYNOLDS GROUP INC. IS NOT RESPONSIBLE FOR THE SPECIFICATIONS FOR THE REMOVAL OF ANY CONTAMINATED SOIL ENCOUNTERED DURING EXCAVATION.
 - PROVIDE TEMPORARY BARRICADES AND OTHER FORMS OF PROTECTION AS REQUIRED TO PROTECT OWNER'S PERSONNEL AND GENERAL PUBLIC FROM INJURY DUE TO SELECTIVE DEMOLITION WORK.
 - PROVIDE PROTECTIVE MEASURES AS REQUIRED TO PROVIDE FREE AND SAFE PASSAGE OF OWNER'S PERSONNEL AND GENERAL PUBLIC AROUND CONSTRUCTION SITE.
 - PROVIDE INTERIOR AND EXTERIOR SHORING, BRACING, OR SUPPORT TO PREVENT MOVEMENT, SETTLEMENT, OR COLLAPSE OF ELEMENT TO BE DEMOLISHED, AND ADJACENT FACILITIES OR WORK TO REMAIN.
 - REMOVE PROTECTIONS AT COMPLETION OF PROJECT OR AT AN APPROPRIATE TIME PRIOR.
 - PROMPTLY REPAIR DAMAGES CAUSED TO ADJACENT FACILITIES BY DEMOLITION WORK AT NO COST TO OWNER.
 - CONDUCT SELECTIVE DEMOLITION OPERATIONS AND DEBRIS REMOVAL IN A MANNER TO INSURE MINIMUM INTERFERENCE WITH ROADS, STREETS, WALKS AND OTHER ADJACENT OCCUPIED OR USED FACILITIES. DO NOT CLOSE BLOCK OR OTHERWISE OBSTRUCT STREET, WALKS OR OTHER OCCUPIED OR USED FACILITIES WITHOUT WRITTEN PERMISSION FROM AUTHORITIES HAVING JURISDICTION. PROVIDE ALTERNATE ROUTES AROUND CLOSED OR OBSTRUCTED TRAFFIC WAYS IF REQUIRED BY GOVERNING AUTHORITIES.
 - MAINTAIN EXISTING UTILITIES INDICATED TO REMAIN, KEEP IN SERVICE, AND PROTECT AGAINST DAMAGE DURING DEMOLITION OPERATIONS.
 - USE WATER SPRINKLING AND OTHER SUITABLE METHODS TO LIMIT DUST AND DRIFT RISING AND SCATTERING AIR TO LOWEST PRACTICAL LEVEL COMPLY WITH GOVERNING REGULATIONS PERTAINING TO ENVIRONMENTAL PROTECTION.

TREE NOTES:
 ALL EXISTING LIVING TREES ARE TO REMAIN.

SOIL LOGS BY MELICK-TULLY & ASSOCIATES

- DRYWELL NOTES:**
- CONSTRUCT DRYWELLS IMMEDIATELY AFTER THE NEW GENERATOR, CONDUITS ARE INSTALLED AND ACTIVATED.
 - REMOVE TEMPORARY GENERATOR AND SAFETY FENCE ENCLOSURE.
 - CONTRACTOR SHALL PERFORM TEST PIT TO LOCATE EXISTING 8" STORM PIPE. PROVIDE DATA TO ENGINEER FOR REVIEW.
 - CONTRACTOR TO VIDEO INSPECT AND CLEAN DRAIN PIPE TO STORM MANHOLE/OULFLOW. CONTRACTOR TO MAKE REPAIRS AS NECESSARY PRIOR TO MAKING STORM LINE CONNECTION.
 - LAWN INLET SHALL BE INSTALLED WITH A 12" SUMP AND OPEN BOTTOM, SEE DETAIL.
 - PVC PIPE SHALL BE SCH 40.

SURVEY REFERENCE:
 SURVEY INFORMATION SHOWN TAKEN FROM A PLAN ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF BLOCK 6, LOT 72, TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY, PREPARED BY THE REYNOLDS GROUP, INC. DATED 7/9/2020.



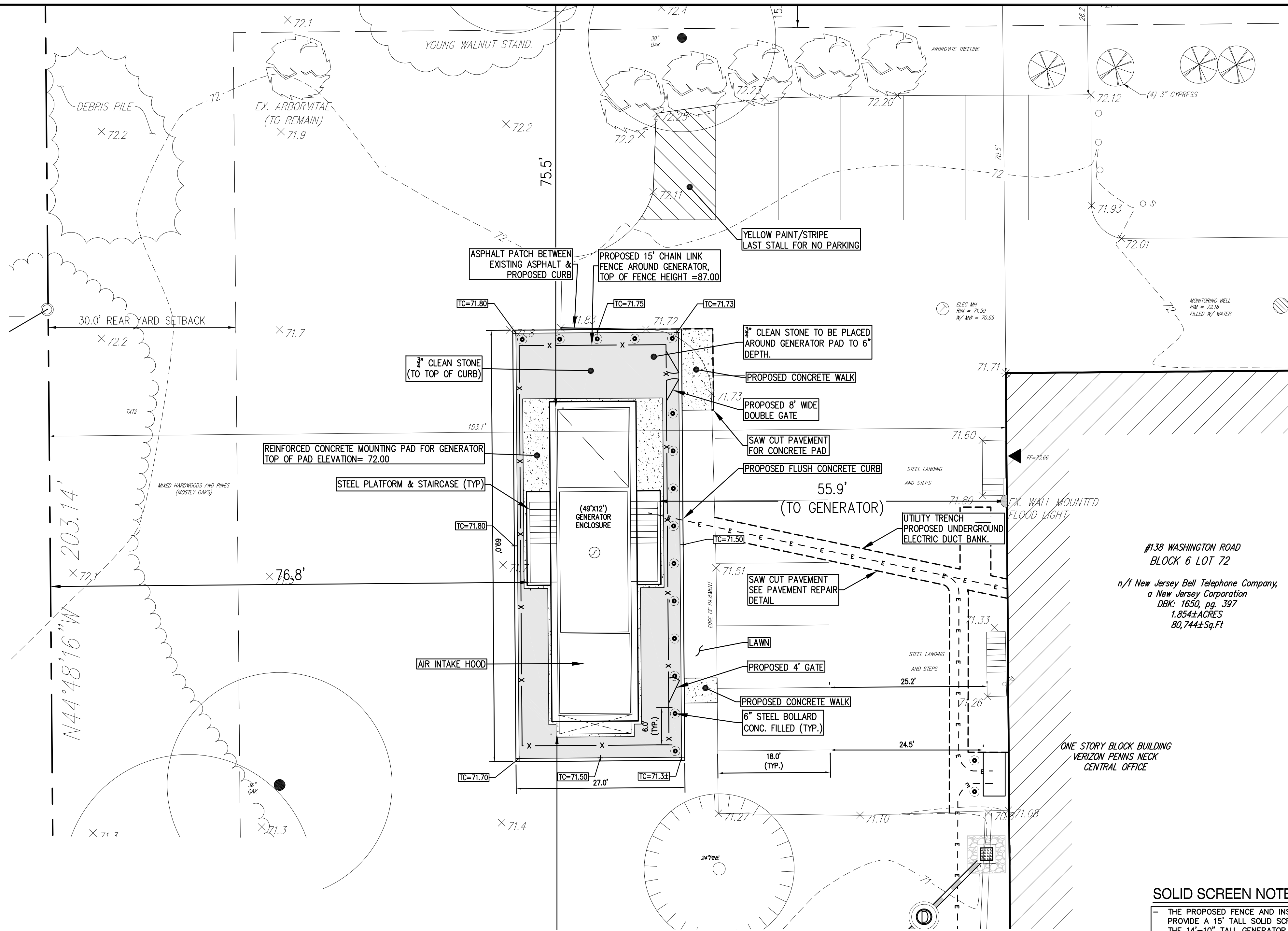
PROTECT YOURSELF
 A PHONE CALL CAN BE YOUR INSURANCE POLICY

THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXCAVATORS DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

C:\projects\2020\20-010 - PENNS NECK VERIZON WEST WINDSOR\LOAD\WESHOR-1010-BASEMAP_002.DWG (4/27/22)
 PROJECT: 2020-010 - PENNS NECK VERIZON WEST WINDSOR\LOAD\WESHOR-1010-BASEMAP_002.DWG (4/27/22)

GENERAL NOTES:

- PRIOR TO THE START OF CONSTRUCTION, THE CONTRACTOR SHALL VERIFY THE EXACT LOCATION OF ALL BURIED UTILITIES. THE UTILITIES SHOWN WERE COMPILED FROM VARIOUS ENGINEERING PLANS AND BY FIELD INSPECTION. STORM SEWER PIPES AND SANITARY LINES WERE MEASURED AT MANHOLES AND PIPE RUNS WERE ASSUMED TO BE STRAIGHT BETWEEN MANHOLES. IF ADDITIONAL UTILITIES ARE FOUND, OR A CONFLICT WITH PROPOSED UTILITIES ARISES, THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER.
- *INFORMATION ON UTILITY COMPANY LINES IS BASED UPON GENERAL INFORMATION ONLY AS PROVIDED BY UTILITY COMPANIES. CONTRACTOR MUST CONTACT THE UTILITY MARKOUT SERVICE, 1-800-272-1000, PRIOR TO CONSTRUCTION. IN ADDITION, THE CONTRACTOR SHALL DIG A TEST PIT AT ALL LOCATIONS WHERE PROPOSED LINES CROSS EXISTING UTILITY LINES TO VERIFY DEPTHS. THE CONTRACTOR SHALL PROVIDE THIS INFORMATION TO THE ENGINEER PRIOR TO CONSTRUCTION.
- ALL EXCAVATED MATERIAL WHICH IS UNSUITABLE FOR BACKFILL SHALL BE REMOVED FROM SITE AND PROPERLY AND LEGALLY DISPOSED OF BY THE CONTRACTOR. THE CONTRACTOR SHALL ASSUME ALL RESPONSIBILITY FOR PROPER DISPOSAL OF THIS MATERIAL. BURIED FOUNDATIONS, IF ANY, ARE THE RESPONSIBILITY OF THE CONTRACTOR.
- ALL CONSTRUCTION SHALL CONFORM TO MUNICIPAL ENGINEERING DEPARTMENT AND SEWERAGE AUTHORITY, THE STANDARDS OF THE RESPECTIVE UTILITY COMPANIES AND THE N.J.D.O.T. SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, 2007 AND AS UPDATED.
- TRAFFIC AND PARKING SIGNS SHALL BE IN ACCORDANCE WITH THE "MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES", U.S.D.O.T. FEDERAL HIGHWAY ADMINISTRATION, 2009 AND AS UPDATED.
- EXCAVATIONS OR TRENCHING WITHIN CLOSE PROXIMITY TO UNDERGROUND FACILITIES OR UTILITY POLES WILL REQUIRE PROTECTION IN AN APPROVED MANNER TO PREVENT DAMAGE OR INTERRUPTION OF SERVICE TO UNDERGROUND FACILITIES. THE COST TO PROVIDE THIS PROTECTION WILL BE BORNE BY THE CONTRACTOR.
- THE CONTRACTOR SHALL BE RESPONSIBLE TO PROTECT IN AN APPROVED MANNER EXISTING THURST BLOCKS WHICH ARE RESTRAINING EXISTING UTILITIES SHALL NOT BE UNDERMINED.
- ALL EXCESS EXCAVATED MATERIAL SHALL BE REMOVED AND DISPOSED OF BY THE CONTRACTOR OFF-SITE, AND AT NO ADDITIONAL COST TO THE OWNER.
- ALL TRENCHES SHALL BE BACKFILLED WITHOUT DELAY. OPEN TRENCHES SHALL BE KEPT TO A MINIMUM. OPEN TRENCHES SHALL BE STEEL PLATED OR BARRICADED WHEN WORK IS NOT IN PROGRESS. ALL EXISTING CONTOUR LINES, PROFILES AND SPOT ELEVATIONS ARE APPROXIMATE.
- ALL PROPOSED CONTOURS SHALL BE GRADED TO BLEND EVENLY WITH EXISTING CONTOURS.
- THE CONTRACTOR SHALL PROTECT ALL STRUCTURES, ROADS, PIPELINES, TREES, SHRUBBERY, GRASS AREA, ETC., DURING THE PROGRESS OF HIS WORK AND SHALL REMOVE FROM THE SITE ALL CUTTINGS, DRILLINGS, DEBRIS AND UNUSED MATERIALS. UPON COMPLETION OF THE WORK, THE CONTRACTOR SHALL RESTORE THE SITE TO ITS ORIGINAL CONDITION, INCLUDING AT THE CONTRACTOR'S SOLE EXPENSE, THE REPLACEMENT OF GRASSED AREAS WHICH HAVE BEEN DAMAGED.
- IT IS THE INTENT TO SAVE AS MANY TREES AS POSSIBLE. THE CONSTRUCTION ACTIVITIES SHALL BE CONDUCTED IN SUCH A MANNER SO AS TO MINIMIZE ADVERSE IMPACTS ON THE TREES.
- THE CONTRACTOR SHALL BE RESPONSIBLE FOR ANY DAMAGE TO SURROUNDING PROPERTY AND SHALL RESTORE ANY PROPERTY DAMAGED AS A RESULT OF HIS OPERATIONS. ALL RESTORATION WILL BE BORNE BY THE CONTRACTOR AT NO ADDITIONAL COST TO THE OWNER.



#138 WASHINGTON ROAD
BLOCK 6 LOT 72
n/1 New Jersey Bell Telephone Company
a New Jersey Corporation
DBK: 1650, pg. 397
1.854±ACRES
80,744±Sq.Ft

SOLID SCREEN NOTES:

- THE PROPOSED FENCE AND INSERTS WILL PROVIDE A 15' TALL SOLID SCREENING OF THE 14'-10" TALL GENERATOR.
- FENCE INSERTS ARE TO BE MAINTAINED AS NECESSARY TO RETAIN A COMPLETE VISUAL BARRIER. ANY INSERTS THAT DENIGRATE TO ALLOW VIEWS BEYOND, OR ARE REMOVED ON PURPOSE OR BY MEANS OF NATURAL EVENTS SHALL BE REPLACED AS SOON AS POSSIBLE.

GENERATOR NOTE:

THE SPECIFIED GENERATOR HAS A SOUND ATTENUATING ENCLOSURE PER THE ACOUSTICAL REPORT. PREPARED BY LEWIS S. GOODFRIEND & ASSOCIATES DATED JUNE 29, 2020. THE GENERATOR WILL MEET ALL DEP SOUND REGULATIONS AND REQUIREMENTS.

NOTE:

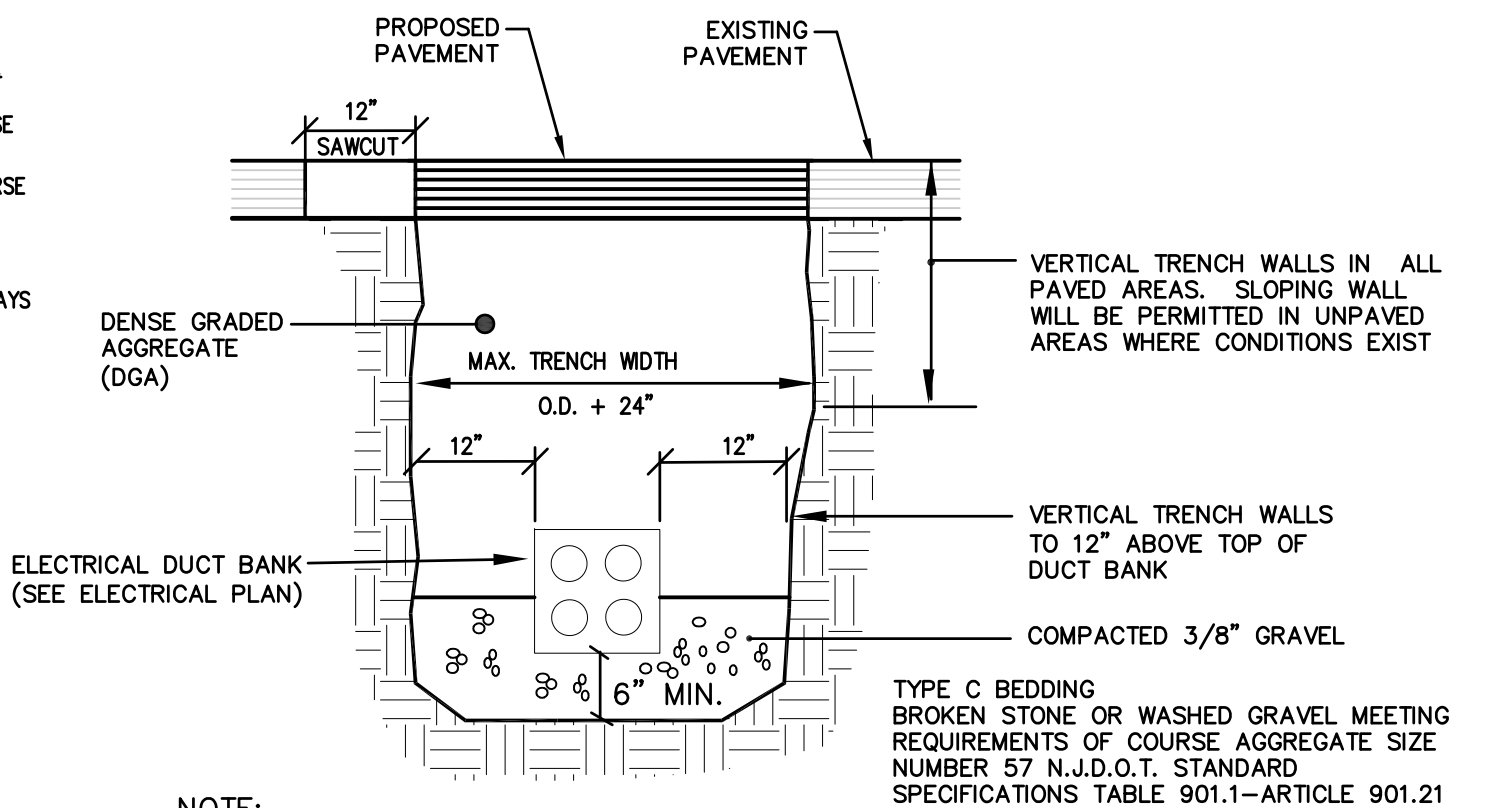
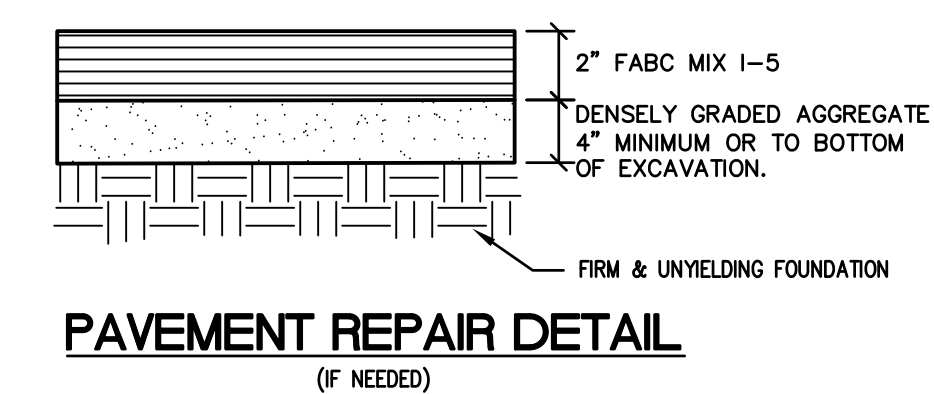
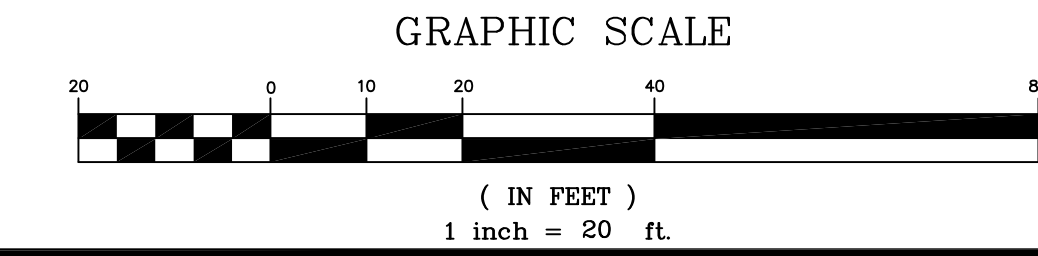
AREA OF DISTURBANCE EQUALS 2,108 SF. 5000 SF. OR LESS OF DISTURBANCE QUALIFIES FOR A SOIL CONSERVATION DISTRICT EXEMPTION OF SOIL EROSION CONTROL MEASURES.

FENCE NOTE:

ALL FENCE CONSTRUCTION TO BE PROVIDED BY: BODNER FENCE & CONSTRUCTION, LLC. SOMERSET, NJ PO BOX 2057 TIM BODNER 908-239-6796 (OR APPROVED EQUAL)

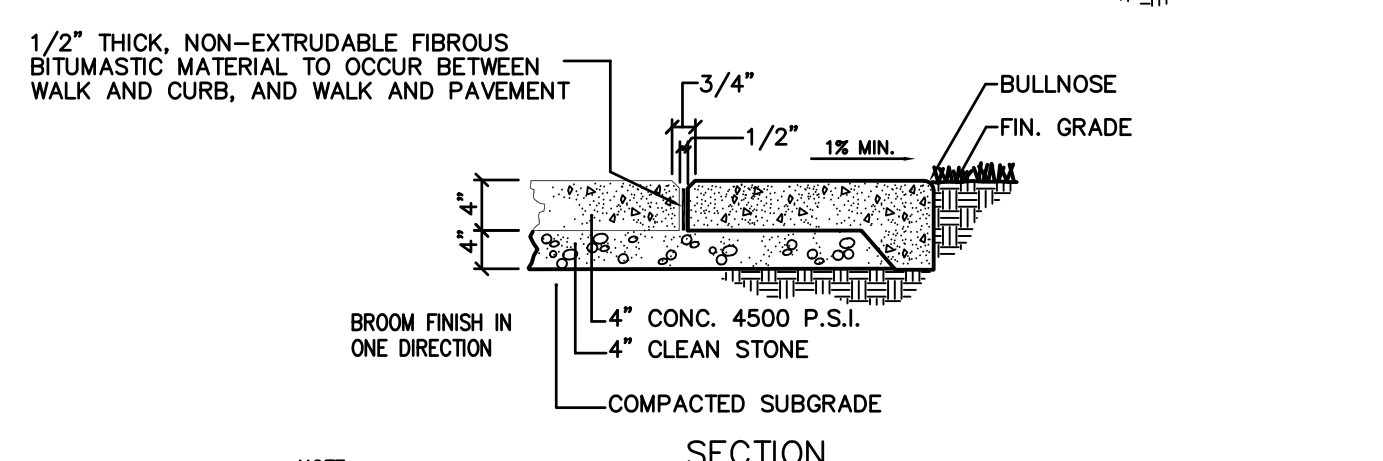
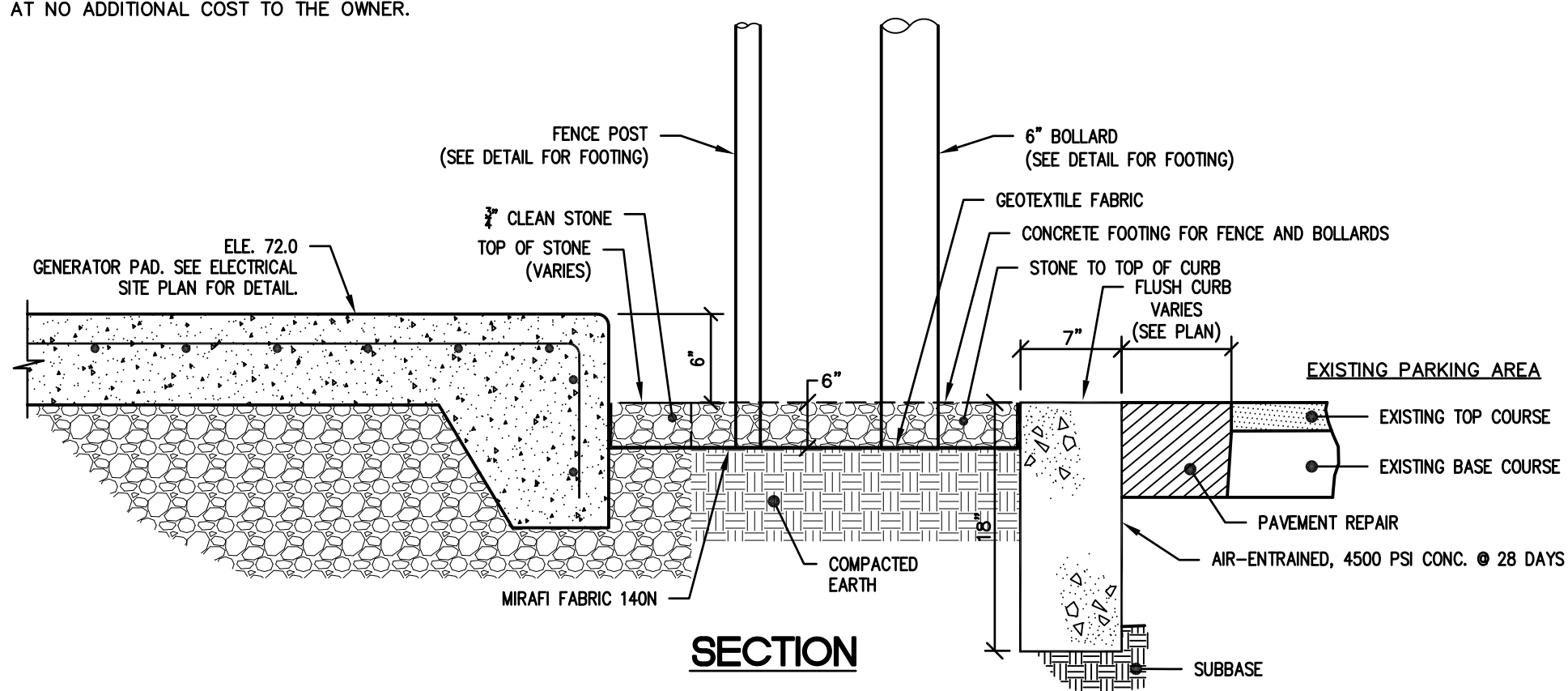
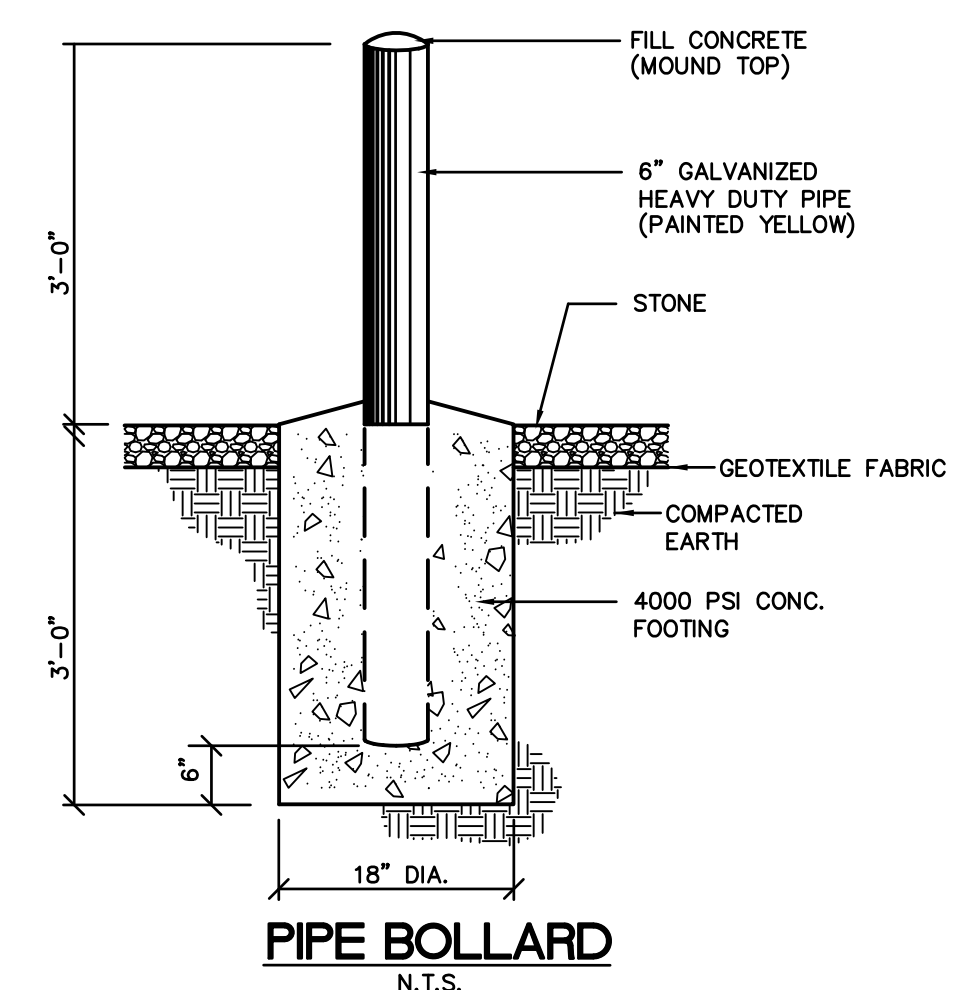
REFERENCE:

THIS PLAN IS BASED UPON A MAP ENTITLED "BOUNDARY AND TOPOGRAPHIC SURVEY OF BLOCK 6, LOTS 72, TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY" PREPARED BY THE REYNOLDS GROUP INC. DATED JULY 9, 2020.



- NOTE:**
- IN PAVED AREAS, WIDTH OF PAVEMENT TO BE REMOVED SHALL BE 12" BEYOND EDGE OF TRENCH.
 - ALL EXCAVATION, TRENCHING, SHEETING AND BRACING SHALL CONFORM TO THE REQUIREMENTS OF THE "CONSTRUCTION SAFETY CODE OF THE BUREAU OF ENGINEERING AND SAFETY OF THE NEW JERSEY DEPARTMENT OF LABOR AND INDUSTRY".
 - COORDINATE TRENCHING WITH DUCT BANK DETAIL ON ELECTRICAL DRAWINGS.

TYPICAL TRENCH FOR CONDUITS TO VERIZON BUILDING



NOTE:
APPLY PENETRATING CONCRETE SEALER TO SURFACE IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS. USE A PRODUCT SUCH AS SILENCEUR-A BY OCHIMASTERS, OR APPROVED EQUAL THAT MEETS AASHTO M146-TYPE 1, CTC VOC STANDARDS, AND ALL APPLICABLE FEDERAL/STATE REQUIREMENTS.

WALK DETAIL

revisions		
no.	date	description
1	03/15/22	PER TOWNSHIP COMMENTS
2	04/15/22	PER TOWNSHIP COMMENTS

LEGEND

- GAS VALVE
- GAS METER
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- ELECTRIC LINE
- SANITARY LINE
- OVERHEAD WIRES

The Reynolds Group Inc.
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F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

PENNS NECK VERIZON PROPOSED GENERATOR
BLOCK 6, LOT 72
TOWNSHIP OF WEST WINDSOR
MERCER COUNTY, NEW JERSEY

DIMENSION PLAN
job number 20-010
scale 1"=20'
checked by FMA
drawing number
SP-2
drawing title
drawing by AR
date 07/22/20
sheet 3 of 6



\VENINGERS PROJECTS\2020\20-010 - PENNS NECK VERIZON (WEST WINDSOR)\LANDSCAPE\20-010_BASISMAP (RD).DWG - 6/17/22

revisions		
no.	date	description
1	03/15/22	PER TOWNSHIP COMMENTS
2	04/15/22	PER TOWNSHIP COMMENTS

LEGEND	
	GAS VALVE
	GAS METER
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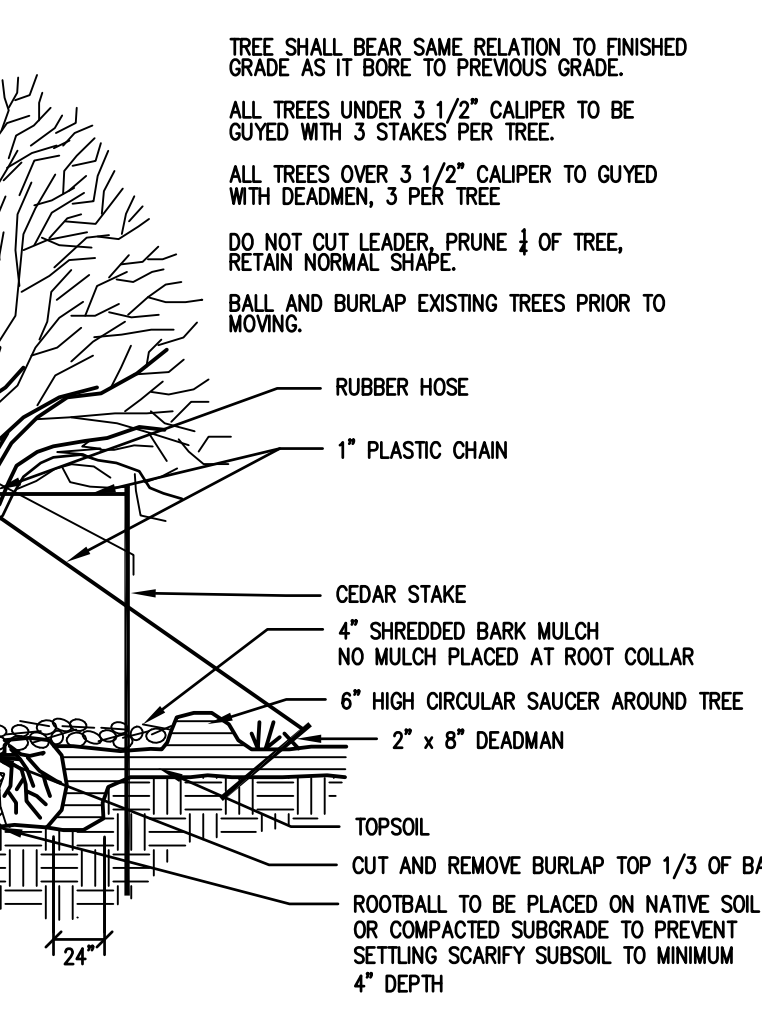
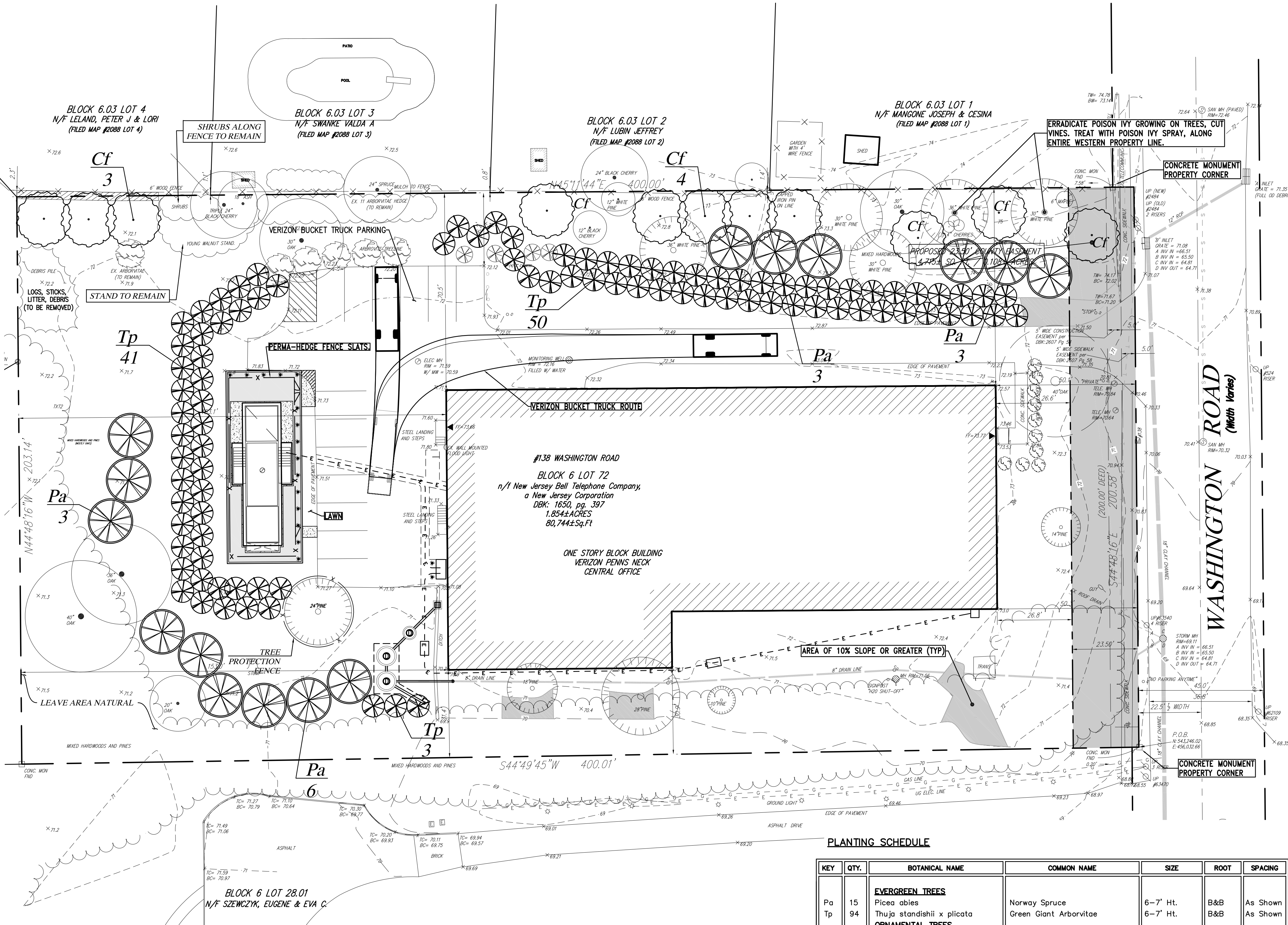
The Reynolds Group Inc.
 State of New Jersey
 Certificate of Authorization
 Number 24GA27969200
 21MHO004300
 F. Mitchell Ardman, P.E., P.P.
 Jeffrey D. Reynolds, P.L.A.

Jeffrey D. Reynolds
 JEFFREY D. REYNOLDS
 N.J. LICENSED LANDSCAPE ARCHITECT AS000878

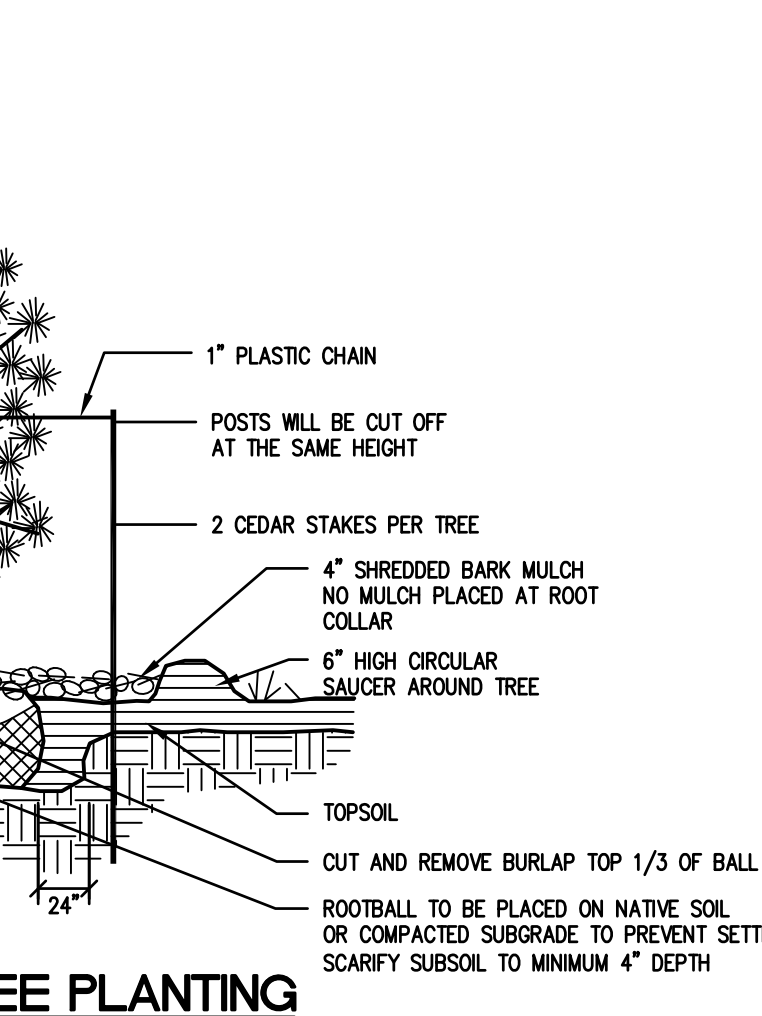
PENNS NECK VERIZON PROPOSED GENERATOR
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LANDSCAPE PLAN

job number	20-010	drawing number	
scale	1"=20'		
checked by	FMA		
drawn by	AR		
date	07/22/20	sheet	4 of 6



TREE PLANTING



EVERGREEN TREE PLANTING

PLANTING SCHEDULE

KEY	QTY.	BOTANICAL NAME	COMMON NAME	SIZE	ROOT	SPACING
Pa	15	EVERGREEN TREES <i>Picea abies</i>	Norway Spruce	6-7' Ht.	B&B	As Shown
Tp	94	ORNAMENTAL TREES <i>Thuja standishii x plicata</i>	Green Giant Arborvitae	6-7' Ht.	B&B	As Shown
Cf	11	ORNAMENTAL TREES <i>Cornus florida</i>	Flowering Dogwood	2.5-3\"/>		

118 TOTAL TREES TO BE PLANTED

PLANTING NOTES:

- ALL PLANT MATERIAL TO BE FIRST QUALITY, NURSERY GROWN STOCK, FREE FROM DISEASE OR OBJECTIONABLE DISFIGUREMENTS. QUALITY AND SIZE OF PLANTS, INCLUDING ROOT SIZE SHALL BE IN ACCORDANCE WITH "AMERICAN STANDARDS FOR NURSERY STOCK" ANSI Z66.1 (MOST RECENT ADDITION) AS PUBLISHED BY THE AMERICAN ASSOCIATION OF NURSERYMEN.
- CONTRACTOR TO VERIFY ALL PLANT DISCREPANCIES INCLUDING PLANT QUANTITIES BETWEEN PLANT LIST AND PLAN. CONTRACTOR SHALL BE RESPONSIBLE FOR INSTALLING QUANTITY WHICH IS GREATER.
- NO SUBSTITUTES SHALL BE PERMITTED WITHOUT WRITTEN APPROVAL OF THE LANDSCAPE ARCHITECT.
- ALL PROPOSED PLANT MATERIAL SHALL BE BALLED AND BURLAPPED UNLESS NOTED OTHERWISE ON PLANTING SCHEDULE.
- ALL INSTALLED PLANT MATERIALS SHALL BEAR THE SAME RELATION TO GRADE WHEN INSTALLED ON SITE AS EXISTED IN NURSERY PRIOR TO DIGGING.
- HOLE FOR PLANT MATERIALS (B&B) SHALL BE DUG A MINIMUM OF TWICE THE BALL DIAMETER. ALL PLANTS SHALL BE LOCATED IN THE CENTER OF THEIR RESPECTIVE PITS.
- B&B PLANTS SHALL BE HANDLED FROM THE BOTTOM OF THE ROOT BALL ONLY. PLANTS WITH BROKEN, SPLIT OR DAMAGED ROOT BALLS SHALL BE REJECTED.
- PLANTS SHALL NOT BE BOUND AT ANY TIME WITH WIRE OR ROPE AS TO DAMAGE THE BARK AND BRANCHES.
- PLANT MATERIAL SHALL BE PLANTED ON THE DAY OF DELIVERY. IN THE EVENT THIS IS NOT POSSIBLE THE CONTRACTOR WILL PROTECT THE STOCK THAT IS NOT PLANTED AND KEEP WELL WATERED. PLANTS SHALL NOT REMAIN UNPLANTED FOR MORE THAN A THREE DAY PERIOD AFTER BEING DELIVERED.
- ALL STAKING AND GUYING WIRES SHALL BE FLAGGED WITH A BRIGHT REFLECTIVE MATERIAL TO WARN PEDESTRIANS
- TOPSOIL AND SEED ALL AREAS DISTURBED BY CONSTRUCTION AND ALL LOCATIONS SHOWN AS LAWN AREAS ON PLAN.
- ALL PLANTS SHALL BE PLANTED IN AN APPROVED BACKFILL MIXTURE THAT IS THOROUGHLY WATERED AND TAMPED AS BACKFILLING PROGRESSES. ONLY SUITABLE TOPSOIL, FREE OF DRY SOD, STIFF CLAY, LITTER ETC., SHALL BE USED FOR PLANTING
- ALL SHRUB BEDS AND TREE SAUCERS TO BE MULCHED AS DETAILED.
- THE CONTRACTOR SHALL REPORT ANY SOIL OR DRAINAGE CONDITIONS CONSIDERED DETRIMENTAL TO THE GROWTH OF ANY OF THE PROPOSED PLANTING MATERIAL.
- PROVIDE SNOW/TREE PROTECTION FENCING AS REQUIRED AROUND EXISTING TREES TO BE SAVED.
- CONTRACTOR SHALL GUARANTEE ALL PLANT MATERIAL (NOT INCLUDING LAWNS) FOR A PERIOD OF ONE (1) YEAR FROM DATE OF ACCEPTANCE.
- AFTER THE PLANTING CONTRACTOR HAS COMPLETED THE TERMS OF HIS CONTRACT, THE OWNER SHALL BE RESPONSIBLE FOR THE MAINTENANCE OF ALL PROPOSED PLANTINGS BY PROVIDING THE CORRECT METHODS OF WEEDING, SPRAYING, WATERING, PRUNING AND FERTILIZING ACCORDING TO GOOD HORTICULTURAL PRACTICE.

MAINTENANCE NOTES:

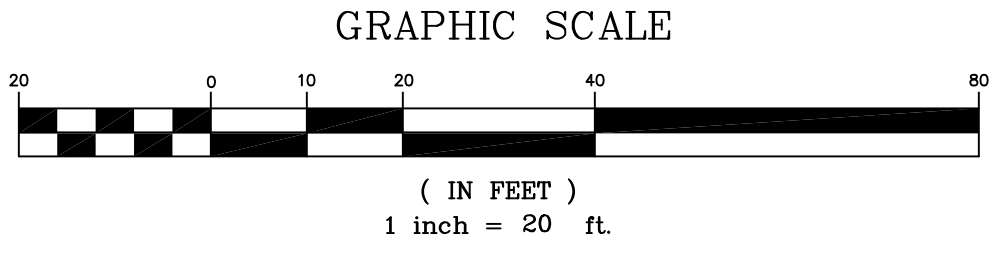
- VERIZON TO MAINTAIN PROPERTY WITH YEARLY FALL CLEANING.
- VERIZON TO MAINTAIN SNOW REMOVAL TO CONCRETE MONUMENTS FOUND AT FRONT PROPERTY CORNERS.

SOLID SCREEN NOTES:

- THE PROPOSED FENCE AND INSERTS WILL PROVIDE A 15' TALL SOLID SCREENING OF THE 14'-10\"/>

SLOPES NOTES:

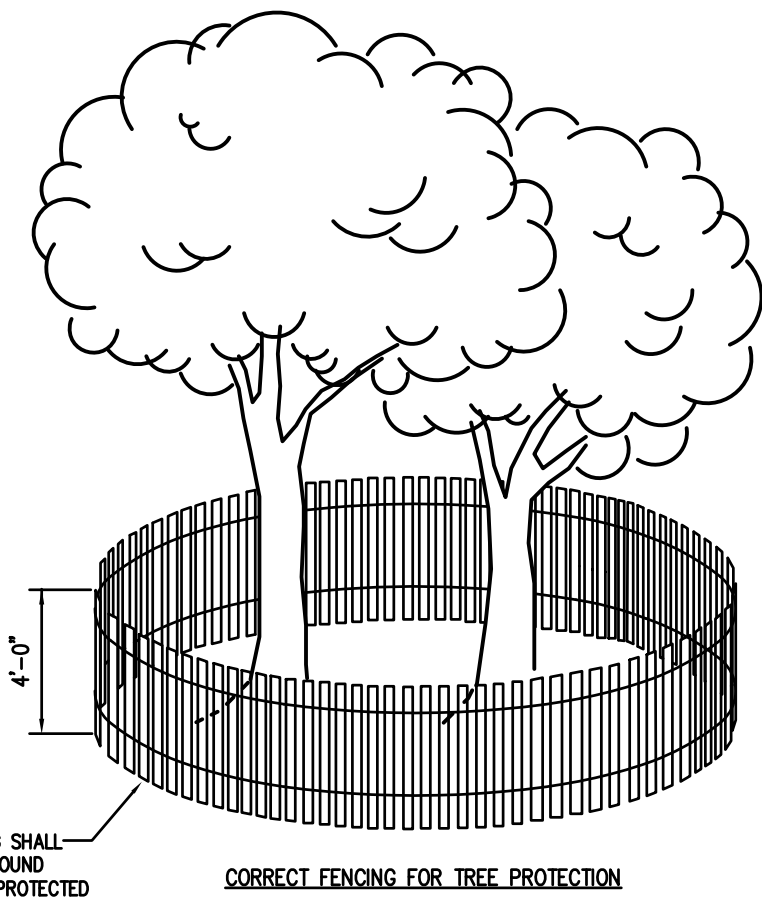
- AREA OF PROPERTY WITH SLOPES GREATER THAN 10% SHOWN. (SHADED)
- 979 SF TOTAL 10% SLOPES TO REMAIN UNDEVELOPED.



ESTIMATE A TREE'S PROTECTED ROOT ZONE (PRZ) BY CALCULATING THE CRITICAL ROOT RADIUS (CRR).

- MEASURE THE DBH (DIAMETER OF TREE AT BREAST HEIGHT, 4.5 FEET ABOVE GROUND ON THE UPHILL SIDE OF TREE) IN INCHES.
- MULTIPLY MEASURED DBH BY 1.5 OR 1.0. EXPRESS THE RESULT IN FEET.

DBH X 1.5: CRITICAL ROOT RADIUS FOR OLDER, UNHEALTHY, OR SENSITIVE SPECIES.
 DBH X 1.0: CRITICAL ROOT RADIUS FOR YOUNGER, HEALTHY OR TOLERANT SPECIES.



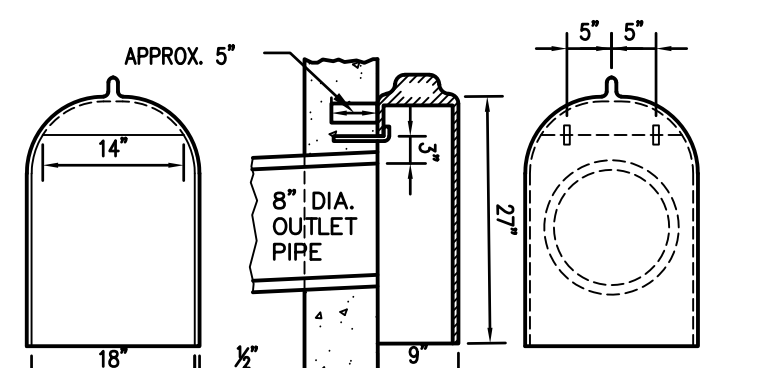
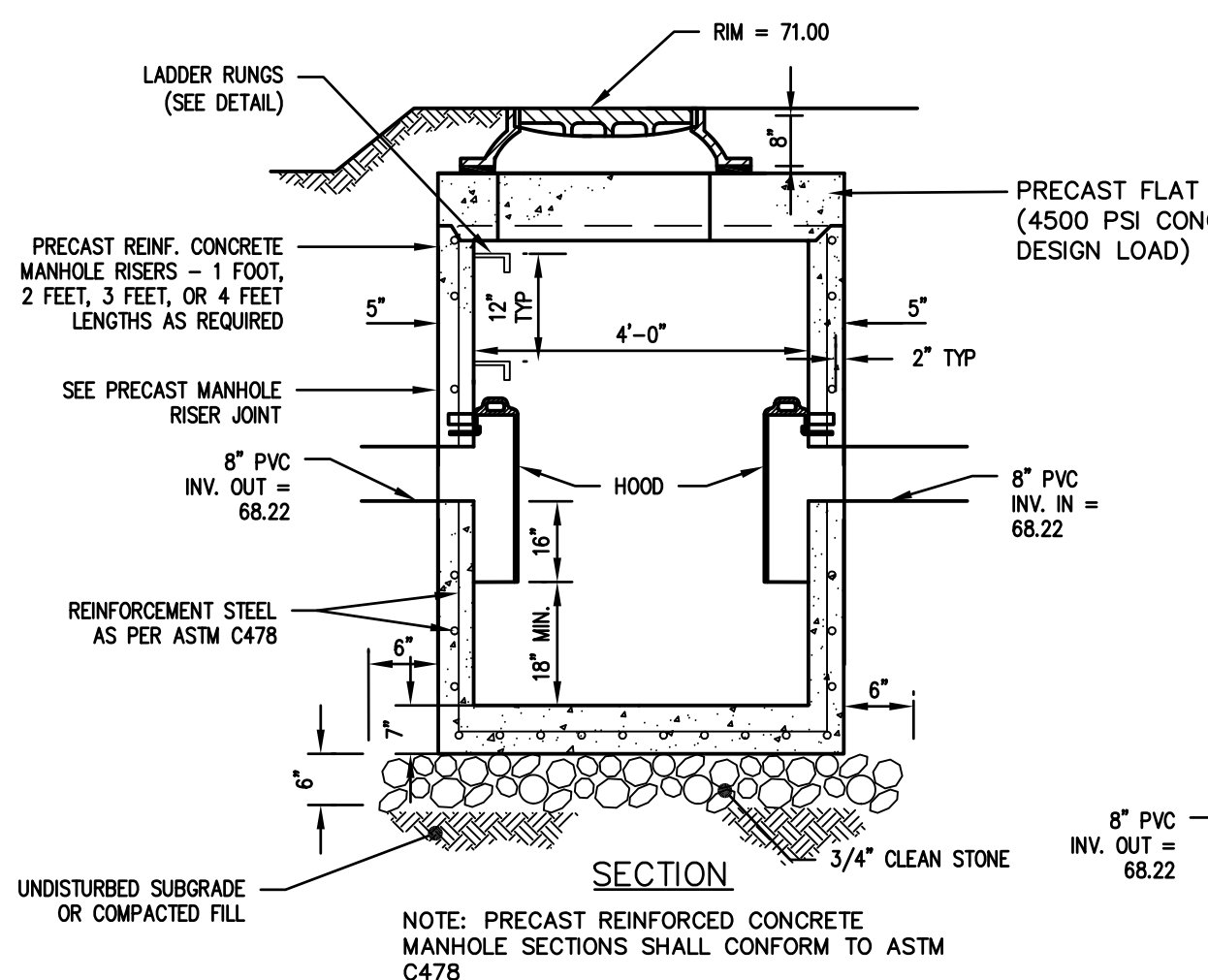
ROOT PROTECTION FENCING

PROTECT YOURSELF
 A PHONE CALL CAN BE YOUR INSURANCE POLICY

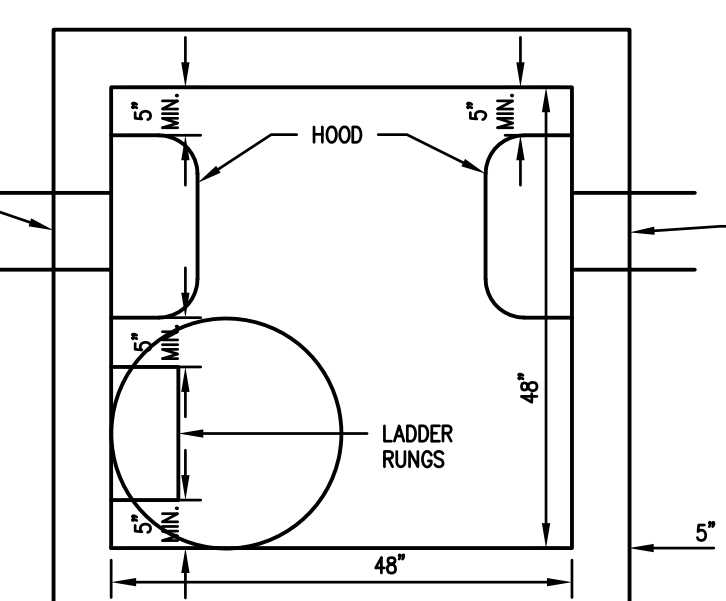
THE STATE OF NEW JERSEY REQUIRES NOTIFICATION OF EXCAVATIONS DESIGNERS OR ANY PERSON PREPARING TO DISTURB THE EARTH'S SURFACE ANYWHERE IN THE STATE.

LANDSCAPE ARCHITECT: JEFFREY D. REYNOLDS, P.L.A. (02)1006-4777/22

USE CAMPBELL FOUNDRY PATTERN #1202B, OR APPROVED EQUAL, MANHOLE FRAME AND COVER

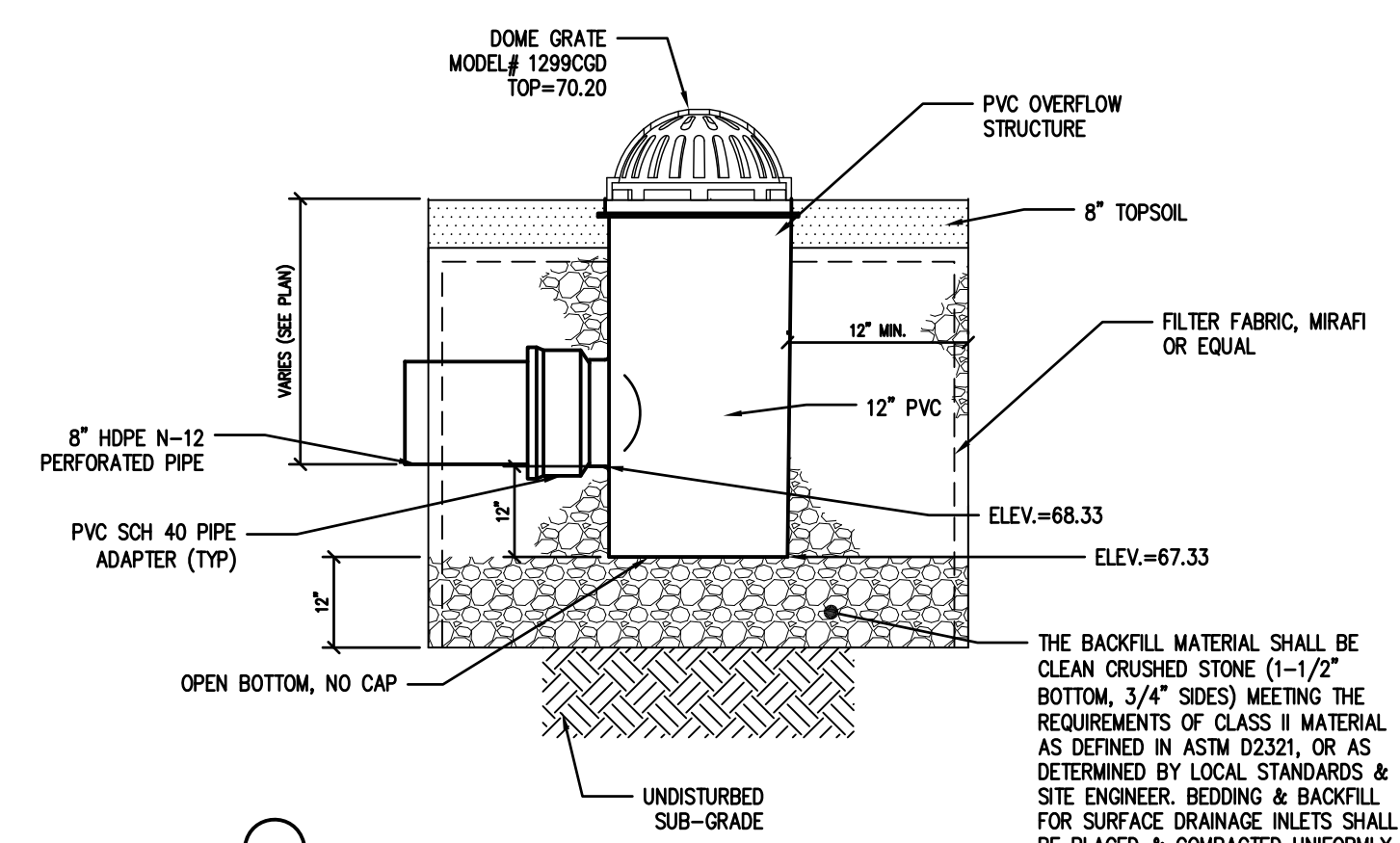


PATTERN NUMBER 2564
AS MANUFACTURED BY CAMPBELL OR APPROVED EQUAL
STANDARD CAST IRON HOOD WITH STAINLESS STEEL HOOKS FOR CATCH BASIN



PRECAST CONCRETE STORM MANHOLE WITH HOOD
(48"x48" BOX)

- NOTES:
1. ALL MANHOLES SHALL BE CONSTRUCTED IN ACCORDANCE WITH CURRENT N.J.DOT SPECIFICATIONS FOR ROAD AND BRIDGE CONSTRUCTION, AND ITS AMENDMENTS.
 2. CASTINGS OF PRECAST MANHOLES SHALL BE ADJUSTED TO GRADE WITH COURSES OF BRICK, CONCRETE BLOCK, OR CONCRETE GRADING RINGS AS REQUIRED, 12 INCHES MAXIMUM.
 3. COPOLYMER POLYPROPYLENE PLASTIC LADDER RUNGS SHALL BE INSTALLED AT 12" O.C.



Roof Drain Cleanout with Sump
(AS MANUF. BY NYLOPLAST)

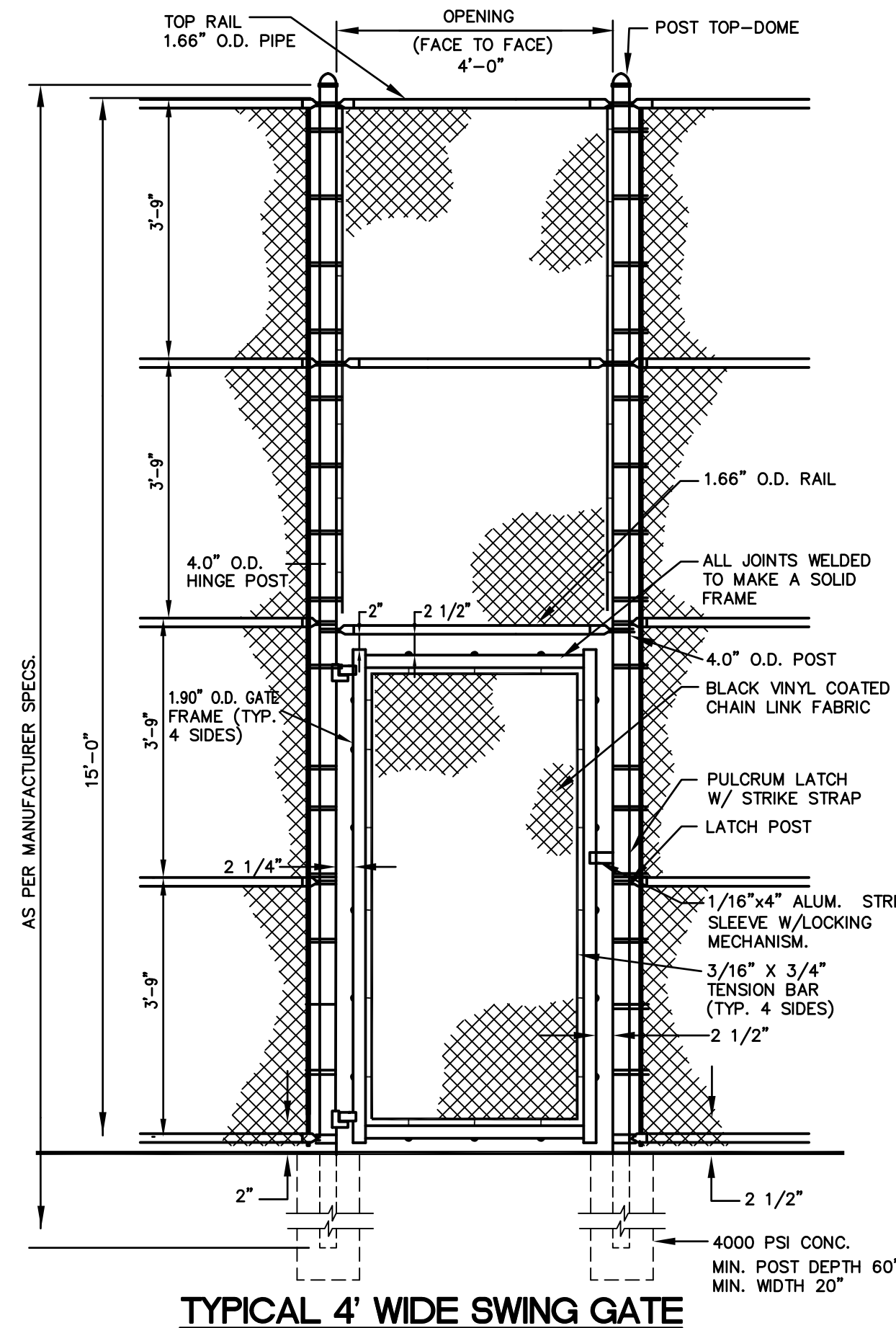
MATERIAL SPECIFICATIONS:
THE OVERFLOW STRUCTURE SHALL BE MANUFACTURED FROM PVC PIPE STOCK, UTILIZING A THERMO-MOLDING PROCESS TO REFORM THE PIPE STOCK TO THE SPECIFIED CONFIGURATION. THE DRAINAGE PIPE CONNECTION STUBS SHALL BE MANUFACTURED FROM PVC PIPE STOCK AND FORMED TO PROVIDE A WATER TIGHT CONNECTION WITH THE SPECIFIED PIPE SYSTEM. THIS JOINT TIGHTNESS SHALL CONFORM TO ASTM D3212 FOR JOINTS FOR DRAIN AND SEWER PLASTIC PIPE USING FLEXIBLE ELASTOMERIC SEALS. THE FLEXIBLE ELASTOMERIC SEALS SHALL CONFORM TO ASTM F477. THE PIPE BELL SPIGOT SHALL BE JOINED TO THE MAIN BODY OF THE DRAIN BASIN OR CATCH BASIN. THE RAW MATERIAL USED TO MANUFACTURE THE PIPE STOCK THAT IS USED TO MANUFACTURE THE MAIN BODY AND PIPE STUBS OF THE SURFACE DRAINAGE INLETS SHALL CONFORM TO ASTM D1784 CELL CLASS 12454.

A DOME GRATE FURNISHED FOR THE OVERFLOW STRUCTURE SHALL BE DUCTILE IRON AS SHOWN AND SHALL BE MADE SPECIFICALLY FOR STRUCTURE SO AS TO PROVIDE A ROUND BOTTOM FLANGE THAT CLOSELY MATCHES THE DIAMETER OF THE PIPE. METAL USED IN THE MANUFACTURE OF THE CASTINGS SHALL CONFORM TO ASTM A536 GRADE 70-50-05 FOR DUCTILE IRON. CASTING SHALL BE PAINTED BLACK AND WITH LOCKING DEVICE.

ROOF DRAIN CLEANOUT WITH SUMP
(AS MANUF. BY NYLOPLAST)

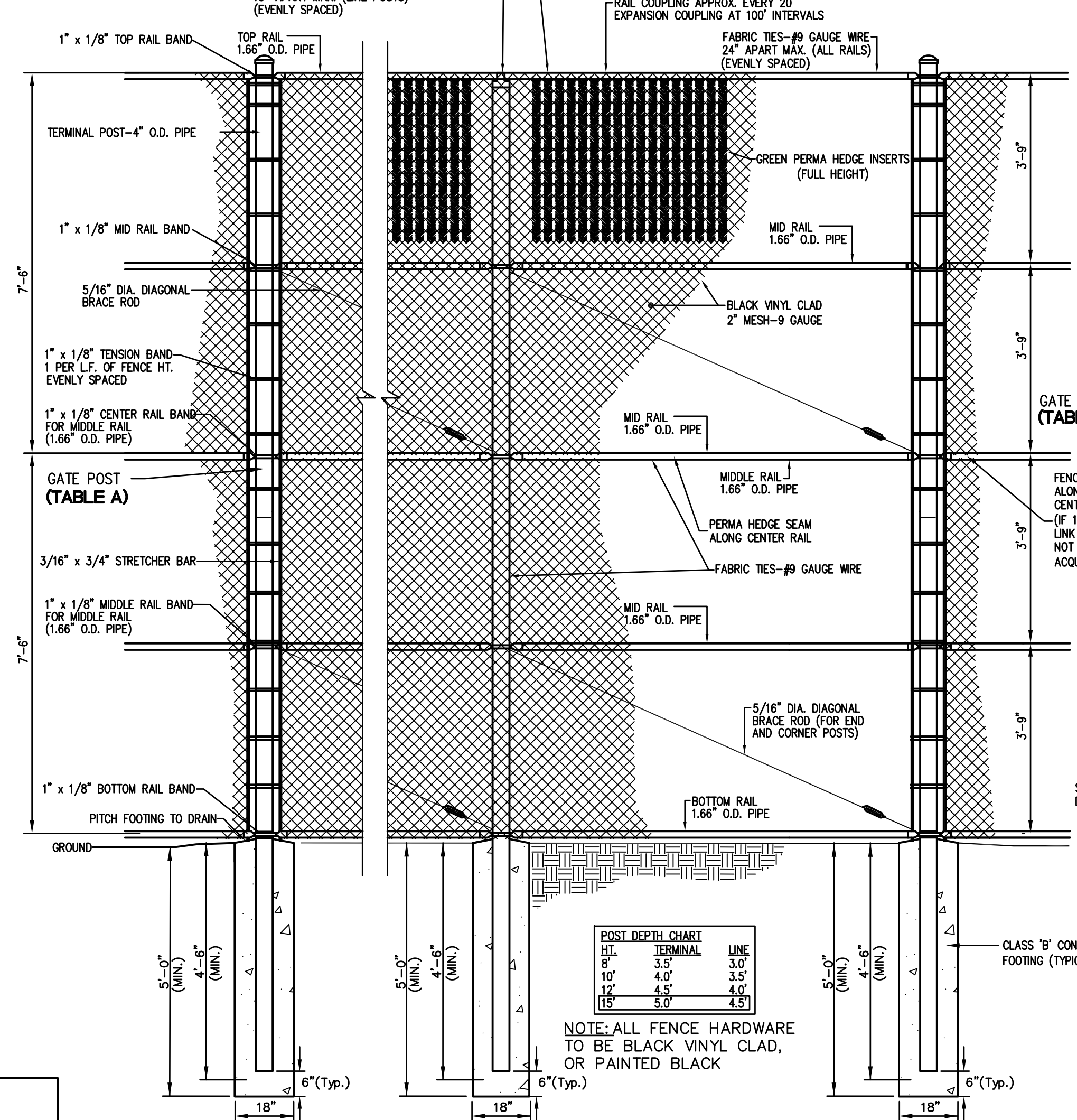


PERMA-HEDGE CHAIN LINK FENCE INSERTS



TYPICAL 4' WIDE SWING GATE

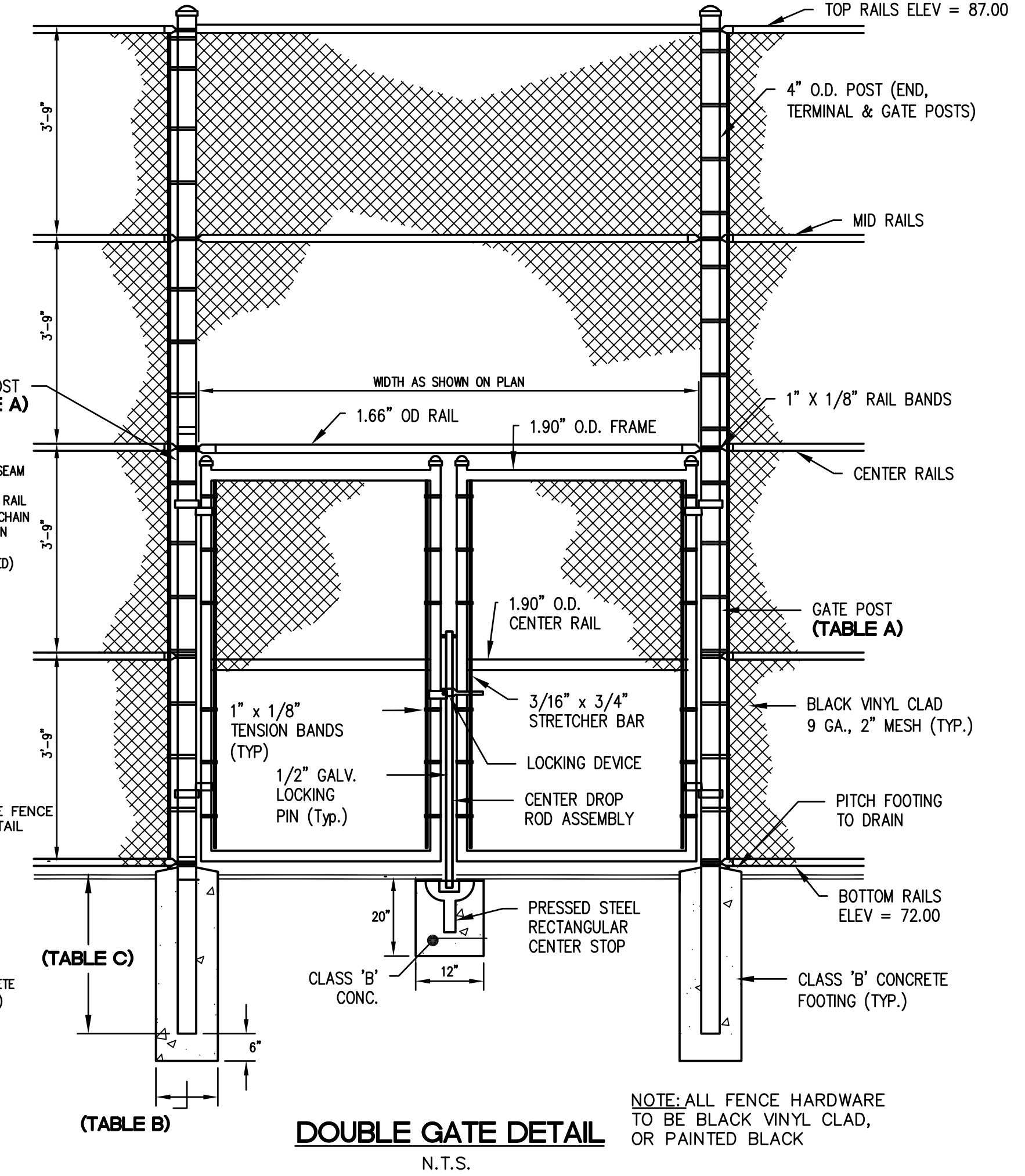
NOTE: ALL FENCE HARDWARE TO BE BLACK VINYL CLAD, OR PAINTED BLACK



15' CHAIN LINK FENCE (VINYL CLAD BLACK)
(W/PERMA HEDGE INSERTS GREEN)

- NOTES:
1. POSTS SHALL BE EVENLY SPACED A MAXIMUM OF 10 FT. ON CENTER.
 2. MESH FENCE FABRIC ON EXTERIOR FACING AWAY.
 3. MIDDLE RAIL TO BE INSTALLED ALL AROUND. (SEE RAIL SPACING)

FT.	TERMINAL	LINE
8'	3.5"	3.0"
10'	4.0"	3.5"
12'	4.5"	4.0"
15'	5.0"	4.5"



DOUBLE GATE DETAIL
N.T.S.

NOTE: ALL FENCE HARDWARE TO BE BLACK VINYL CLAD, OR PAINTED BLACK

GATE DIMENSION TABLES

MIN. GATE POST DIAMETER	FENCE HEIGHT	GATE LEAF WIDTH	POST SIZE	ACTUAL O.D.
6' OR LESS	4' OR LESS	4' OR LESS	2.375"	10"
	4' TO 10'	OVER 10' TO 18'	2.875"	12"
	OVER 10'		4.0"	20"
OVER 6'	6' OR LESS	OVER 6' TO 12'	6.625"	24"
	OVER 6' TO 12'	OVER 12' TO 18'	8.625"	32"
	OVER 12' TO 18'	OVER 18' TO 24'		

MIN. GATE POST DIAMETER	POST	HOLE DIAMETER
6' OR LESS	2.375"	10"
4' TO 10'	2.875"	12"
OVER 10' TO 18'	4.0"	20"
6' OR LESS	6.625"	24"
OVER 6' TO 12'	8.625"	32"

MIN. GATE POST DEPTH	FENCE HEIGHT	POST DEPTH
4'-6"	4'-6"	36"
8'	10'	36"
10'	12'	42"
15'	15'	48"
		54"

revisions		
no.	date	description
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LEGEND

- ⊕ GAS VALVE
- ⊕ WATER METER
- ⊕ WATER VALVE
- ⊕ HYDRANT
- ⊕ WATER METER
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- X — FENCE
- RAILING
- WALL
- ⊕ GATE POST
- W — WATER LINE
- G — GAS LINE
- E — ELECTRIC LINE
- S — SANITARY LINE
- OH — OVERHEAD WIRES



The Reynolds Group Inc.

State of New Jersey
Certificate of Authorization
Number 24GA27969200
21MH00004300

F. Mitchell Ardman
F. MITCHEL ARDMAN
N.J. PROFESSIONAL ENGINEER LIC. NO. 34317

project
PENNS NECK VERIZON PROPOSED GENERATOR
BLOCK 6, LOT 72
TOWNSHIP OF WEST WINDSOR
MERCER COUNTY, NEW JERSEY

CONSTRUCTION DETAILS

job number	20-010	drawing number	
scale	1"=20'		
checked by	FMA		
drawn by	AR		
date	07/22/20	sheet	5 of 6

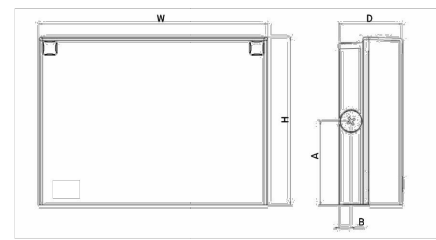
SP-4



WPX LED Wall Packs



Specifications



Luminaire	Height (H)	Width (W)	Depth (D)	Side Conduit Location		Weight
				A	B	
WPX1	8.1" (20.6 cm)	11.1" (28.1 cm)	3.2" (8.1 cm)	4.0" (10.3 cm)	0.6" (1.6 cm)	6.1 lbs (2.8 kg)
WPX2	8.1" (20.6 cm)	12.2" (31.1 cm)	4.1" (10.5 cm)	4.7" (11.9 cm)	0.7" (1.8 cm)	8.2 lbs (3.7 kg)
WPX3	9.5" (24.1 cm)	13.8" (35.0 cm)	5.5" (13.9 cm)	4.7" (11.9 cm)	0.7" (1.8 cm)	11.0 lbs (5.0 kg)

Ordering Information

EXAMPLE: WPX2 LED 40K MVOLT DDBXD

Series	Color Temperature	Voltage	Options	Finish
WPX1 LED P1	1,550 Lumens, 11W	30K 3000K	(Blank) None	DDBD Dark Bronze
WPX1 LED P2	2,900 Lumens, 24W	40K 4000K	E4HW Emergency battery backup, CCC compliant (4W, 0°C min)	DWDWD White
WPX2 LED	6,000 Lumens, 47W	50K 5000K	E4HW Emergency battery backup, CCC compliant (14W, -20°C min)	DBDD Black
WPX3 LED	9,200 Lumens, 69W		PE Photocell	Note: For other options, consult factory.

Note: The lumen output and input power shown in the ordering tree are average representations of all configuration options. Specific values are available on request.

FEATURES & SPECIFICATIONS

INTENDED USE

The WPX LED wall packs are designed to provide a cost-effective, energy-efficient solution for the one-for-one replacement of existing HID wall packs. The WPX1, WPX2 and WPX3 are ideal for replacing up to 150W, 200W, and 400W HID luminaires respectively. WPX luminaires deliver a uniform, wide distribution. WPX is rated for 40°C to 60°C.

CONSTRUCTION

WPX features a die-cast aluminum main body with optimal thermal management that both enhances LED efficacy and extends component life. The luminaires are IP66-rated and sealed against moisture or environmental contaminants.

ELECTRICAL

Light engine configurations consist of high-efficiency LEDs and LED lumen maintenance of 100,000 hours. Color temperature (CCT) options of 3000K, 4000K and 5000K with minimum CRI of 70. Electronic drivers ensure system power factor >90% and THD <20%. All luminaires have 6kV surge protection (Note: WPX1 LED P1 package comes with a standard surge protection rating of 2.5kV. It can be ordered with an optional 6kV surge protector). All photocell (PE) operate on MVOLT (120V - 277V) input.

Note: The standard WPX LED wall pack luminaires come with field-adjustable drive current feature. This feature allows tuning the output current of the LED drivers to adjust the lumen output to dim the luminaire.

INSTALLATION

WPX can be mounted directly over a standard electrical junction box. Three 1/2 inch conduit ports on three sides allow for surface conduit wiring. A port on the back surface allows pole-through conduit wiring on surfaces that don't have an electrical junction box. Wiring can be made in the integral wiring compartment in all cases. WPX is only recommended for installations with LEDs facing downwards.

LISTINGS

CCC Certified to meet U.S. and Canadian standards. Suitable for wet locations. IP66 Rated. DesignLights Consortium® (DLC) qualified product. Not all versions of this product may be DLC qualified. Please check the DLC Qualified Products List at www.dlc.com to confirm which versions are qualified. International Dark Sky Association (IDA) Fixture Seal of Approval (FSAA) is available for all products on this page utilizing 3000K color temperature only.

WARRANTY

5-year limited warranty. Complete warranty terms located at www.lithonia.com/customer-service/terms-and-conditions. Note: Actual performance may differ as a result of end-user environment and application. All values are design or typical values, measured under laboratory conditions at 25°C. Specifications subject to change without notice.



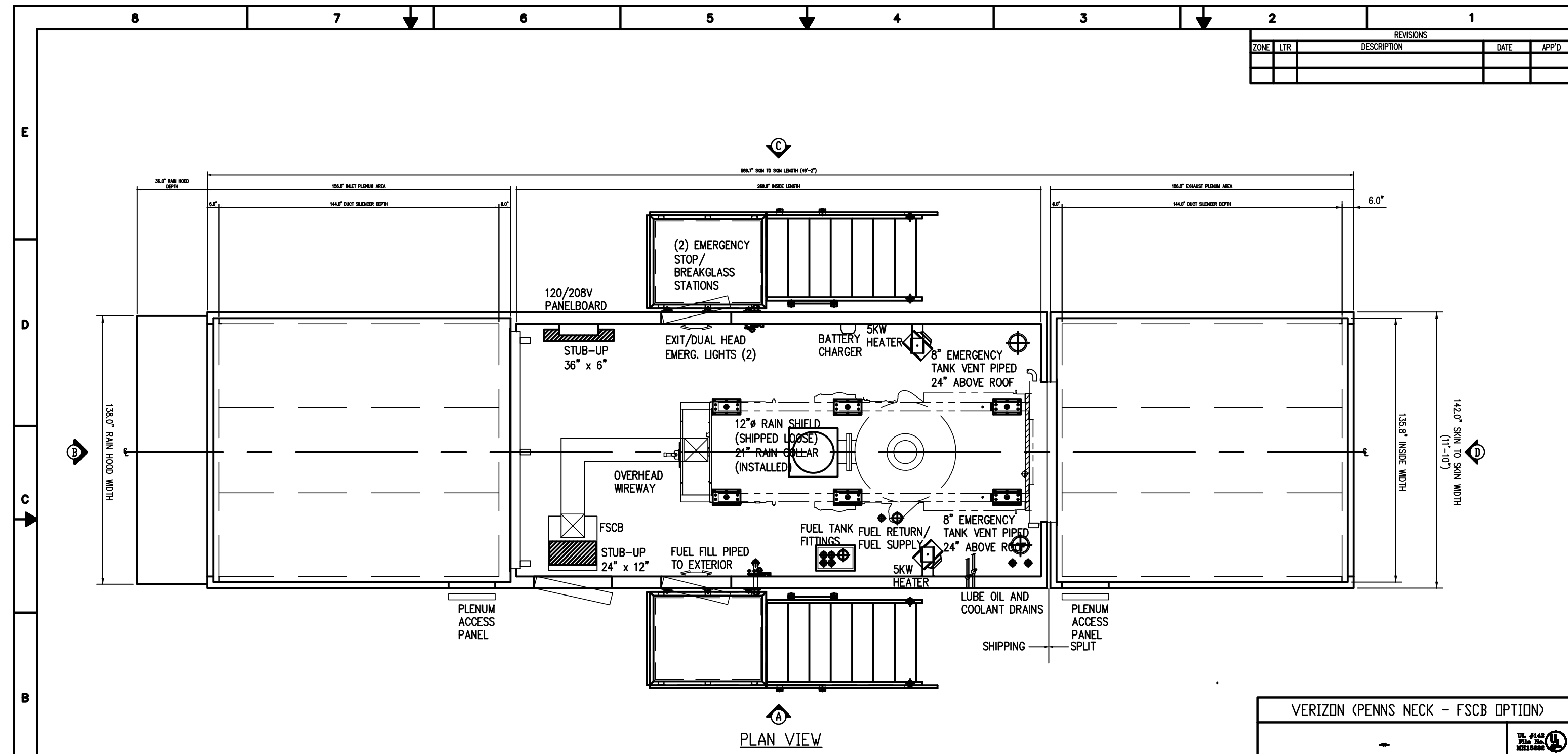
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WPX LED
Rev: 08/31/21

LIGHT DETAIL

SOLID SCREEN NOTES:

- THE PROPOSED FENCE AND INSERTS WILL PROVIDE A 15' TALL SOLID SCREENING OF THE 14'-10" TALL GENERATOR.
- FENCE INSERTS ARE TO BE MAINTAINED AS NECESSARY TO RETAIN A COMPLETE VISUAL BARRIER. ANY INSERTS THAT DENIGRATE TO ALLOW VIEWS BEYOND, OR ARE REMOVED ON PURPOSE OR BY MEANS OF NATURAL EVENTS SHALL BE REPLACED AS SOON AS POSSIBLE.



VERIZON (PENNS NECK - FSCB OPTION)

CUSTOMER: FOLEY MACHINERY

REFERENCE: VERIZON PENNS NECK - FSCB OPTION

DATE: 09/23/20

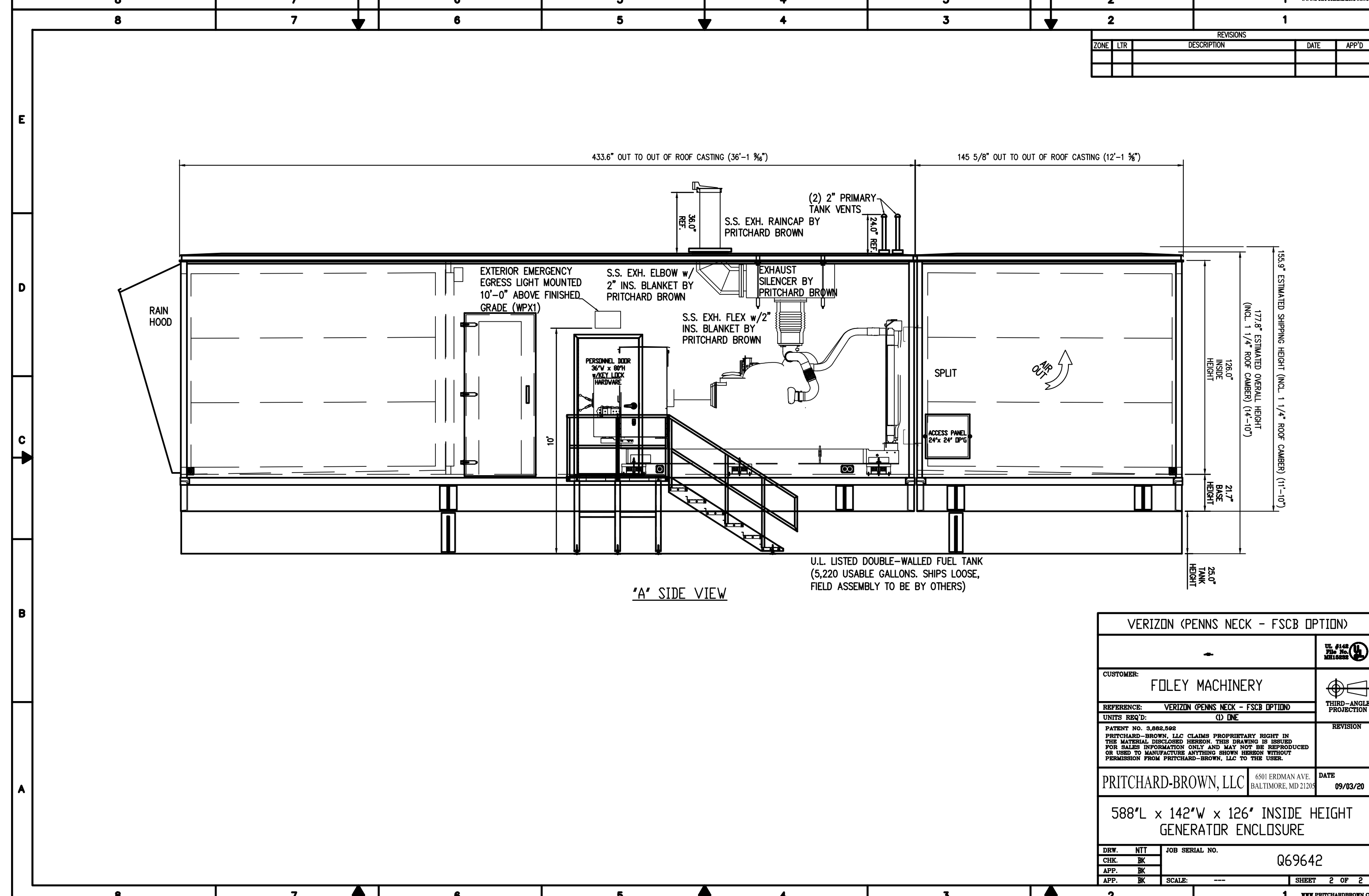
PRITCHARD-BROWN, LLC 450 IRIDMAN AVE BALTIMORE, MD 21208

588'L x 142'W x 126' INSIDE HEIGHT GENERATOR ENCLOSURE

JOB SERIAL NO: Q69642

DATE: 09/23/20

SCALE: --- SHEET 2 OF 2



VERIZON (PENNS NECK - FSCB OPTION)

CUSTOMER: FOLEY MACHINERY

REFERENCE: VERIZON PENNS NECK - FSCB OPTION

DATE: 09/23/20

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project

PENNS NECK VERIZON PROPOSED GENERATOR

BLOCK 6, LOT 72
TOWNSHIP OF WEST WINDSOR
MERCER COUNTY, NEW JERSEY

drawing title

GENERATOR ENCLOSURE DETAILS

job number: 20-010

scale: 1"=20'

checked by: FMA

drawn by: AR

date: 07/22/20

drawing number: **SP-5**

sheet 6 of 6

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