

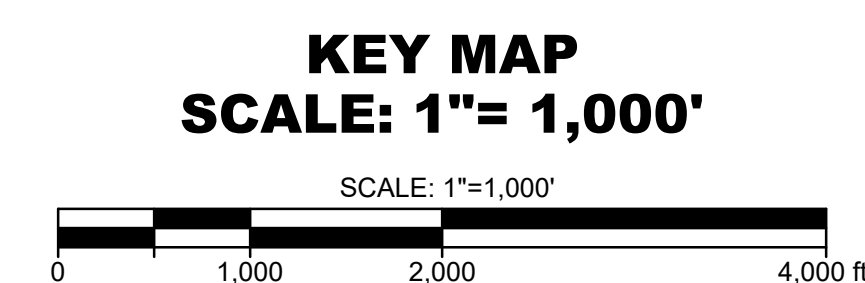
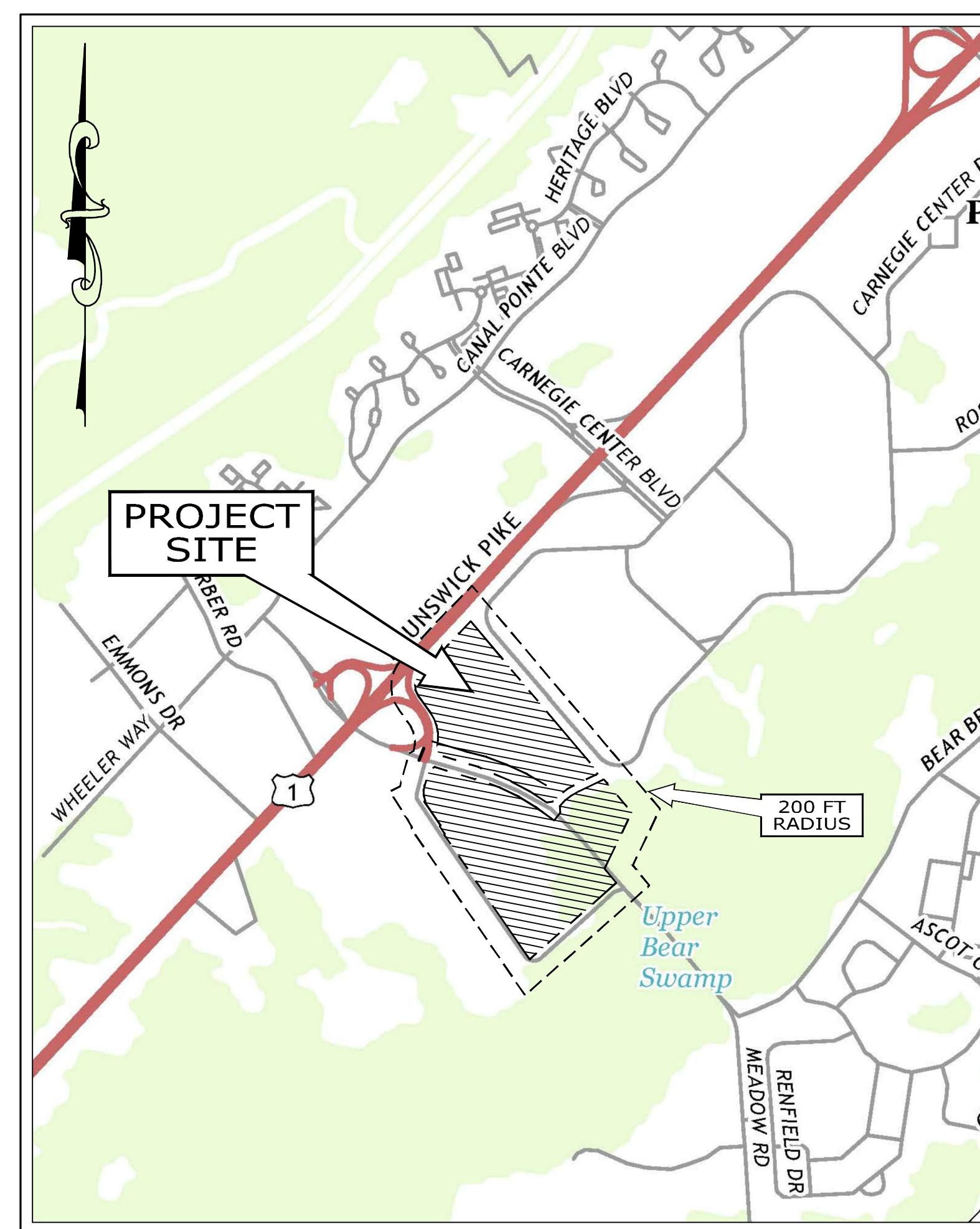
# PRELIMINARY & FINAL MAJOR SUBDIVISION AND PRELIMINARY & FINAL MAJOR SITE PLAN FOR **PROPOSED HOTEL (PHASE 1)** AND **PROPOSED RESIDENTIAL DEVELOPMENT (PHASE 2)** AND **PRELIMINARY MAJOR SITE PLAN FOR PROPOSED RETAIL & RESTAURANT (PHASE 3)** & **PROPOSED RESIDENTIAL DEVELOPMENT (PHASE 4)**

## **PRINCETON EXECUTIVE PARK BLOCK 9, LOTS 12.01 & 12.03 BLOCK 9.03, LOT 12.02**

**TAX MAP SHEET 2, DATED MAY 16, 1998, REV. MARCH 2005**

### **WEST WINDSOR TOWNSHIP MERCER COUNTY, NEW JERSEY**

INDEX OF SHEETS	
SHEET	DESCRIPTION
1	COVER SHEET
2	GENERAL NOTES AND ZONING PLAN
3	CONSTRAINTS MAP
4	DEMOLITION PLAN
5	TREE REMOVAL PLAN
6	PHASING PLAN
7	OVERALL SITE PLAN
8-11	LAYOUT AND DIMENSIONING PLAN
12	OVERALL GRADING PLAN
13	OVERALL UTILITIES PLAN
14-17	GRADING AND UTILITIES PLAN
18	GRADING-HOTEL PLAN ENLARGEMENT
19	ADA GRADING - RESIDENTIAL PLAN
20-26	PROFILES
27	OVERALL SOIL EROSION & SEDIMENT CONTROL PLAN
28-31	SOIL EROSION & SEDIMENT CONTROL PLAN
32-33	SOIL EROSION AND SEDIMENT CONTROL NOTES & DETAILS
34	TRAFFIC SIGNAGE PLAN
35	WB-50 TRUCK TURNING PLAN
36-39	GARBAGE TRUCK TURNING PLAN
40-43	FIRE TRUCK TURNING PLAN
44	FIRE HYDRANT LOCATION PLAN
45-47	CONSTRUCTION DETAILS
48-49	WEST WINDSOR STANDARD SANITARY SEWER DETAILS



- 1A. PRELIMINARY AND FINAL MAJOR SITE PLAN OF PROPOSED HOTEL (PHASE 1) BLOCK 9 LOT 12.01, ZONE PMN-1
- 1B. PRELIMINARY AND FINAL MAJOR SUBDIVISION OF PROPOSED HOTEL & RESTAURANT BLOCK 9 LOT 12.01, ZONE PMN-1
- 1C. PRELIMINARY AND FINAL MAJOR SITE PLAN OF PROPOSED RESIDENTIAL (PHASE 2) BLOCK 9 LOT 12.01, ZONE PMN-1
- 1D. PRELIMINARY MAJOR SITE PLAN FOR PROPOSED RETAIL AND RESTAURANT DEVELOPMENT (PHASE 3) BLOCK 9 LOT 12.01, ZONE PMN-1
- 1E. PRELIMINARY MAJOR SITE PLAN FOR PROPOSED RESIDENTIAL DEVELOPMENT (PHASE 4) BLOCK 9.03 LOT 12.02, ZONE PMN-1

DATE: MARCH 27, 2020

SCALE: 1"=30'

OWNER/APPLICANT: PALLADIUM REALTY LLC  
 C/O MACK-CALI REALTY CORPORATION  
 ATTN: GARY T. WAGNER GEN. COUNSEL & SECRETARY  
 HARBORSIDE 3,  
 210 HUDSON STREET, SUITE 400  
 JERSEY CITY, NJ 07311

SITE PLAN CONTROL NO. \_\_\_\_\_

2. I CONSENT TO THE FILING OF THIS SITE PLAN WITH THE PLANNING BOARD OF WEST WINDSOR TOWNSHIP.  
 OWNER \_\_\_\_\_ DATE \_\_\_\_\_
3. TO BE SIGNED BEFORE ISSUANCE OF A BUILDING PERMIT AND INCORPORATED ONLY ON A FINAL SITE PLAN (AS APPLICABLE):

I HEREBY CERTIFY THAT A BOND HAS BEEN POSTED FOR ALL THE REQUIRED IMPROVEMENTS IN COMPLIANCE WITH ALL APPLICABLE CODES AND ORDINANCES.

TOWNSHIP CLERK \_\_\_\_\_ DATE \_\_\_\_\_

4. TO BE INCORPORATED ONLY ON FINAL SITE PLAN AND SIGNED PRIOR TO ISSUANCE OF A BUILDING PERMIT:

VERIFICATION THAT PAYMENT OF MUNICIPAL TAXES OR ASSESSMENTS IS CURRENT

TOWNSHIP CLERK \_\_\_\_\_ DATE \_\_\_\_\_

5. APPROVED BY THE PLANNING BOARD (PRELIMINARY APPROVAL DATE) \_\_\_\_\_  
 (FINAL APPROVAL DATE) \_\_\_\_\_

CHAIR \_\_\_\_\_ DATE \_\_\_\_\_

SECRETARY \_\_\_\_\_ DATE \_\_\_\_\_

6. APPROVED BY THE HEALTH OFFICER  
 CHAIRMAN \_\_\_\_\_ DATE \_\_\_\_\_

7. EXPIRATION OF APPROVAL (PRELIMINARY - 3YEARS; FINAL -2 YEARS)  
 DATE OF EXPIRATION (WITHOUT EXTENSIONS) \_\_\_\_\_

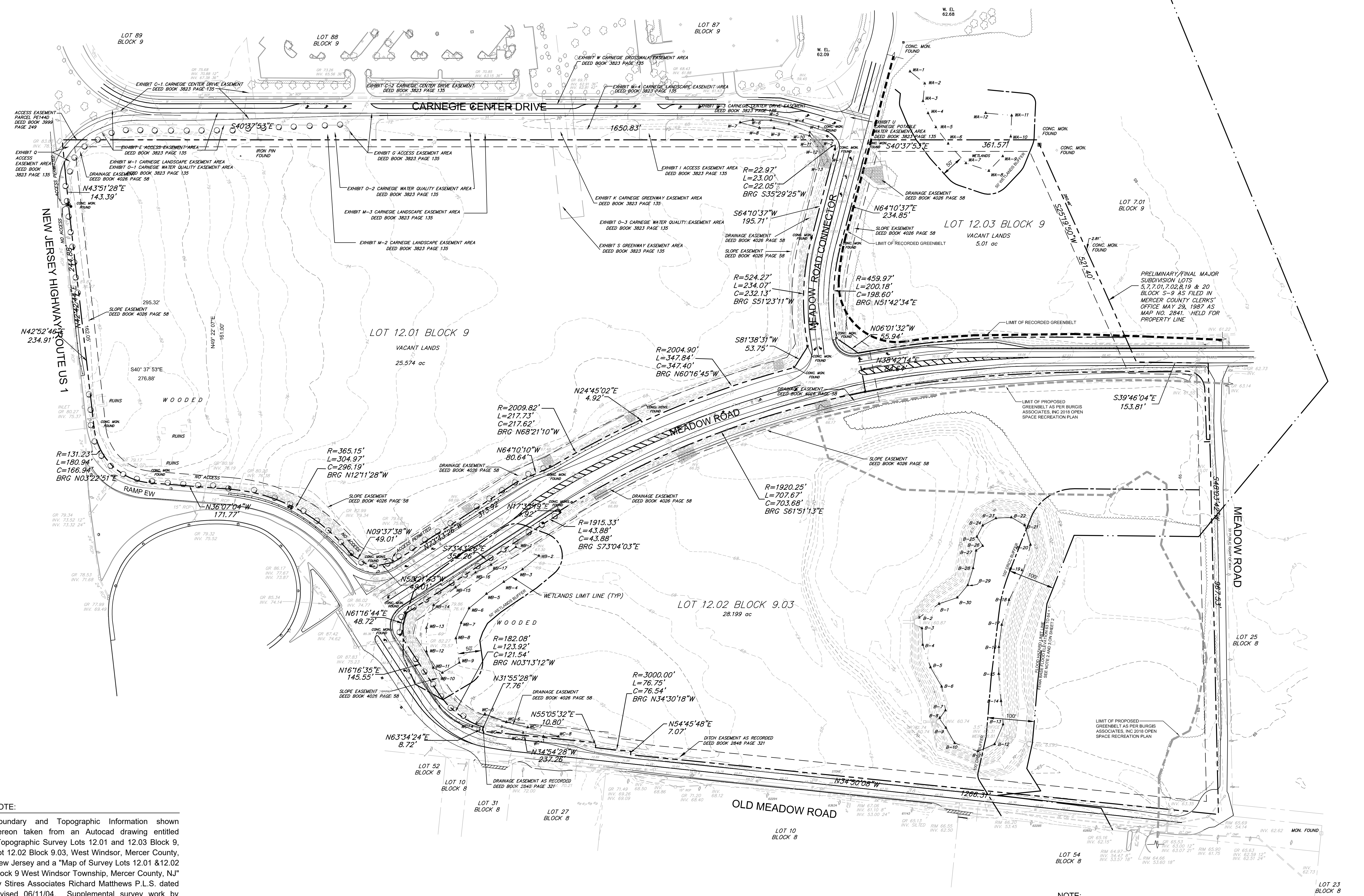
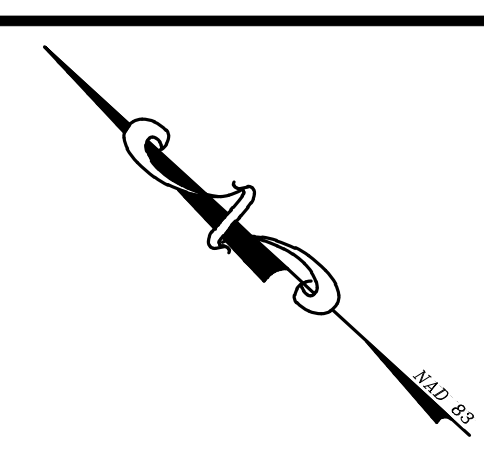
	Phone: 732-466-5000 Fax: 732-466-5001 No. Certificate: 24C29222000 No. 24C29222000 Email: N.J.BowmanConsulting.com
Geoffrey R. Lanza, N.J. Professional Engineer, Lic. 24G5036800	

PRELIMINARY AND FINAL SUBDIVISION AND PRELIMINARY AND FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PRELIMINARY MAJOR SITE PLAN FOR  
 PROPOSED RETAIL RESTAURANT & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 COVER SHEET  
 BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

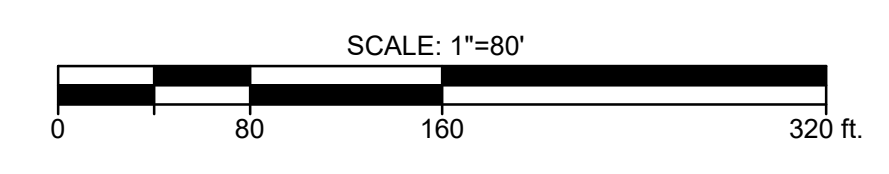
SHEET No.	DATE / REVISION
1	7
49	1



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 Emp:084823-0101



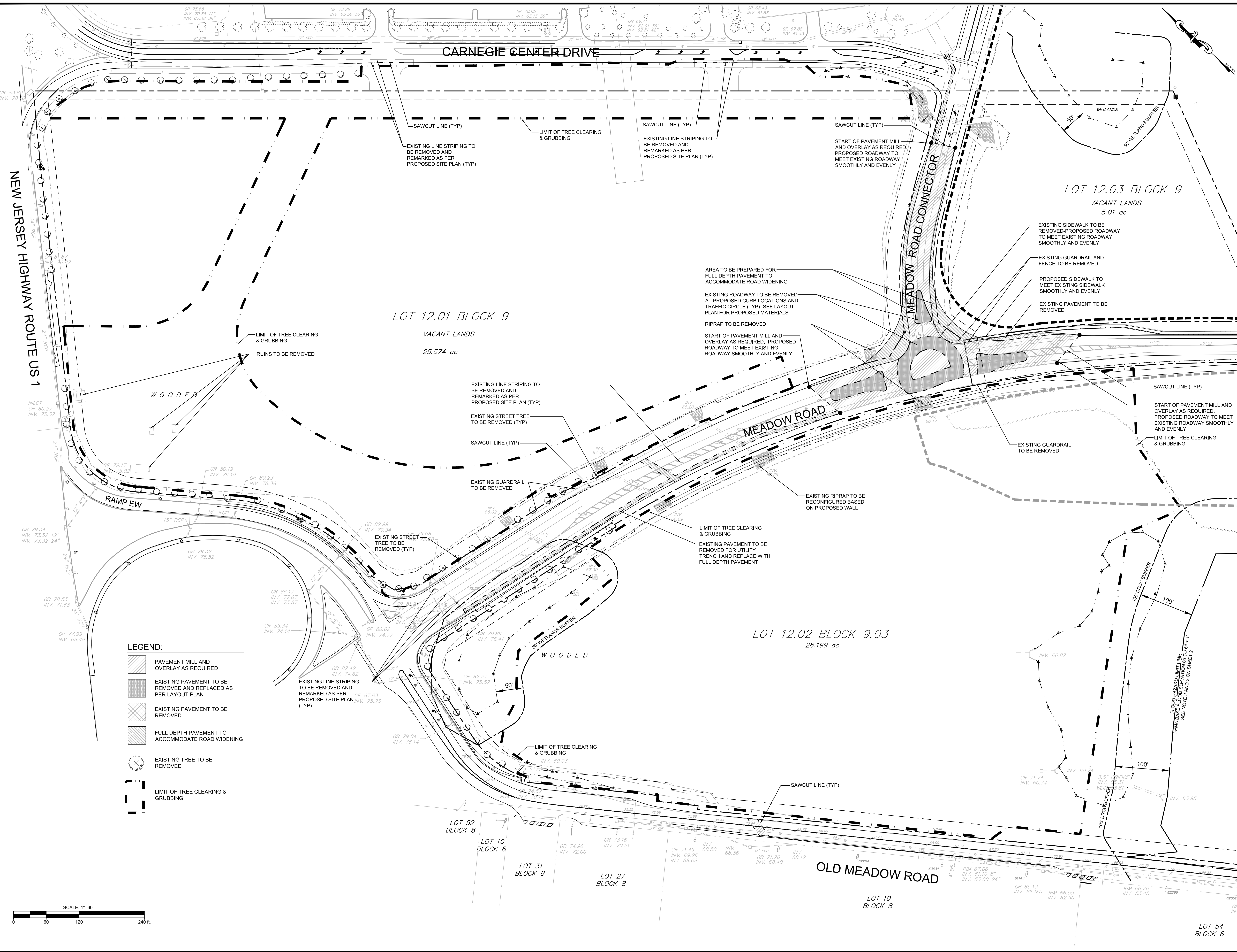
**NOTE:**  
 Boundary and Topographic Information shown hereon taken from an Autocad drawing entitled "Topographic Survey Lots 12.01 and 12.03 Block 9, Lot 12.02 Block 9.03, West Windsor, Mercer County, New Jersey and a "Map of Survey Lots 12.01 & 12.02 Block 9 West Windsor Township, Mercer County, NJ" by Stires Associates Richard Matthews P.L.S. dated revised 06/11/04. Supplemental survey work by Bowman Consulting February 2019.



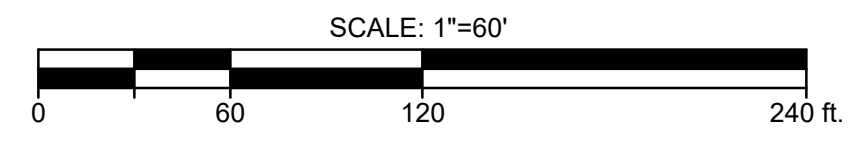
**NOTE:**  
 WETLANDS SHOWN PER NJDEP 1/12/17 LOI LINE VERIFICATION LETTER NUMBER 1113-05-0006.2FWW160001

SHEET NO. <div style="font-size: 2em; font-weight: bold;">3</div>	OF <div style="font-size: 2em; font-weight: bold;">49</div>	<b>CONSTRANTS MAP</b> PRINCETON EXECUTIVE PARK PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL DEVELOPMENT PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY BLOCK 9, LOTS 12.01, 12.02, 12.03, 12.05, 12.06, 12.07, 12.08, 12.09, 12.10, 12.11, 12.12, 12.13, 12.14, 12.15, 12.16, 12.17, 12.18, 12.19, 12.20, 12.21, 12.22, 12.23, 12.24, 12.25, 12.26, 12.27, 12.28, 12.29, 12.30, 12.31, 12.32, 12.33, 12.34, 12.35, 12.36, 12.37, 12.38, 12.39, 12.40, 12.41, 12.42, 12.43, 12.44, 12.45, 12.46, 12.47, 12.48, 12.49, 12.50, 12.51, 12.52, 12.53, 12.54, 12.55, 12.56, 12.57, 12.58, 12.59, 12.60, 12.61, 12.62, 12.63, 12.64, 12.65, 12.66, 12.67, 12.68, 12.69, 12.70, 12.71, 12.72, 12.73, 12.74, 12.75, 12.76, 12.77, 12.78, 12.79, 12.80, 12.81, 12.82, 12.83, 12.84, 12.85, 12.86, 12.87, 12.88, 12.89, 12.90, 12.91, 12.92, 12.93, 12.94, 12.95, 12.96, 12.97, 12.98, 12.99, 13.00
<b>Bowman CONSULTING</b> Bowman Consulting Group, Ltd. Phone: 732-665-5001 Fax: 732-665-5001 NJ Certificate of Professional Engineer No. 12C-0001152 www.bowmanconsulting.com Geoffrey R. Lanza		
PROFESSIONAL ENGINEER GEOFFREY R. LANZA N.J. Professional Engineer Lic. 24CE000600		
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL DEVELOPMENT PRINCETON EXECUTIVE PARK CONSTRANTS MAP TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY BLOCK 9, LOTS 12.01, 12.02, 12.03, 12.05, 12.06, 12.07, 12.08, 12.09, 12.10, 12.11, 12.12, 12.13, 12.14, 12.15, 12.16, 12.17, 12.18, 12.19, 12.20, 12.21, 12.22, 12.23, 12.24, 12.25, 12.26, 12.27, 12.28, 12.29, 12.30, 12.31, 12.32, 12.33, 12.34, 12.35, 12.36, 12.37, 12.38, 12.39, 12.40, 12.41, 12.42, 12.43, 12.44, 12.45, 12.46, 12.47, 12.48, 12.49, 12.50, 12.51, 12.52, 12.53, 12.54, 12.55, 12.56, 12.57, 12.58, 12.59, 12.60, 12.61, 12.62, 12.63, 12.64, 12.65, 12.66, 12.67, 12.68, 12.69, 12.70, 12.71, 12.72, 12.73, 12.74, 12.75, 12.76, 12.77, 12.78, 12.79, 12.80, 12.81, 12.82, 12.83, 12.84, 12.85, 12.86, 12.87, 12.88, 12.89, 12.90, 12.91, 12.92, 12.93, 12.94, 12.95, 12.96, 12.97, 12.98, 12.99, 13.00		

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- LEGEND:**
- PAVEMENT MILL AND OVERLAY AS REQUIRED
  - EXISTING PAVEMENT TO BE REMOVED AND REPLACED AS PER LAYOUT PLAN
  - EXISTING PAVEMENT TO BE REMOVED
  - FULL DEPTH PAVEMENT TO ACCOMMODATE ROAD WIDENING
  - EXISTING TREE TO BE REMOVED
  - LIMIT OF TREE CLEARING & GRUBBING



NO.	DATE	REVISION
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**Bowman CONSULTING**

PROJ. 084823-C1-001  
 CHD GR  
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Bowman Consulting Group, Ltd.  
 730-665-5001  
 732-665-5011  
 www.bowmanconsulting.com

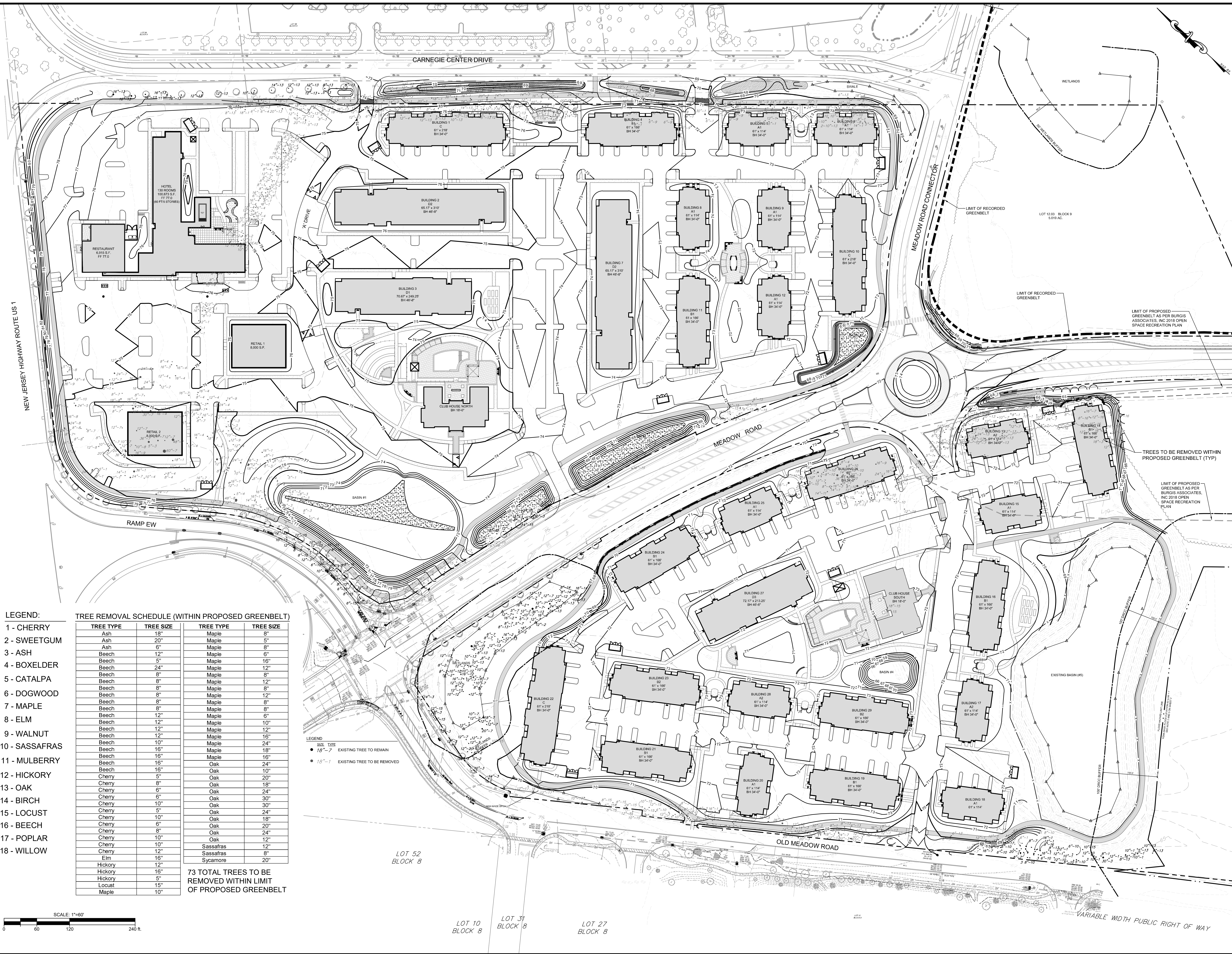
*Geoffrey R. Lanza*

Geoffrey R. LANZA N.J. Professional Engineer Lic. 2416E000600

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK  
 DEMOLITION PLAN  
 BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No. **4** OF **49**

P:\084823\084823-C1-001 (ENCL) - REC Meadow Rd West Windsor\Engineering\Plans\Revised Layout\CAD.dwg SHIT-SP2\SHIT-SP2-TREE-REMOVAL.dwg 03/24/20 03:55:33PM corinell LAYOUT: SHIT-05-TREE-REMOVAL  
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 DWG: 2019-03-25-10:58:34 AM  
 PLOT: 2019-03-25-10:58:34 AM



**LEGEND:**

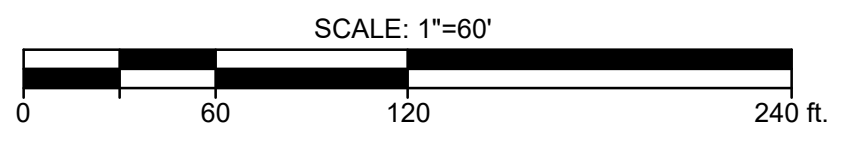
- 1 - CHERRY
- 2 - SWEETGUM
- 3 - ASH
- 4 - BOXELDER
- 5 - CATALPA
- 6 - DOGWOOD
- 7 - MAPLE
- 8 - ELM
- 9 - WALNUT
- 10 - SASSAFRAS
- 11 - MULBERRY
- 12 - HICKORY
- 13 - OAK
- 14 - BIRCH
- 15 - LOCUST
- 16 - BEECH
- 17 - POPLAR
- 18 - WILLOW

**TREE REMOVAL SCHEDULE (WITHIN PROPOSED GREENBELT)**

TREE TYPE	TREE SIZE	TREE TYPE	TREE SIZE
Ash	18"	Maple	5"
Ash	20"	Maple	5"
Ash	6"	Maple	8"
Beech	12"	Maple	6"
Beech	5"	Maple	16"
Beech	24"	Maple	12"
Beech	8"	Maple	8"
Beech	8"	Maple	12"
Beech	8"	Maple	8"
Beech	8"	Maple	12"
Beech	8"	Maple	8"
Beech	12"	Maple	10"
Beech	12"	Maple	12"
Beech	12"	Maple	16"
Beech	10"	Maple	24"
Beech	16"	Maple	18"
Beech	16"	Maple	16"
Beech	16"	Oak	24"
Beech	16"	Oak	10"
Cherry	5"	Oak	20"
Cherry	8"	Oak	18"
Cherry	6"	Oak	24"
Cherry	10"	Oak	30"
Cherry	5"	Oak	30"
Cherry	10"	Oak	24"
Cherry	6"	Oak	18"
Cherry	8"	Oak	20"
Cherry	10"	Oak	12"
Cherry	12"	Sassafras	12"
Cherry	12"	Sassafras	8"
Elm	12"	Sycamore	20"
Hickory	16"		
Hickory	5"		
Hickory	15"		
Locust	10"		
Maple	10"		

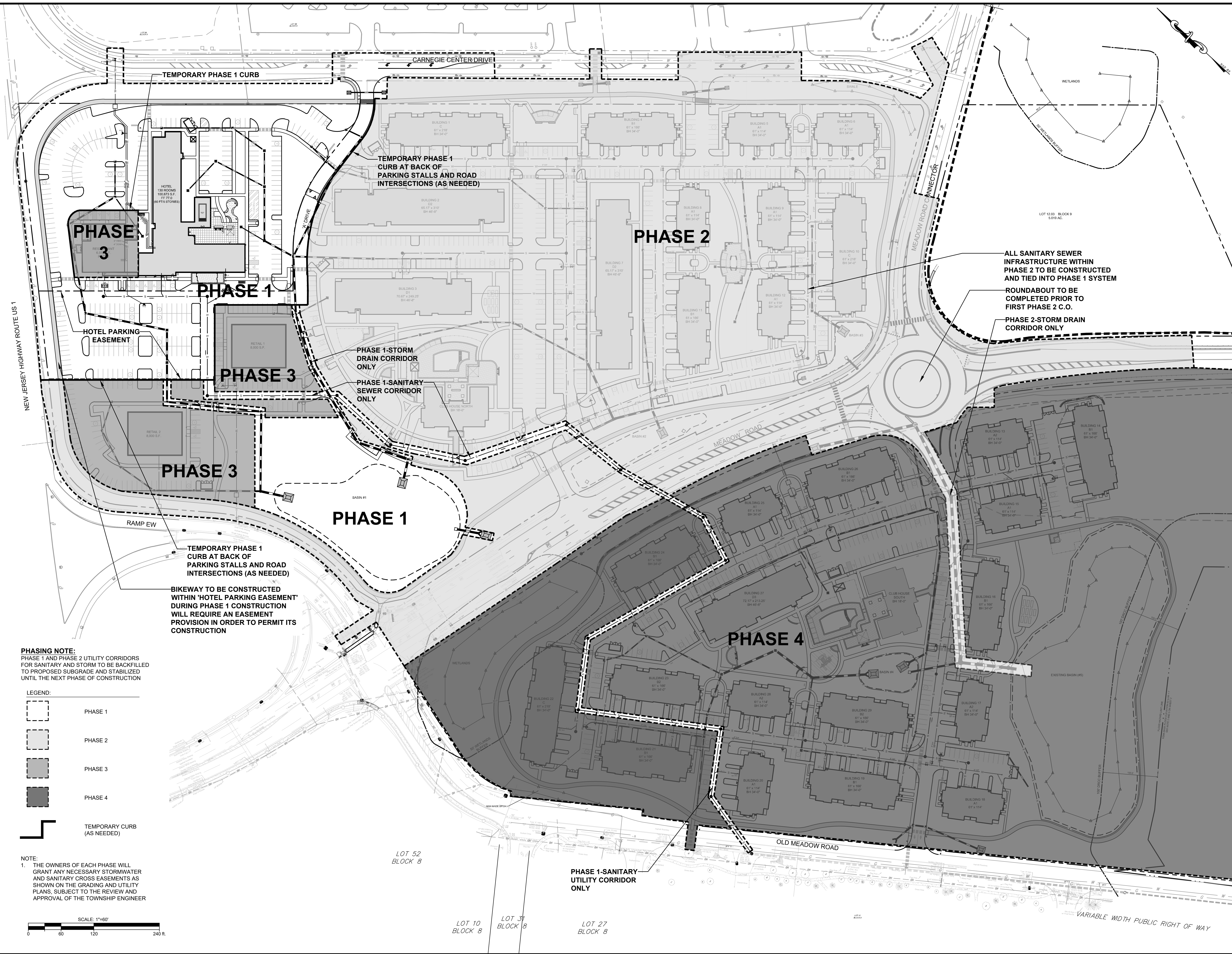
73 TOTAL TREES TO BE REMOVED WITHIN LIMIT OF PROPOSED GREENBELT

LEGEND  
 ● 18"-7" EXISTING TREE TO REMAIN  
 ● 18"-7" EXISTING TREE TO BE REMOVED



DATE: 03/24/20	
REVISION:	
	PROJECT: 084823-C1-001 CHANG: GR
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BOWMAN CONSULTING, INC. 2410 WEST WINDSOR ROAD, WEST WINDSOR, NJ 07093 TEL: 732-665-5001 FAX: 732-665-5011 WWW.BOWMANCONSULTING.COM	
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK TREE REMOVAL PLAN BLOCK 8, LOTS 12, 01, AND 12, 02, BLOCK 03, LOT 12, 02 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY	
SHEET NO. <b>5</b> OF <b>49</b>	

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ALL SANITARY SEWER INFRASTRUCTURE WITHIN PHASE 2 TO BE CONSTRUCTED AND TIED INTO PHASE 1 SYSTEM

ROUNDBOUT TO BE COMPLETED PRIOR TO FIRST PHASE 2 C.O.

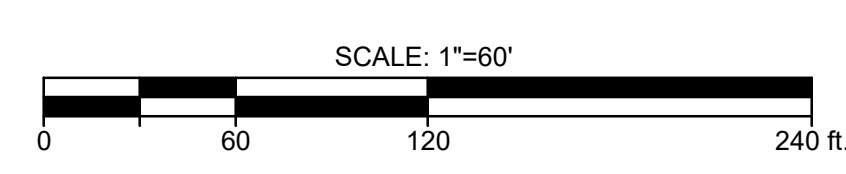
PHASE 2-STORM DRAIN CORRIDOR ONLY

BIKWAY TO BE CONSTRUCTED WITHIN 'HOTEL PARKING EASEMENT' DURING PHASE 1 CONSTRUCTION WILL REQUIRE AN EASEMENT PROVISION IN ORDER TO PERMIT ITS CONSTRUCTION

**PHASING NOTE:**  
 PHASE 1 AND PHASE 2 UTILITY CORRIDORS FOR SANITARY AND STORM TO BE BACKFILLED TO PROPOSED SUBGRADE AND STABILIZED UNTIL THE NEXT PHASE OF CONSTRUCTION

- LEGEND:**
- PHASE 1
  - PHASE 2
  - PHASE 3
  - PHASE 4
  - TEMPORARY CURB (AS NEEDED)

**NOTE:**  
 1. THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORMWATER AND SANITARY CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITY PLANS, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER



<p>PROJ: 080823-C1-001          CHD: GR</p> <p><b>Bowman CONSULTING</b></p> <p>Phone: 732-665-5001          Fax: 732-665-5001          NJ Certificate of Registration          No. 12C000000100          www.bowmanconsulting.com</p> <p>Bowman Consulting Group, Ltd.          Princeton, New Jersey 07728          www.bowmanconsulting.com</p> <p>Geoffrey R. Lanza, P.E.          Professional Engineer, No. 24162008000</p>	<p>DATE: 08/01/20          REVISION: 1</p> <table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>DESCRIPTION</th> </tr> <tr> <td>1</td> <td></td> <td></td> </tr> <tr> <td>2</td> <td></td> <td></td> </tr> <tr> <td>3</td> <td></td> <td></td> </tr> <tr> <td>4</td> <td></td> <td></td> </tr> <tr> <td>5</td> <td></td> <td></td> </tr> <tr> <td>6</td> <td></td> <td></td> </tr> <tr> <td>7</td> <td></td> <td></td> </tr> <tr> <td>8</td> <td></td> <td></td> </tr> <tr> <td>9</td> <td></td> <td></td> </tr> <tr> <td>10</td> <td></td> <td></td> </tr> </table> <p>PRELIMINARY AND FINAL SUBDIVISION &amp; PRELIMINARY &amp; FINAL SITE PLAN FOR PROPOSED HOTEL &amp; RESIDENTIAL DEVELOPMENT          PROPOSED RETAIL, RESTAURANT, &amp; RESIDENTIAL          PRINCETON EXECUTIVE PARK          PROJECT PHASING PLAN          BLOCK 8, LOTS 12, 01, and 12, 02, BLOCK 9, 03, LOT 12, 02          TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY</p> <p>SHEET NO. <b>6</b> OF <b>49</b></p>	NO.	DATE	DESCRIPTION	1			2			3			4			5			6			7			8			9			10		
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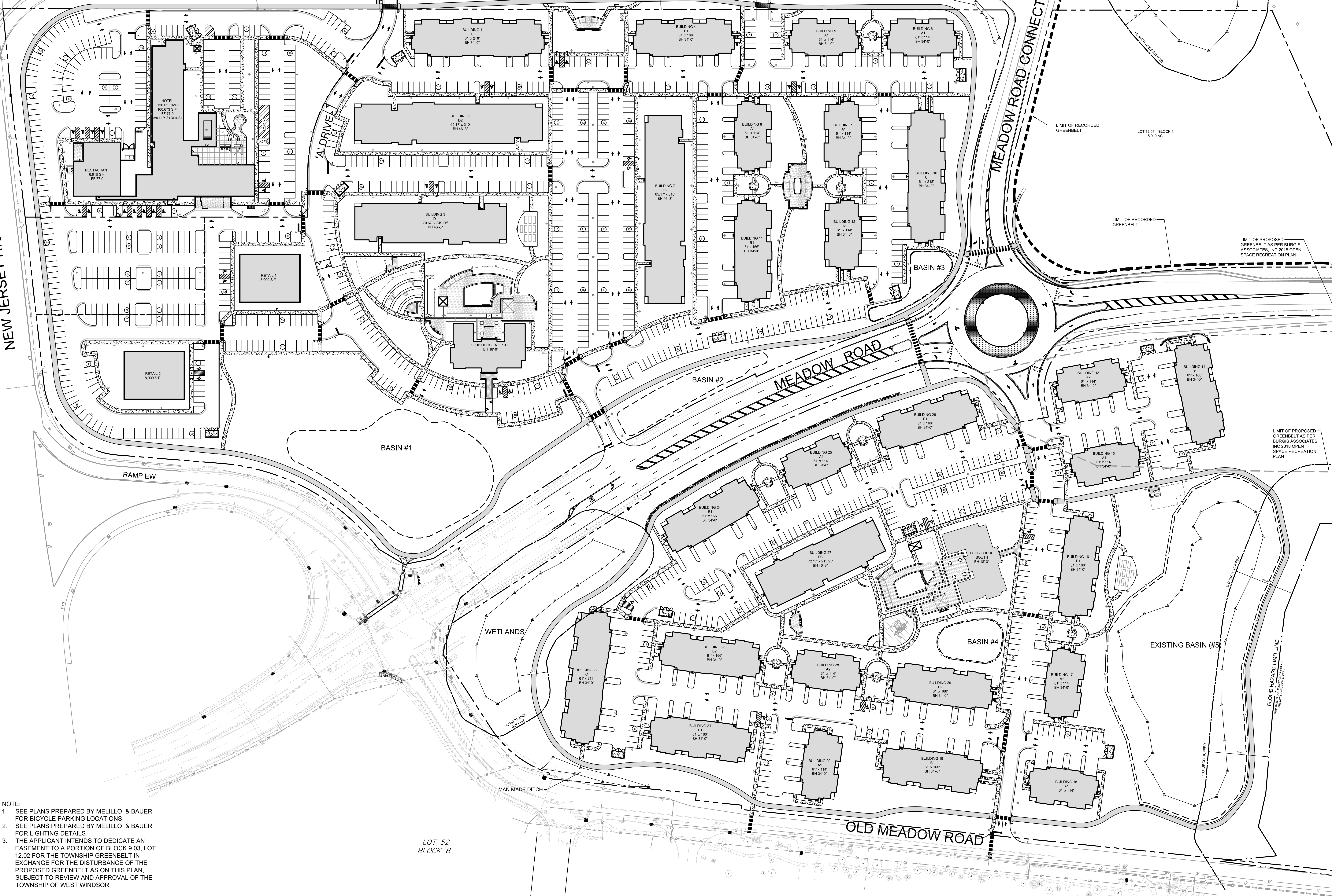
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NEW JERSEY HIGHWAY ROUTE US 1

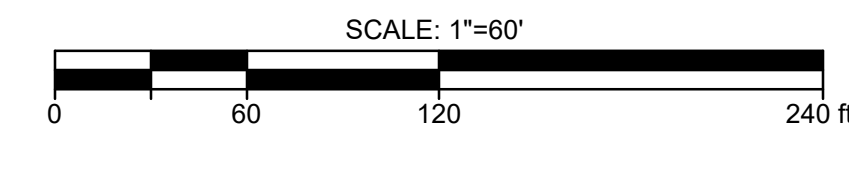
CARNEGIE CENTER DRIVE

MEADOW ROAD CONNECTOR

OLD MEADOW ROAD



NOTE:  
1. SEE PLANS PREPARED BY MELLILLO & BAUER FOR BICYCLE PARKING LOCATIONS  
2. SEE PLANS PREPARED BY MELLILLO & BAUER FOR LIGHTING DETAILS  
3. THE APPLICANT INTENDS TO DEDICATE AN EASEMENT TO A PORTION OF BLOCK 9 03, LOT 12 02 FOR THE TOWNSHIP GREENBELT IN EXCHANGE FOR THE DISTURBANCE OF THE PROPOSED GREENBELT AS ON THIS PLAN, SUBJECT TO REVIEW AND APPROVAL OF THE TOWNSHIP OF WEST WINDSOR



NO.	DATE	REVISION

PROJ: 084823-C1-001  
CADD GR: [unreadable]

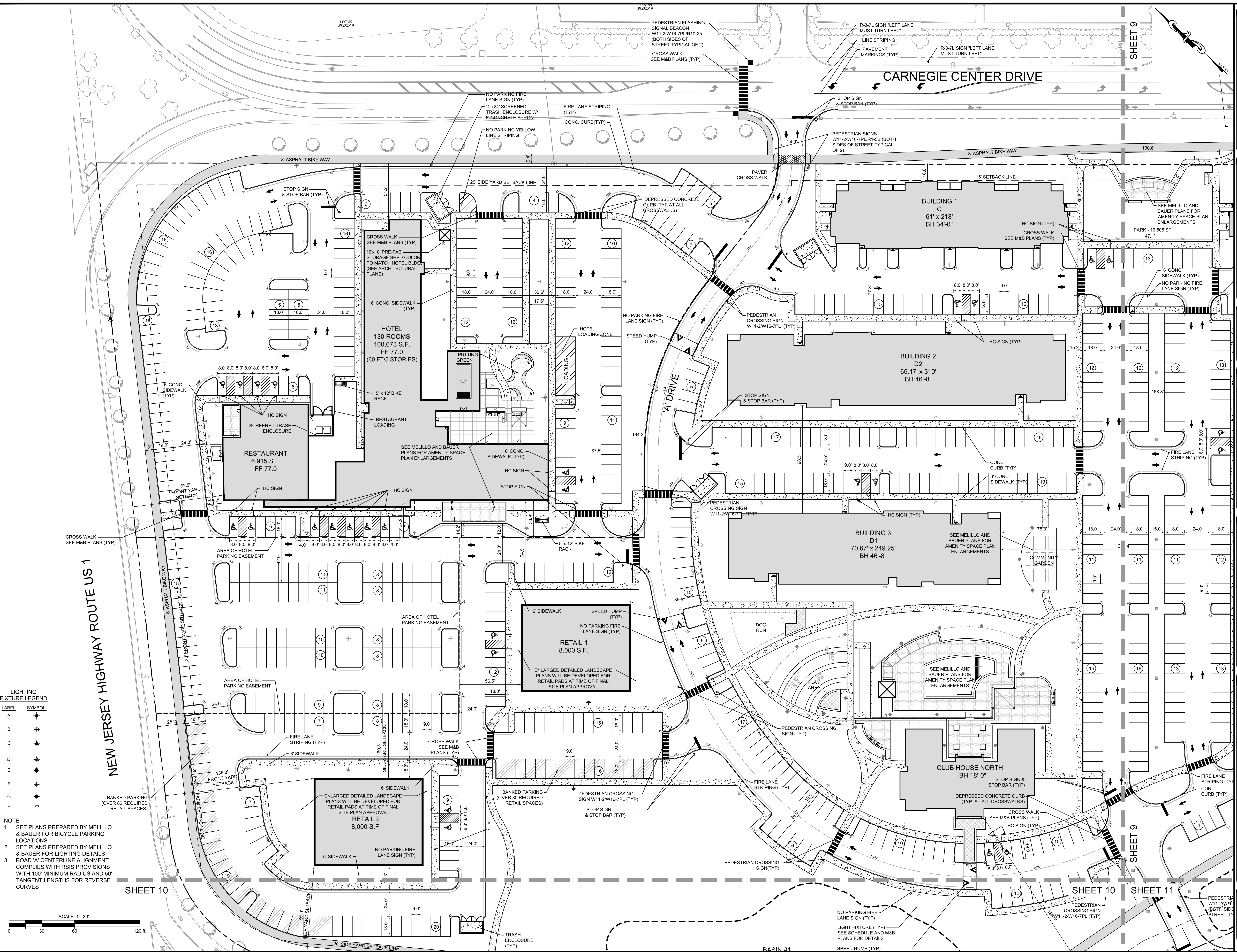
**Bowman CONSULTING**

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New Jersey 07728  
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PH: 732-665-5001  
FAX: 732-665-5011  
NJ Certificate of Registration  
Professional Engineer License No. 24160009000

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
PRINCETON EXECUTIVE PARK  
OVERALL SITE PLAN  
BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9 03, LOT 12, 02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No.  
**7**  
OF  
**49**

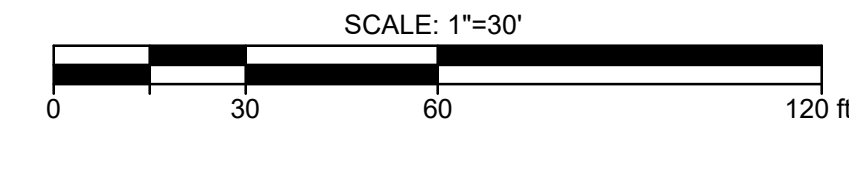
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LIGHTING FIXTURE LEGEND

LABEL	SYMBOL
A	+
B	⊕
C	⊕
D	⊕
E	⊕
F	⊕
G	⊕
H	⊕

- NOTE:
- SEE PLANS PREPARED BY MELLILLO & BAUER FOR BICYCLE PARKING LOCATIONS
  - SEE PLANS PREPARED BY MELLILLO & BAUER FOR LIGHTING DETAILS
  - ROAD 'A' CENTERLINE ALIGNMENT COMPLIES WITH RSIS PROVISIONS WITH 100' MINIMUM RADII AND 50' TANGENT LENGTHS FOR REVERSE CURVES



DATE: 04/22/20  
REVISION: 1

1	DATE: 04/22/20
2	REVISION: 1
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PROJ: 084823-C1-001  
CHD: CR

**Bowman CONSULTING**

Bowman Consulting Group, Ltd.  
Phone: 732-662-5501  
Fax: 732-662-5501  
www.bowmanconsulting.com  
N.J. Certificate of Registration No. 12C00000000000  
1000 Morris Avenue, Suite 200, Springfield, NJ 07081

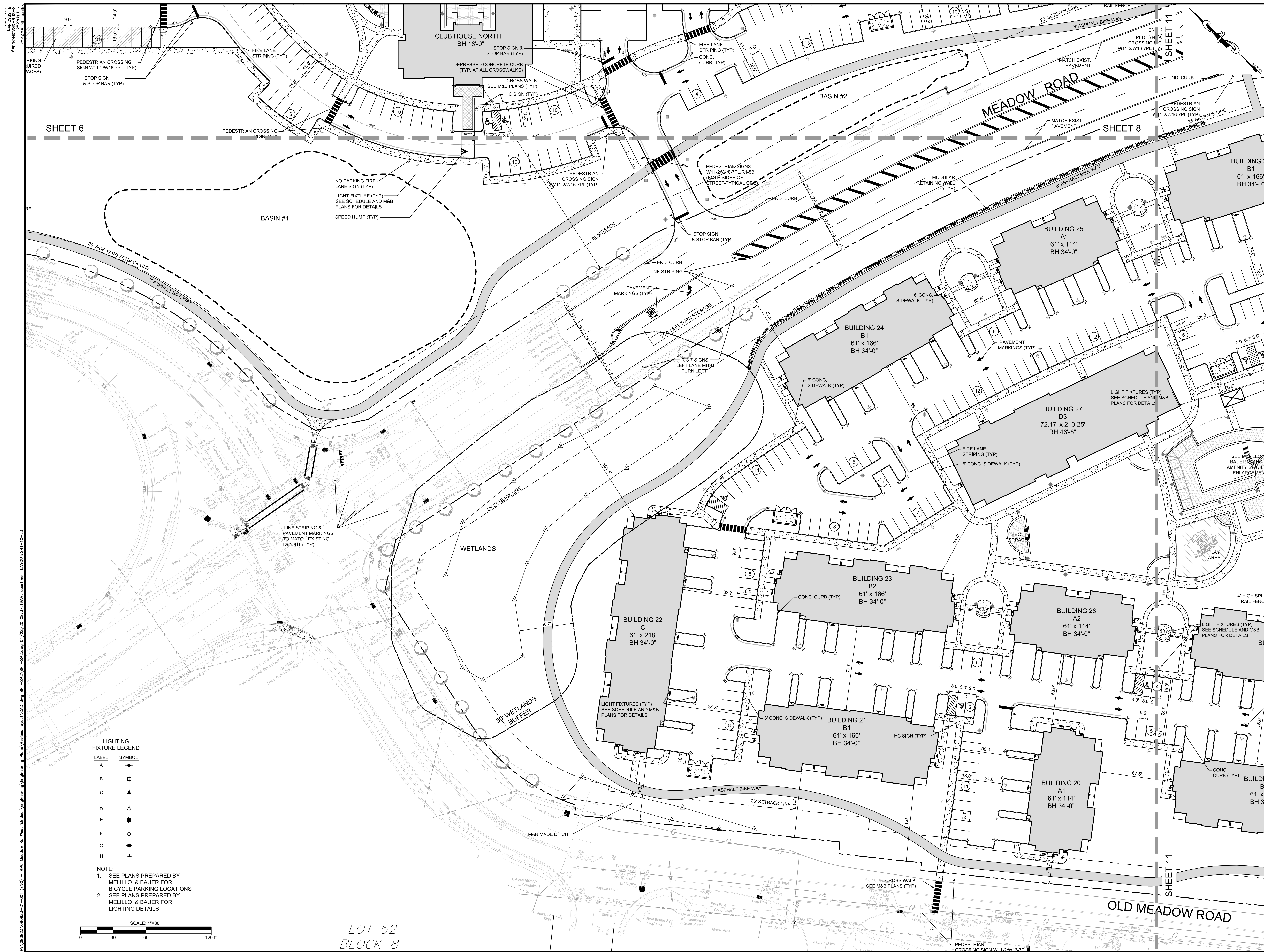
Geoffrey R. Lanza, N.J. Professional Engineer, License No. 24162008000

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK LAYOUT & DIMENSIONING PLAN  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET NO. 8 OF 49







SHEET 6

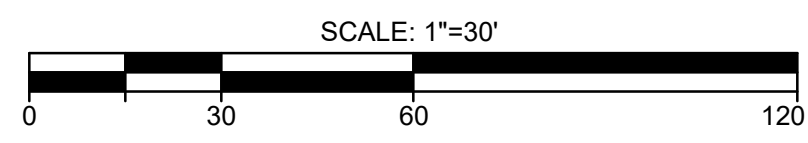
SHEET 8

SHEET 11

**LIGHTING FIXTURE LEGEND**

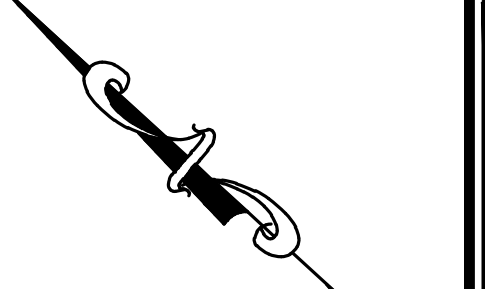
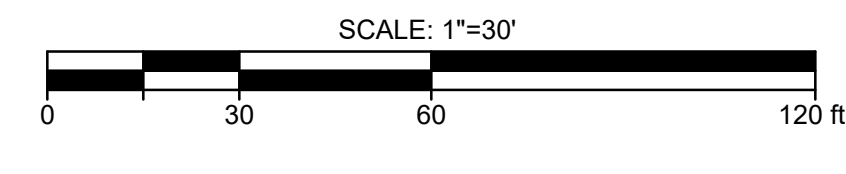
LABEL	SYMBOL
A	+
B	⊕
C	⬆
D	⬇
E	⬇
F	⬇
G	⬇
H	⬇

- NOTE:
- SEE PLANS PREPARED BY MELILLO & BAUER FOR BICYCLE PARKING LOCATIONS
  - SEE PLANS PREPARED BY MELILLO & BAUER FOR LIGHTING DETAILS



LOT 52  
BLOCK 8

<p>PROJ: 080823-C1-011          CHD CR</p>	<p>DATE: 08/01/2020          REVISION:</p>
<p><b>Bowman</b> CONSULTING</p>	
<p>Bowman Consulting Group, Ltd.          Phone: 732-662-5001          Fax: 732-662-5001          12100 Route 100, Suite 200          Princeton, NJ 08540          www.bowmanconsulting.com</p>	
<p>PRELIMINARY AND FINAL SUBDIVISION &amp; PRELIMINARY &amp; FINAL SITE PLAN FOR          PROPOSED HOTEL &amp; RESIDENTIAL DEVELOPMENT          PROPOSED RETAIL, RESTAURANT, &amp; RESIDENTIAL          PRINCETON EXECUTIVE PARK          LAYOUT &amp; DIMENSIONING PLAN          BLOCK 8, LOTS 12.01, and 12.02, BLOCK 8.03, LOT 12.02          TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY</p>	
<p>SHEET No. <b>10</b> OF <b>49</b></p>	



LIGHTING FIXTURE LEGEND

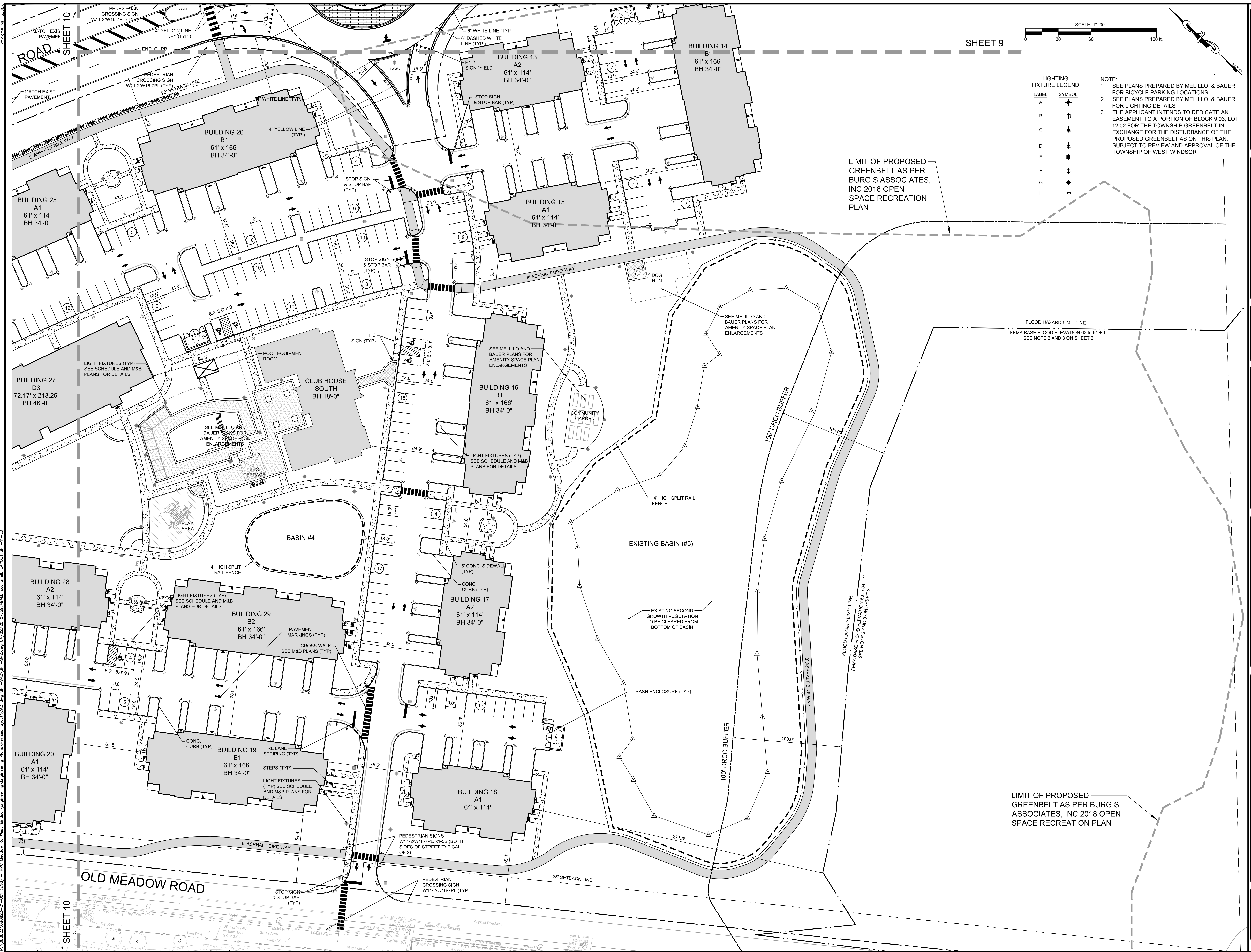
LABEL	SYMBOL
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B	⊗
C	⬆
D	⬆
E	⊕
F	⊗
G	⬆
H	⬆

- NOTE:
- SEE PLANS PREPARED BY MELILLO & BAUER FOR BICYCLE PARKING LOCATIONS
  - SEE PLANS PREPARED BY MELILLO & BAUER FOR LIGHTING DETAILS
  - THE APPLICANT INTENDS TO DEDICATE AN EASEMENT TO A PORTION OF BLOCK 9.03, LOT 12.02 FOR THE TOWNSHIP GREENBELT IN EXCHANGE FOR THE DISTURBANCE OF THE PROPOSED GREENBELT AS ON THIS PLAN, SUBJECT TO REVIEW AND APPROVAL OF THE TOWNSHIP OF WEST WINDSOR

LIMIT OF PROPOSED GREENBELT AS PER BURGIS ASSOCIATES, INC 2018 OPEN SPACE RECREATION PLAN

FLOOD HAZARD LIMIT LINE  
FEMA BASE FLOOD ELEVATION 63 TO 64 + 1  
SEE NOTE 2 AND 3 ON SHEET 2

LIMIT OF PROPOSED GREENBELT AS PER BURGIS ASSOCIATES, INC 2018 OPEN SPACE RECREATION PLAN



PROJ. 080823-C-101  
DATE: 08/27/2020  
CAND. GR.

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Princeton, NJ 08542

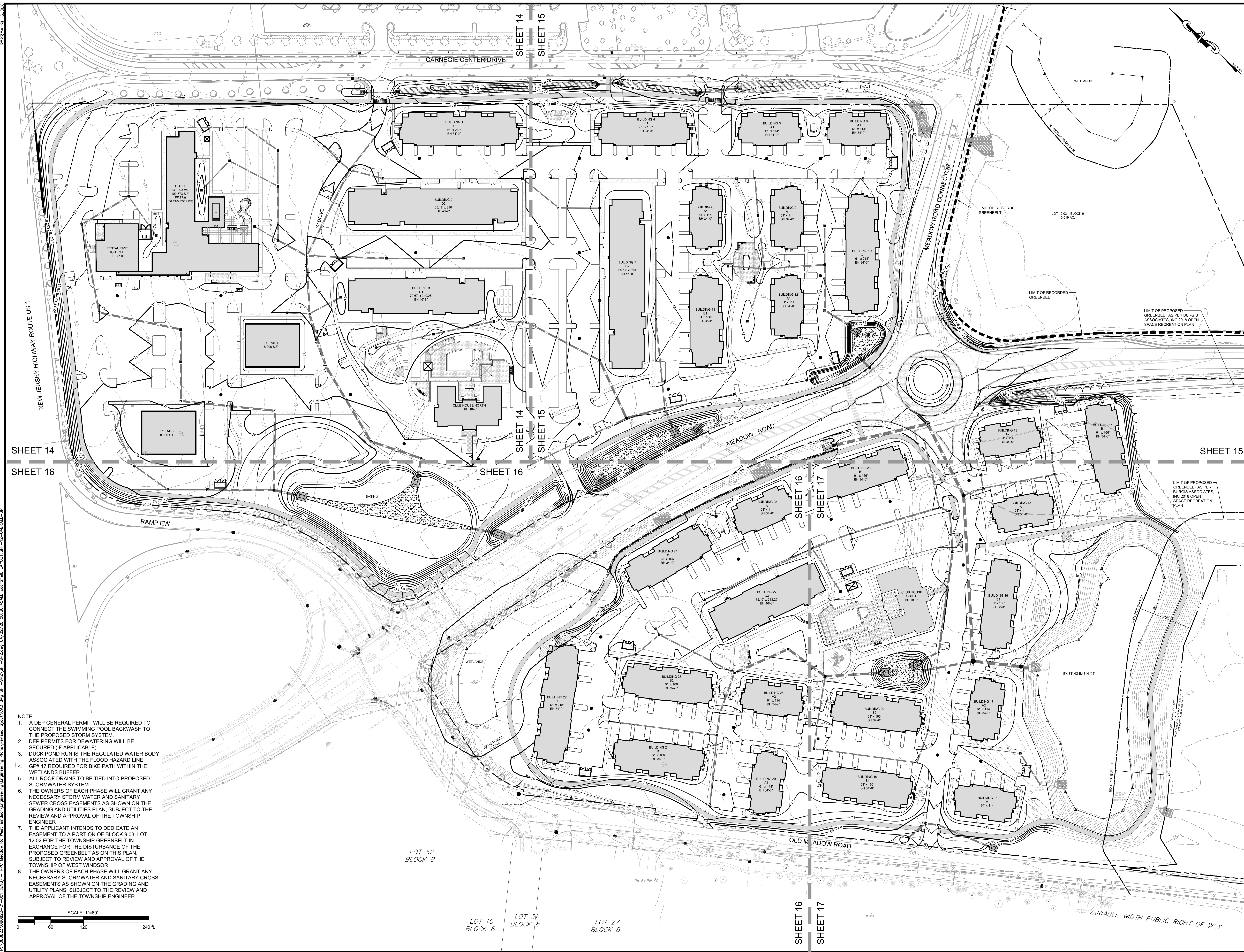
Professional Engineer License No. 24160008000  
Geoffrey R. Lanza, N.J. Professional Engineer

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT, PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK LAYOUT & DIMENSIONING PLAN  
BLOCK 9, LOTS 12.01, AND 12.02, BLOCK 9.03, LOT 12.02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

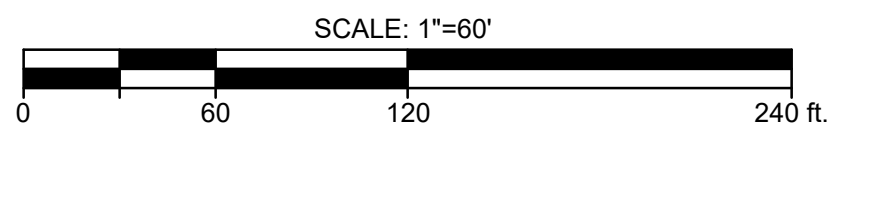
SHEET No. 11 OF 49

PROP: 080823-C1-001  
DATE: 07/20/20  
SCALE: 1"=60'

P:\080823\CAD\080823-C1-001 (ENCL) - REC Meadow Rd West Windsor\Engineering\Plans\Revised\Layout\CAD.dwg (SHT-SPT) (SHT-SPT).dwg 04/22/20 08:36:45AM ccorneil\_lAYOUT: SHT-12-OVERALL-SP



- NOTE:**
- A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
  - DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE).
  - DUCK POND RUN IS THE REGULATED WATER BODY ASSOCIATED WITH THE FLOOD HAZARD LINE GPM 17 REQUIRED FOR BIKE PATH WITHIN THE WETLANDS BUFFER.
  - ALL ROOF DRAINS TO BE TIED INTO PROPOSED STORMWATER SYSTEM.
  - THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORM WATER AND SANITARY SEWER CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITIES PLAN, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.
  - THE APPLICANT INTENDS TO DEDICATE AN EASEMENT TO A PORTION OF BLOCK 9 03, LOT 12.02 FOR THE TOWNSHIP GREENBELT IN EXCHANGE FOR THE DISTURBANCE OF THE PROPOSED GREENBELT AS ON THIS PLAN, SUBJECT TO REVIEW AND APPROVAL OF THE TOWNSHIP OF WEST WINDSOR.
  - THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORMWATER AND SANITARY CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITY PLANS, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.



NO.	REVISION	DATE	CHKD.	DATE	CHKD.

PROJ: 080823-C1-001  
DATE: 07/20/20  
SCALE: 1"=60'  
TITLE: OVERALL GRADING PLAN

**Bowman**  
CONSULTING

**Bowman Consulting Group, Ltd.**  
Professional Engineer  
L. R. Lanza  
Geoffrey R. Lanza, N.J. Professional Engineer, Lic. 24CE000800

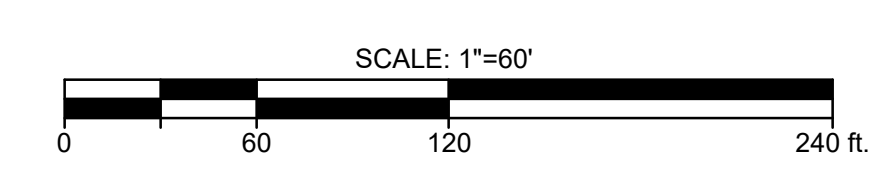
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT AND PRELIMINARY AND FINAL GRADING PLAN FOR PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK OVERALL GRADING PLAN  
BLOCK 9, LOTS 12.01, AND 12.02, BLOCK 103, LOT 12.02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET NO. 12 OF 49

P:\084823\084823-01-001 (ENCL) - REC Meadow Rd West Windsor\Engineering\Grading\_Plan\Revised Layout\CAD.dwg SHT-SPT-SPT.dwg 04/22/20 08:36:08AM ccorinell LAYOUT: SPT-13-OVERALL-UT  
P:\084823\084823-01-001 (ENCL) - REC Meadow Rd West Windsor\Engineering\Grading\_Plan\Revised Layout\CAD.dwg SPT-SPT-SPT.dwg 04/22/20 08:36:08AM ccorinell LAYOUT: SPT-13-OVERALL-UT



- NOTES:
1. A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
  2. DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE)
  3. DUCK POND RUN IS THE REGULATED WATER BODY ASSOCIATED WITH THE FLOOD HAZARD LINE GPH 17 REQUIRED FOR BIKE PATH WITHIN THE WETLANDS BUFFER
  4. ALL ROOF DRAINS TO BE TIED INTO PROPOSED STORMWATER SYSTEM
  5. THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORM WATER AND SANITARY SEWER CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITIES PLAN, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER
  6. THE APPLICANT INTENDS TO DEDICATE AN EASEMENT TO A PORTION OF BLOCK 9.03, LOT 12.02 FOR THE TOWNSHIP GREENBELT IN EXCHANGE FOR THE DISTURBANCE OF THE PROPOSED GREENBELT AS ON THIS PLAN, SUBJECT TO REVIEW AND APPROVAL OF THE TOWNSHIP OF WEST WINDSOR.
  7. SANITARY SEWERS SHALL BE INSTALLED PER TWP ORDINANCE SECTION 200-91.G
  8. THE FOLLOWING SANITARY SEWER TESTING IS TO BE SUCCESSFULLY PERFORMED PRIOR TO APPROVAL FROM WEST WINDSOR TOWNSHIP:
    - AIR PRESSURE TEST
    - MANDREL TEST
    - VACUUM TEST OF ALL MANHOLES
    - WATER JETTING AND VIDEO OF ALL SEWER MAINS
  9. THESE 2 SANITARY SEWER LINES ARE TO BE PRIVATELY OWNED AND MAINTAINED.
  10. THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORMWATER AND SANITARY CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITY PLANS, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.



PROJ: 084823-01-001 CHD GR		
6	5	4
3	2	1
DATE (CHG)	REVISION	DATE (CHG)
Bowman CONSULTING		
Bowman Consulting Group, Ltd. Ph: 732-465-6000 FAX: 732-465-6001 NJ Certificate of Registration www.bowmanconsulting.com		
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK OVERALL UTILITY PLAN BLOCK 9, LOTS 12.01, AND 12.02, BLOCK 9.03, LOT 12.02 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY		
SHEET No.	13	49



Geoffrey R. Lanza, N.J. Professional Engineer, License No. 24105009800

BORING #	GROUND ELEV.	GROUND WATER ENCOUNTERED
B-101	79.5	12.5 FT.
B-102	79.5	12 FT.
B-103	79.5	12 FT.
B-104	82.5	13 FT.
B-105	82.5	16 FT.
B-106	79.0	9 FT.
B-107	78.5	6 FT.
B-108	78.5	7.5 FT.

TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-1	72.0	7 FT.
TP-2	71.0	6 FT.
TP-3	73.0	7.5 FT.
TP-101	80.5	NIE
TP-102	80.5	9.5 FT.
TP-103	82.0	13.5 FT.
TP-104	84.0	12 FT.
TP-105	79.0	7 FT.
TP-106	80.5	9.5 FT.
TP-107	79.0	5 FT.
TP-108	77.0	6.5 FT.
TP-109	77.5	5.5 FT.
TP-110	77.0	5 FT.

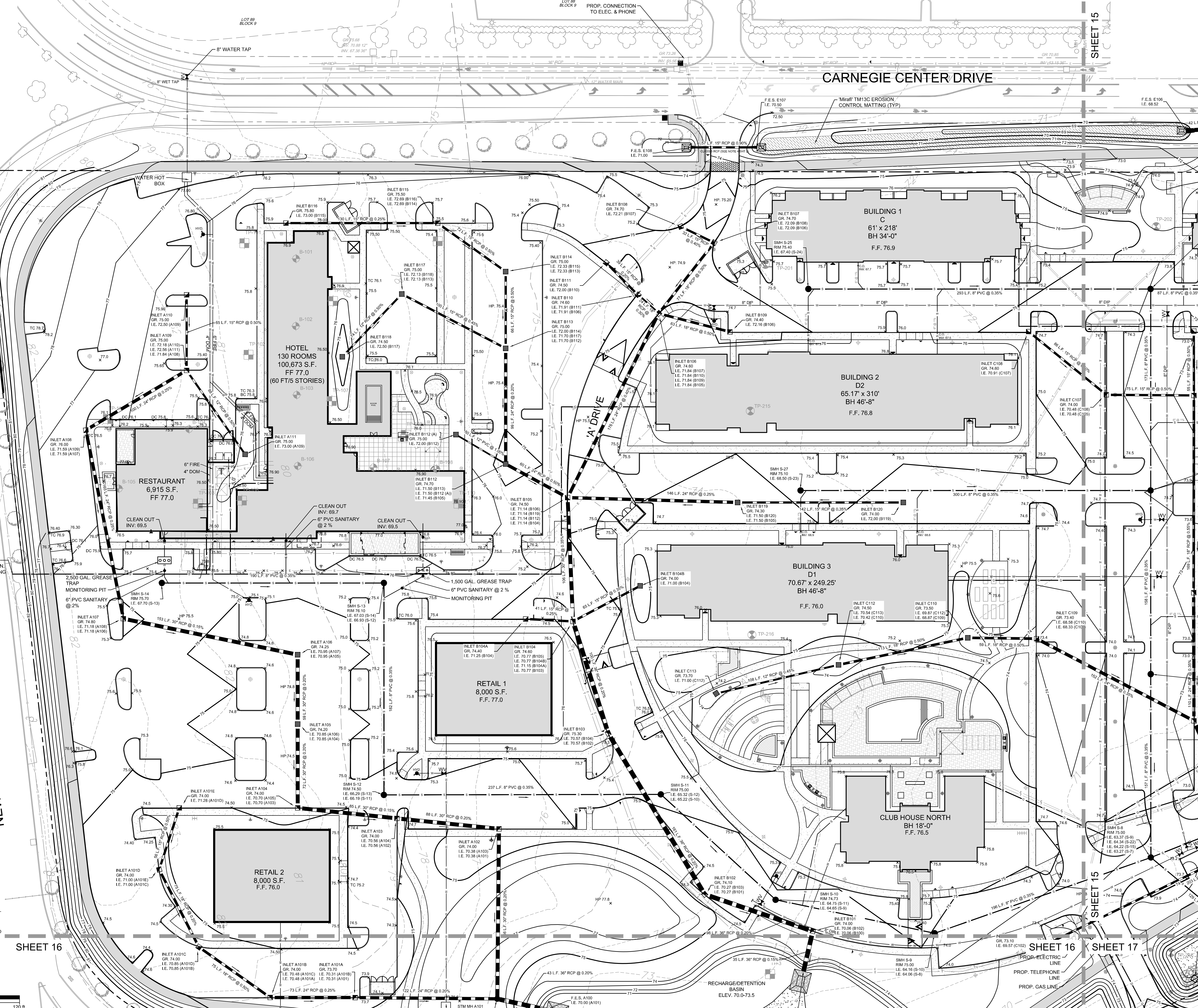
TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-201	73.0	6 FT.
TP-202	72.0	6 FT.
TP-203	71.0	9 FT.
TP-204	68.0	8 FT.
TP-205	72.0	11 FT.
TP-206	72.0	9 FT.
TP-207	71.0	7.5 FT.
TP-208	69.0	7 FT.
TP-209	68.0	7 FT.
TP-210	68.0	7 FT.
TP-211	69.0	5 FT.
TP-212	70.0	5.5 FT.
TP-213	71.5	5 FT.
TP-214	71.5	5.5 FT.
TP-215	73.5	4 FT.
TP-216	74.0	5 FT.
TP-218	69.5	5 FT.
TP-219	69.0	4 FT.
TP-221	67.0	6 FT.
TP-222	67.0	5.5 FT.
TP-223	68.0	7 FT.
TP-224	69.0	7.5 FT.
TP-225	67.0	7 FT.
TP-226	70.5	6.5 FT.
TP-228	70.5	6.5 FT.
TP-229	69.0	6.5 FT.
TP-230	67.5	7 FT.
TP-231	73.0	13 FT.
TP-232	67.0	6 FT.
TP-233	74.5	NE
TP-234	71.5	11 FT.
TP-235	73.0	12 FT.
TP-236	73.0	13.5 FT.
TP-237	67.0	9 FT.
TP-238	68.5	7.5 FT.
TP-239	72.5	7 FT.
TP-240	71.5	8 FT.
TP-241	69.5	5.5 FT.

CONNECT TO GAS MAIN APPROXIMATE LOCATION. A NJDOT UTILITY OPENING APPLICATION WILL BE REQUIRED.

NEW JERSEY HIGHWAY ROUTE US 1

NOTES:

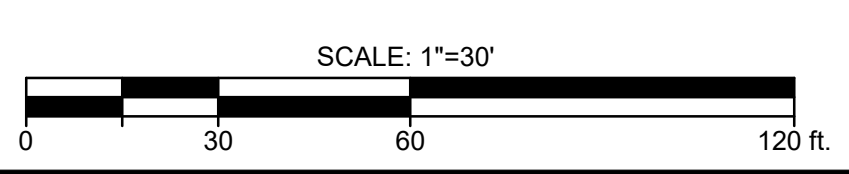
- A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
- DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE).
- THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORM WATER AND SANITARY SEWER CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITIES PLAN, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.
- GREASE TRAPS AT RESTAURANT AND HOTEL WILL COMPLY WITH TWP. ORDINANCE 133-22.
- SANITARY SEWERS SHALL BE INSTALLED PER TWP. ORDINANCE SECTION 200-91 G.
- THE FOLLOWING SANITARY SEWER TESTING IS TO BE SUCCESSFULLY PERFORMED PRIOR TO APPROVAL FROM WEST WINDSOR TOWNSHIP:
  - AIR PRESSURE TEST
  - MANDREL TEST
  - VACUUM TEST OF ALL MANHOLES
  - WATER JETTING AND VIDEO OF ALL SEWER MAINS



SHEET 16

SHEET 16

SHEET 17



DATE: (DATE) REVISION: (DATE)

PROJ. 080823-C-101  
 CHAD GR

**Bowman CONSULTING**

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 1210 West Windsor Road  
 West Windsor, NJ 07875  
 www.bowmanconsulting.com

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT. PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK GRADING & UTILITIES PLAN. TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY. BLOCK 9, LOTS 12, 01, AND 12, 02. BLOCK 9, LOT 12, 02.

SHEET NO. 14 OF 49

GEORFFREY R. LANZA N.J. Professional Engineer, No. 2416000800



**SOIL BORING TABLE**

BORING #	GROUND ELEV.	GROUND WATER ENCOUNTERED
S-101	78.5	12.5 FT.
S-102	78.5	12 FT.
S-103	78.5	12 FT.
S-104	82.5	13 FT.
S-105	82.5	16 FT.
S-106	79.0	9 FT.
S-107	78.5	6 FT.
S-108	78.5	7.5 FT.

**TEST PIT TABLE**

TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-1	72.0	7 FT.
TP-2	71.0	6 FT.
TP-3	73.0	7.5 FT.
TP-101	80.5	NE
TP-102	80.5	9.5 FT.
TP-103	82.0	13.5 FT.
TP-104	84.0	12 FT.
TP-105	79.0	7 FT.
TP-106	80.5	9.5 FT.
TP-107	79.0	5 FT.
TP-108	77.0	6.5 FT.
TP-109	77.5	5.5 FT.
TP-110	77.0	5 FT.

**TEST PIT TABLE**

TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-201	73.0	6 FT.
TP-202	72.0	6 FT.
TP-203	71.0	9 FT.
TP-204	68.0	8 FT.
TP-205	72.0	11 FT.
TP-206	72.0	9 FT.
TP-207	71.0	7.5 FT.
TP-208	69.0	7 FT.
TP-209	68.0	7 FT.
TP-210	68.0	7 FT.
TP-211	66.0	5 FT.
TP-212	70.0	5.5 FT.
TP-213	71.5	5 FT.
TP-214	71.5	5.5 FT.
TP-215	73.5	4 FT.
TP-216	74.0	5 FT.
TP-218	69.5	5 FT.
TP-219	69.0	4 FT.
TP-221	67.0	6 FT.
TP-222	67.0	5.5 FT.
TP-223	68.0	7 FT.
TP-224	68.0	7.5 FT.
TP-225	67.0	7 FT.
TP-226	70.5	6.5 FT.
TP-228	70.5	6.5 FT.
TP-229	69.0	6.5 FT.
TP-230	67.5	7 FT.
TP-231	73.0	13 FT.
TP-232	67.0	6 FT.
TP-233	74.0	NE
TP-234	71.5	11 FT.
TP-235	73.0	12 FT.
TP-236	73.0	13.5 FT.
TP-237	67.0	9 FT.
TP-238	68.5	7.5 FT.
TP-239	72.5	7 FT.
TP-240	71.5	8 FT.
TP-241	69.5	5.5 FT.

**LIMIT OF RECORDED GREENBELT**

LOT 12.03 BLOCK 9  
5.019 AC.

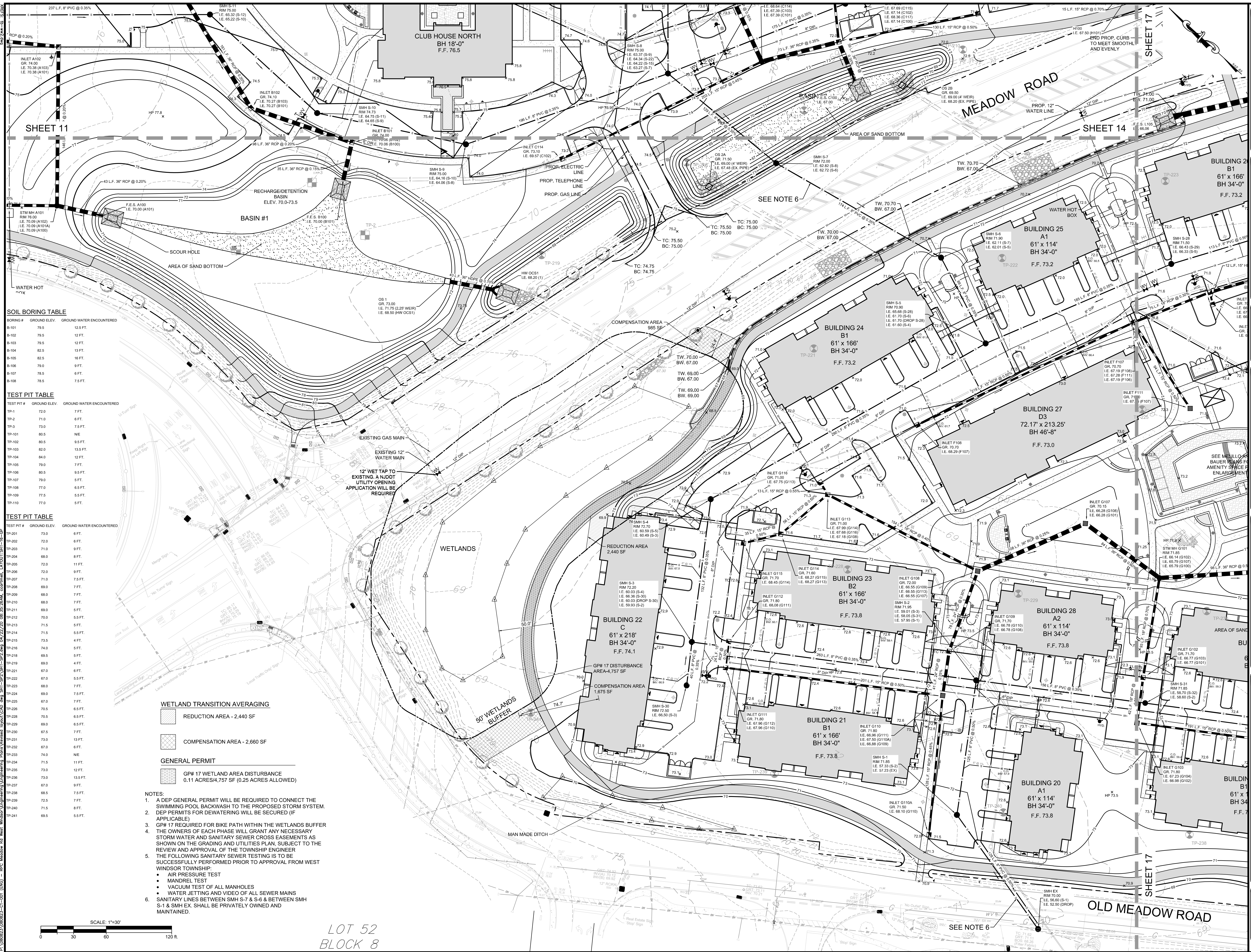
NOTES:

1. THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORM WATER AND SANITARY SEWER CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITIES PLAN, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.
2. THE APPLICANT INTENDS TO DEDICATE AN EASEMENT TO A PORTION OF BLOCK 9.03, LOT 12.02 FOR THE TOWNSHIP GREENBELT IN EXCHANGE FOR THE DISTURBANCE OF THE PROPOSED GREENBELT AS ON THIS PLAN, SUBJECT TO REVIEW AND APPROVAL OF THE TOWNSHIP OF WEST WINDSOR.
3. THE FOLLOWING SANITARY SEWER TESTING IS TO BE SUCCESSFULLY PERFORMED PRIOR TO APPROVAL FROM WEST WINDSOR TOWNSHIP:
  - AIR PRESSURE TEST
  - MANDREL TEST
  - VACUUM TEST OF ALL MANHOLES
  - WATER JETTING AND VIDEO OF ALL SEWER MAINS
4. SANITARY LINES BETWEEN SMH 7 AND 6 SHALL BE PRIVATELY OWNED AND MAINTAINED.

**LIMIT OF RECORDED GREENBELT**

SHEET 14  
 SHEET 14  
 SHEET 17  
 SHEET 17  
 SHEET 15  
 SHEET 15

DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 DATE: \_\_\_\_\_  
 REVISION: \_\_\_\_\_  
 PROJECT: 080823-C1-001  
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 TEL: 908.666.5001  
 FAX: 908.666.5001  
 WWW.BOWMANCONSULTING.COM  
 N.J. Certificate of Professional Engineer No. 12C-000000000  
 GEORFFREY R. LANZA, N.J. Professional Engineer, License No. 241600000000  
 PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT, PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK GRADING & UTILITIES PLAN, BLOCK 9, LOTS 12.01, AND 12.02, BLOCK 10.03, LOT 12.02 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY  
 SHEET NO. 15 OF 49



**SOIL BORING TABLE**

BORINGS #	GROUND ELEV.	GROUND WATER ENCOUNTERED
B-101	79.5	12.5 FT.
B-102	79.5	12 FT.
B-103	79.5	12 FT.
B-104	82.5	13 FT.
B-105	82.5	16 FT.
B-106	78.5	9 FT.
B-107	78.5	6 FT.
B-108	78.5	7.5 FT.

**TEST PIT TABLE**

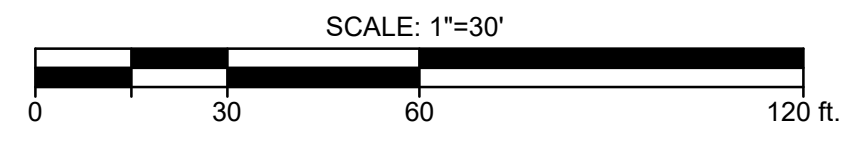
TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-1	72.0	7 FT.
TP-2	71.0	6 FT.
TP-3	73.0	7.5 FT.
TP-101	80.5	NE
TP-102	80.5	9.5 FT.
TP-103	82.0	13.5 FT.
TP-104	84.0	12 FT.
TP-105	79.0	7 FT.
TP-106	80.5	9.5 FT.
TP-107	79.0	5 FT.
TP-108	77.0	6.5 FT.
TP-109	77.5	5.5 FT.
TP-110	77.0	5 FT.

**TEST PIT TABLE**

TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-201	73.0	6 FT.
TP-202	72.0	6 FT.
TP-203	71.0	9 FT.
TP-204	68.0	8 FT.
TP-205	72.0	11 FT.
TP-206	72.0	9 FT.
TP-207	71.0	7.5 FT.
TP-208	69.0	7 FT.
TP-209	68.0	7 FT.
TP-210	68.0	7 FT.
TP-211	69.0	5 FT.
TP-212	70.0	5.5 FT.
TP-213	71.5	5 FT.
TP-214	71.5	5.5 FT.
TP-215	73.5	4 FT.
TP-216	74.0	5 FT.
TP-218	69.5	5 FT.
TP-219	69.0	4 FT.
TP-221	67.0	6 FT.
TP-222	67.0	5.5 FT.
TP-223	68.0	7 FT.
TP-224	69.0	7.5 FT.
TP-225	67.0	7 FT.
TP-226	70.5	6.5 FT.
TP-228	70.5	6.5 FT.
TP-229	69.0	6.5 FT.
TP-230	67.5	7 FT.
TP-231	73.0	13 FT.
TP-232	67.0	6 FT.
TP-233	74.0	NE
TP-234	71.5	11 FT.
TP-235	73.0	12 FT.
TP-236	73.0	13.5 FT.
TP-237	67.0	9 FT.
TP-238	68.5	7.5 FT.
TP-239	72.5	7 FT.
TP-240	71.5	8 FT.
TP-241	69.5	5.5 FT.

- WETLAND TRANSITION AVERAGING**
- REDUCTION AREA - 2,440 SF
  - COMPENSATION AREA - 2,660 SF
- GENERAL PERMIT**
- GP# 17 WETLAND AREA DISTURBANCE 0.11 ACRES/4,757 SF (0.25 ACRES ALLOWED)

- NOTES:**
- A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
  - DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE).
  - GP# 17 REQUIRED FOR BIKE PATH WITHIN THE WETLANDS BUFFER.
  - THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORM WATER AND SANITARY SEWER CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITIES PLAN, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.
  - THE FOLLOWING SANITARY SEWER TESTING IS TO BE SUCCESSFULLY PERFORMED PRIOR TO APPROVAL FROM WEST WINDSOR TOWNSHIP:
    - AIR PRESSURE TEST
    - MANDREL TEST
    - VACUUM TEST OF ALL MANHOLES
    - WATER JETTING AND VIDEO OF ALL SEWER MAINS
    - SANITARY LINES BETWEEN SMH S-7 & S-6 & BETWEEN SMH S-1 & SMH EX. SHALL BE PRIVATELY OWNED AND MAINTAINED.



LOT 52  
BLOCK 8

PROJ. 080823-C-101  
DATE: 08/27/2020  
REVISION: 1

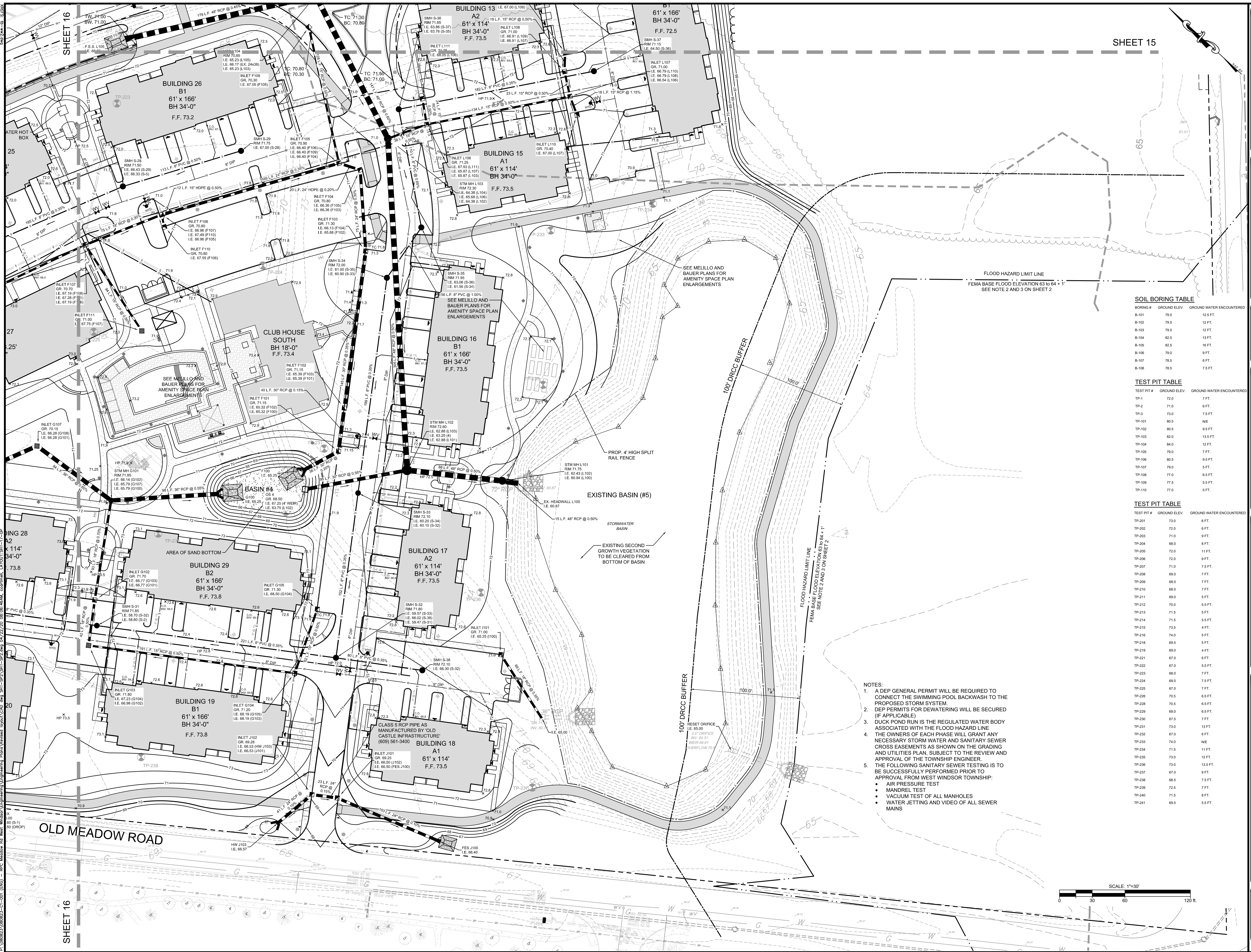
**Bowman CONSULTING**

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT, PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK GRADING & UTILITIES PLAN  
BLOCK 8, LOTS 12, 01, AND 12, 02, BLOCK 03, LOT 12, 02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET NO. 16 OF 49

BOBMAN CONSULTING GROUP, LTD.  
Professional Engineer No. 2416000800  
Geoffrey R. Lanza, N.J. Professional Engineer





**SOIL BORING TABLE**

BORING #	GROUND ELEV.	GROUND WATER ENCOUNTERED
B-101	79.5	12.5 FT.
B-102	79.5	12 FT.
B-103	79.5	12 FT.
B-104	82.5	13 FT.
B-105	82.5	16 FT.
B-106	79.0	9 FT.
B-107	78.5	6 FT.
B-108	78.5	7.5 FT.

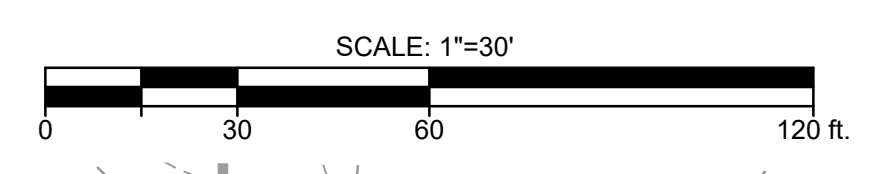
**TEST PIT TABLE**

TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-1	72.0	7 FT.
TP-2	71.0	6 FT.
TP-3	73.0	7.5 FT.
TP-101	80.5	NE
TP-102	80.5	9.5 FT.
TP-103	82.0	13.5 FT.
TP-104	84.0	12 FT.
TP-105	79.0	7 FT.
TP-106	80.5	9.5 FT.
TP-107	79.0	5 FT.
TP-108	77.0	6.5 FT.
TP-109	77.5	5.5 FT.
TP-110	77.0	5 FT.

**TEST PIT TABLE**

TEST PIT #	GROUND ELEV.	GROUND WATER ENCOUNTERED
TP-201	73.0	6 FT.
TP-202	72.0	6 FT.
TP-203	71.0	9 FT.
TP-204	68.0	8 FT.
TP-205	72.0	11 FT.
TP-206	72.0	9 FT.
TP-207	71.0	7.5 FT.
TP-208	68.0	7 FT.
TP-209	68.0	7 FT.
TP-210	68.0	7 FT.
TP-211	69.0	5 FT.
TP-212	70.0	5.5 FT.
TP-213	71.5	5.5 FT.
TP-214	71.5	5.5 FT.
TP-215	73.5	4 FT.
TP-216	74.0	5 FT.
TP-218	69.5	5 FT.
TP-219	69.0	4 FT.
TP-221	67.0	6 FT.
TP-222	67.0	5.5 FT.
TP-223	68.0	7 FT.
TP-224	69.0	7.5 FT.
TP-225	67.0	7 FT.
TP-226	70.5	6.5 FT.
TP-228	70.5	6.5 FT.
TP-229	69.0	6.5 FT.
TP-230	67.5	7 FT.
TP-231	73.0	13 FT.
TP-232	67.0	6 FT.
TP-233	74.0	NE
TP-234	71.5	11 FT.
TP-235	73.0	12 FT.
TP-236	73.0	13.5 FT.
TP-237	67.0	9 FT.
TP-238	68.5	7.5 FT.
TP-239	72.5	7 FT.
TP-240	71.5	8 FT.
TP-241	69.5	5.5 FT.

- NOTES:**
- A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
  - DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE).
  - DUCK POND RUN IS THE REGULATED WATER BODY ASSOCIATED WITH THE FLOOD HAZARD LINE.
  - THE OWNERS OF EACH PHASE WILL GRANT ANY NECESSARY STORM WATER AND SANITARY SEWER CROSS EASEMENTS AS SHOWN ON THE GRADING AND UTILITIES PLAN, SUBJECT TO THE REVIEW AND APPROVAL OF THE TOWNSHIP ENGINEER.
  - THE FOLLOWING SANITARY SEWER TESTING IS TO BE SUCCESSFULLY PERFORMED PRIOR TO APPROVAL FROM WEST WINDSOR TOWNSHIP:
    - AIR PRESSURE TEST
    - MANDREL TEST
    - VACUUM TEST OF ALL MANHOLES
    - WATER JETTING AND VIDEO OF ALL SEWER MAINS



**Bowman CONSULTING**

Professional Engineer License No. 241000000000

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 Email: info@bowmanconsulting.com  
 Website: www.bowmanconsulting.com

**PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 GRADING & UTILITIES PLAN**

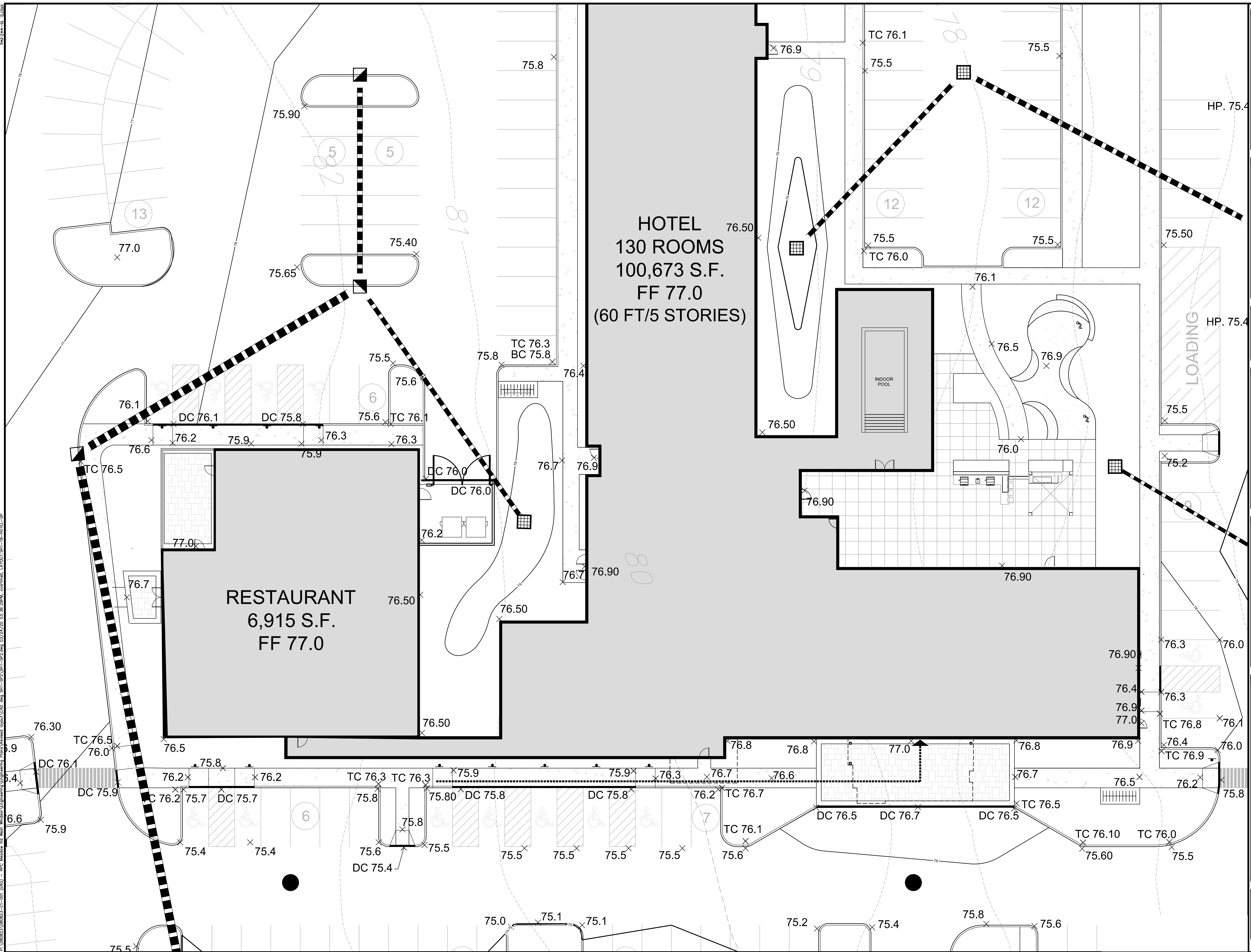
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

Block 9, Lots 12, 01, and 12, 02, Block 603, Lot 12, 02

DATE: (DATE)  
 REVISION: (DATE)

SHEET No. **17** of **49**

P:\084823\084823-C1-001 (ENCL) - RRC Meadow Rd West Windsor\Engineering\Plans\Revised layout\CAD.dwg SHI-SP2.dwg 03/24/20 03:36:29PM cormell LAYOUT:SHI-18-HOTEL-CP



**HOTEL**  
130 ROOMS  
100,673 S.F.  
FF 77.0  
(60 FT/5 STORIES)

**RESTAURANT**  
6,915 S.F.  
FF 77.0

INDOOR  
POOL

LOADING

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PROJ: 084823-C1-001  
CHG: GR

**Bowman**  
CONSULTING

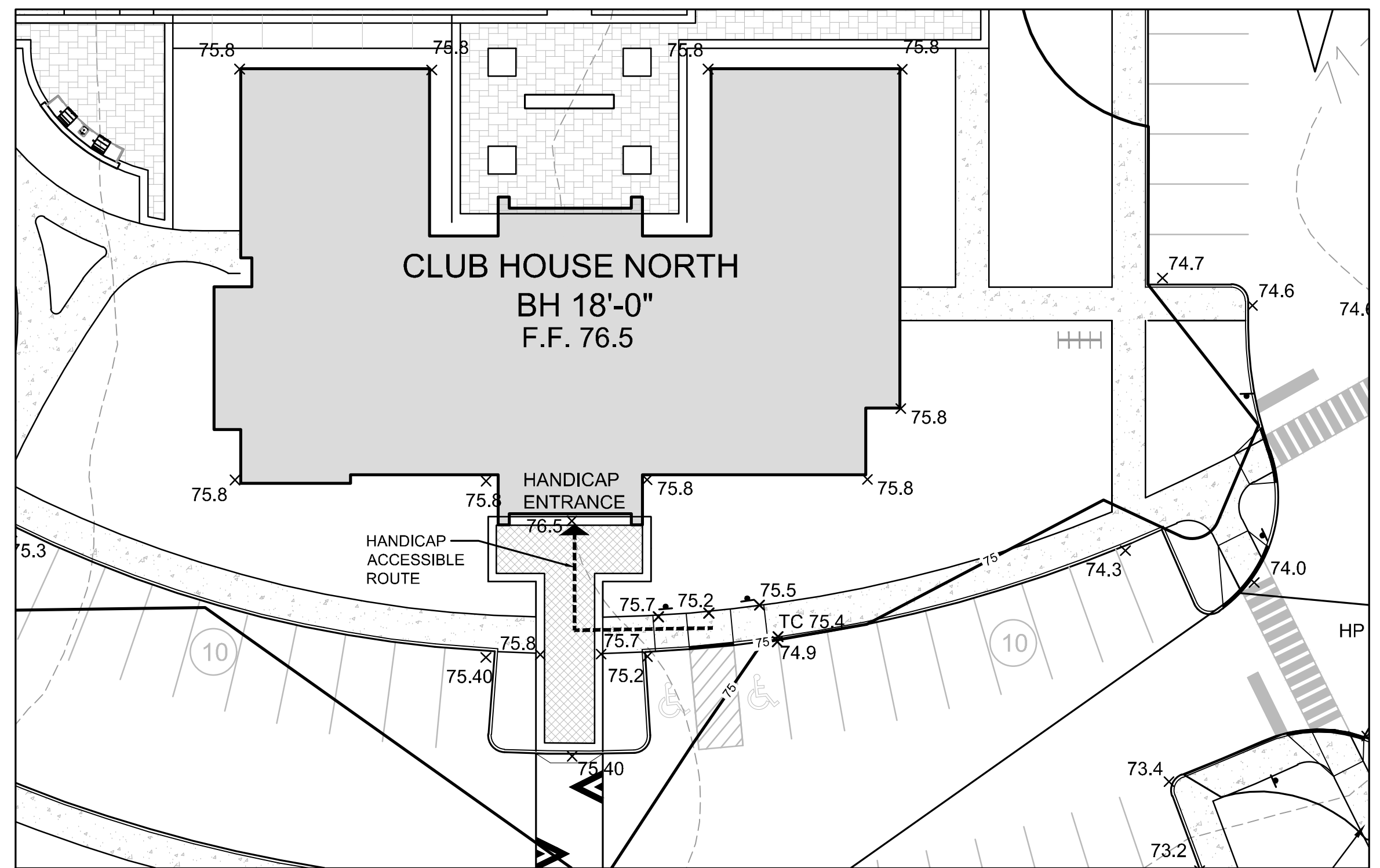
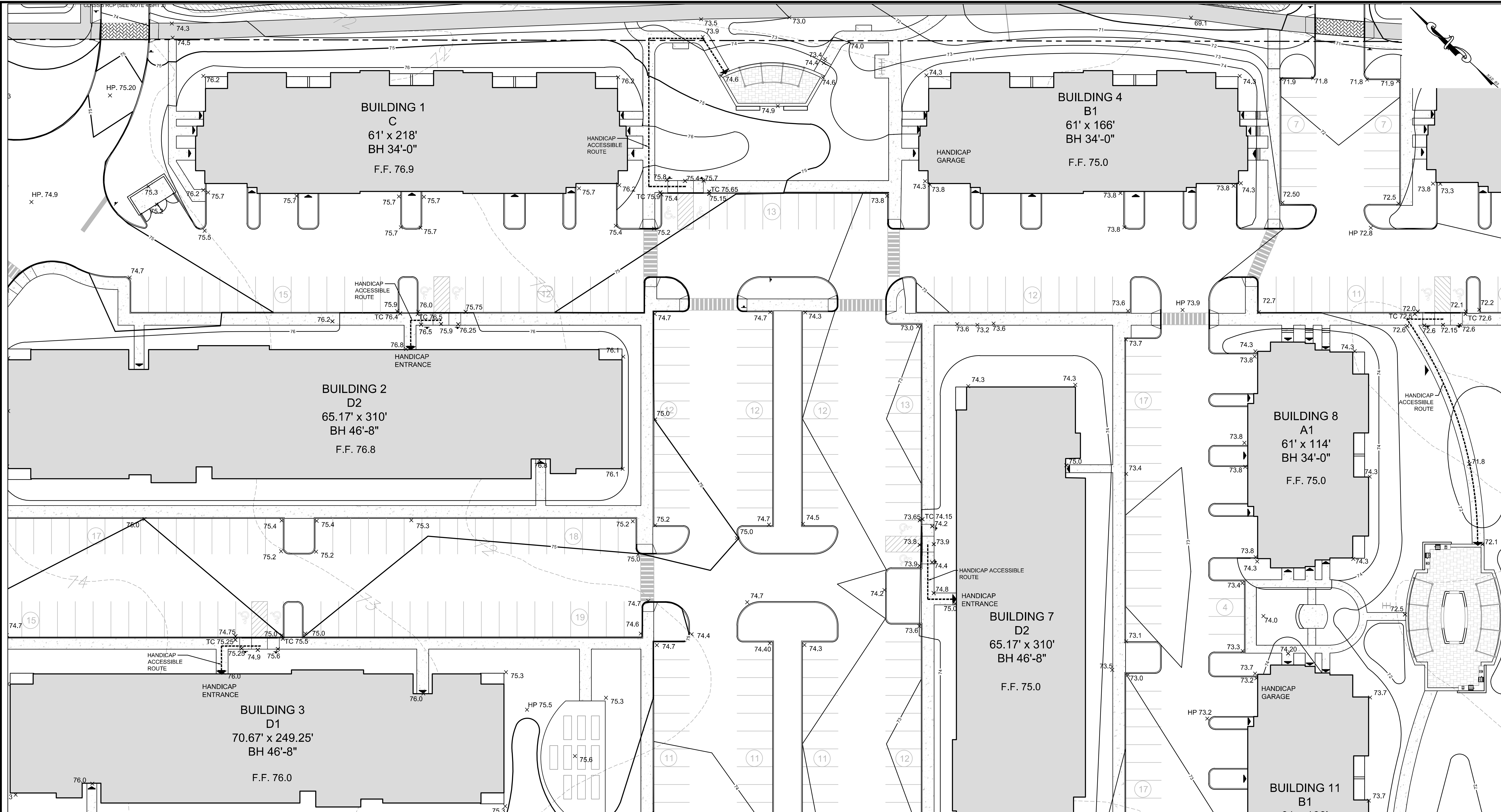
Bowman Consulting Group, Ltd.  
Phone: 732-665-5000  
Fax: 732-665-5001  
NJ Certificate of Registration  
Professional Engineer License No. 24CE0008000

*Geoffrey R. Lanza*

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
PRINCETON EXECUTIVE PARK  
GRADING-HOTEL PLAN ENLARGEMENT  
BLOCK 9, LOTS 12.01, AND 12.02, BLOCK 603, LOT 12.02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No.  
**18**  
OF  
**49**

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PROJ: 084823-C1-001		DATE: 03/24/20	
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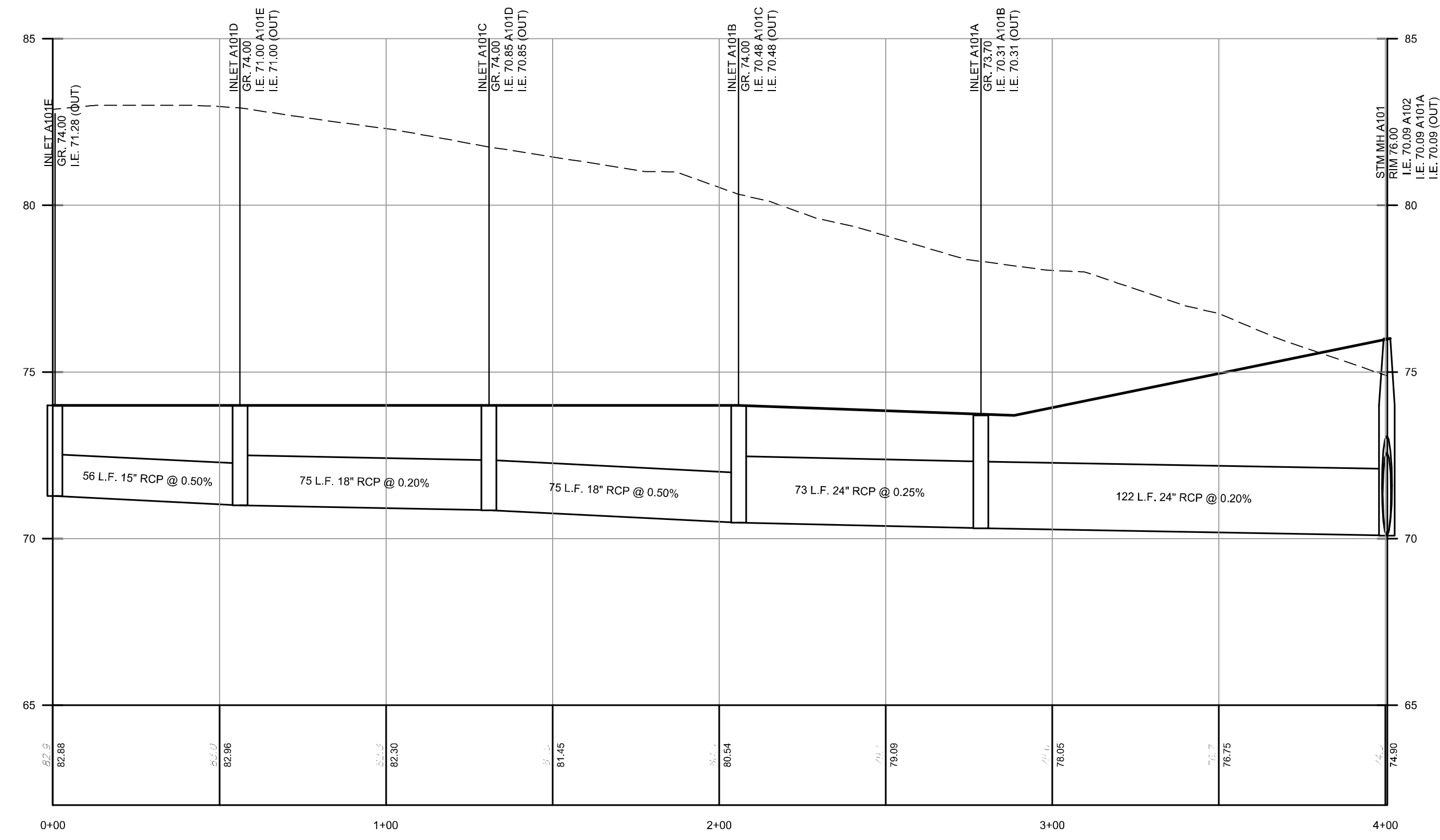
**Bowman CONSULTING**

Bowman Consulting Group, Ltd.  
 Phone: 732-666-5500  
 Fax: 732-666-5011  
 NJ Certificate of Professional Registration  
 www.bowmanconsulting.com

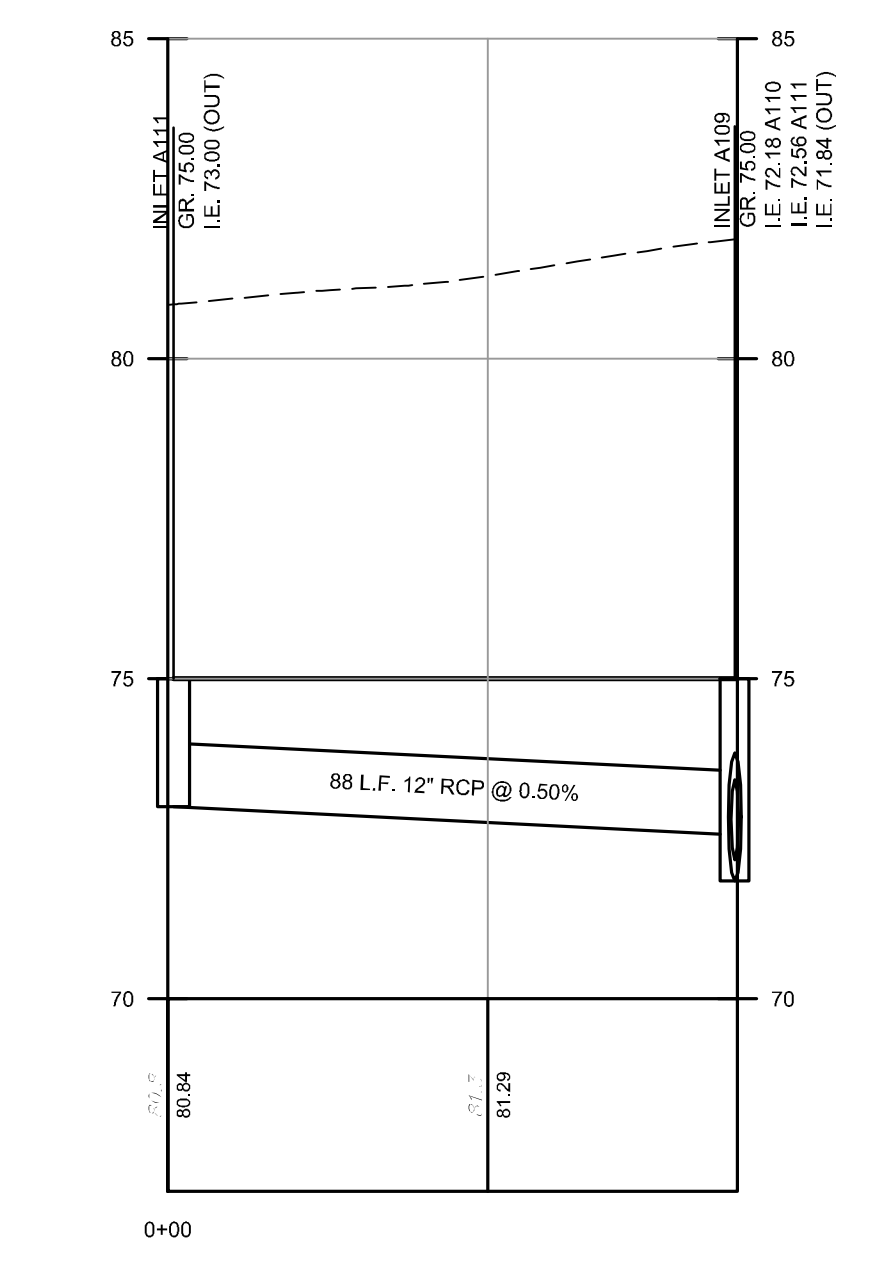
GEORFFREY R. LANZA N.J. Professional Engineer Lic. 24160008000

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 ADA GRADING - RESIDENTIAL PLAN  
 BLOCKS 9, LOTS 12, 01, and 12, 02, BLOCK 9.03, LOT 12, 02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

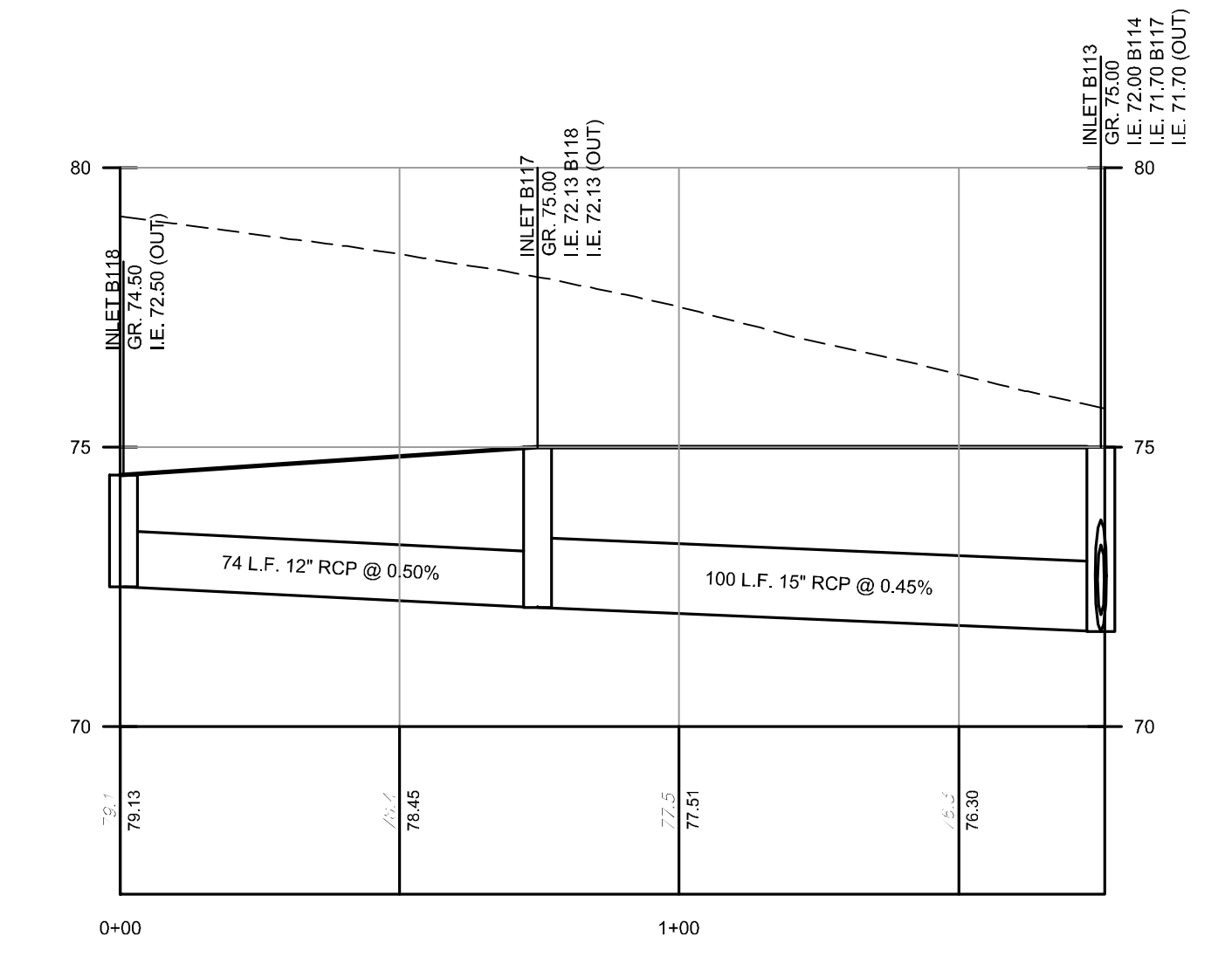
SHEET No. **19** OF **49**



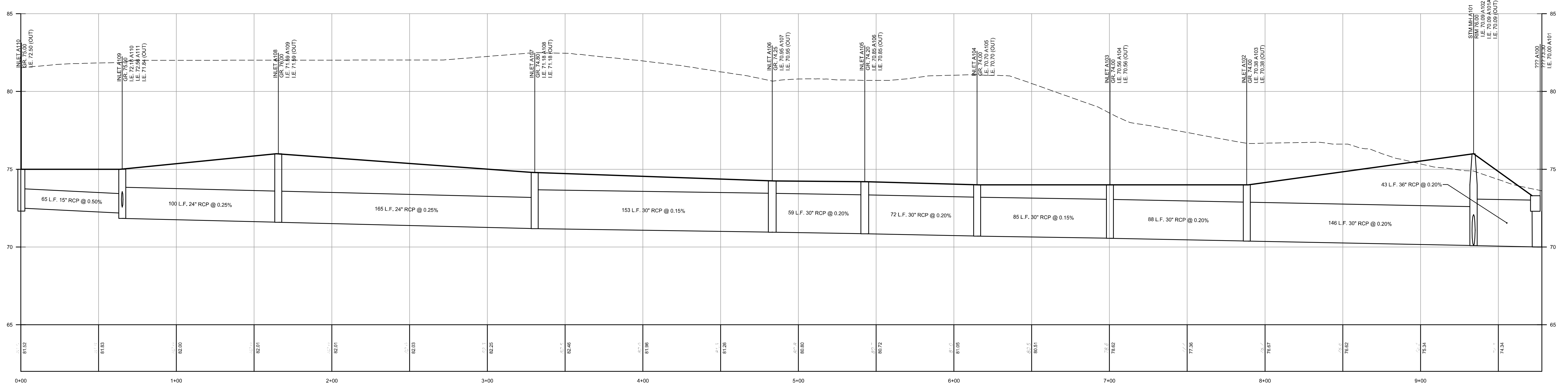
INLET A101E-STM MH A101 PROFILE



INLET A111-INLET A100 PROFILE



INLET B102-INLET B113 PROFILE

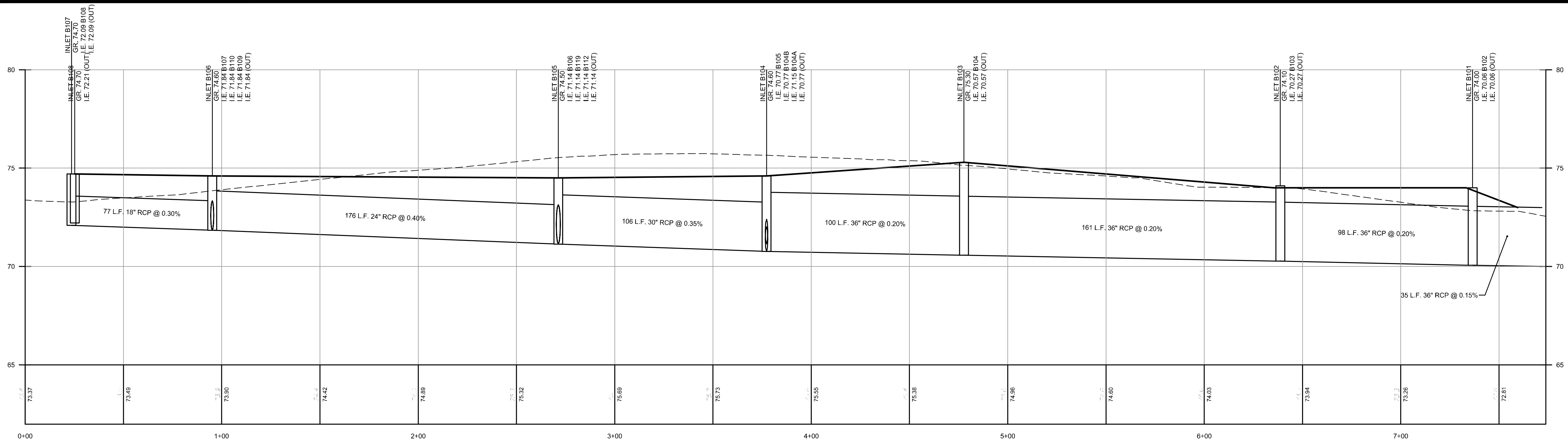


INLET A110 - FES A100 PROFILE

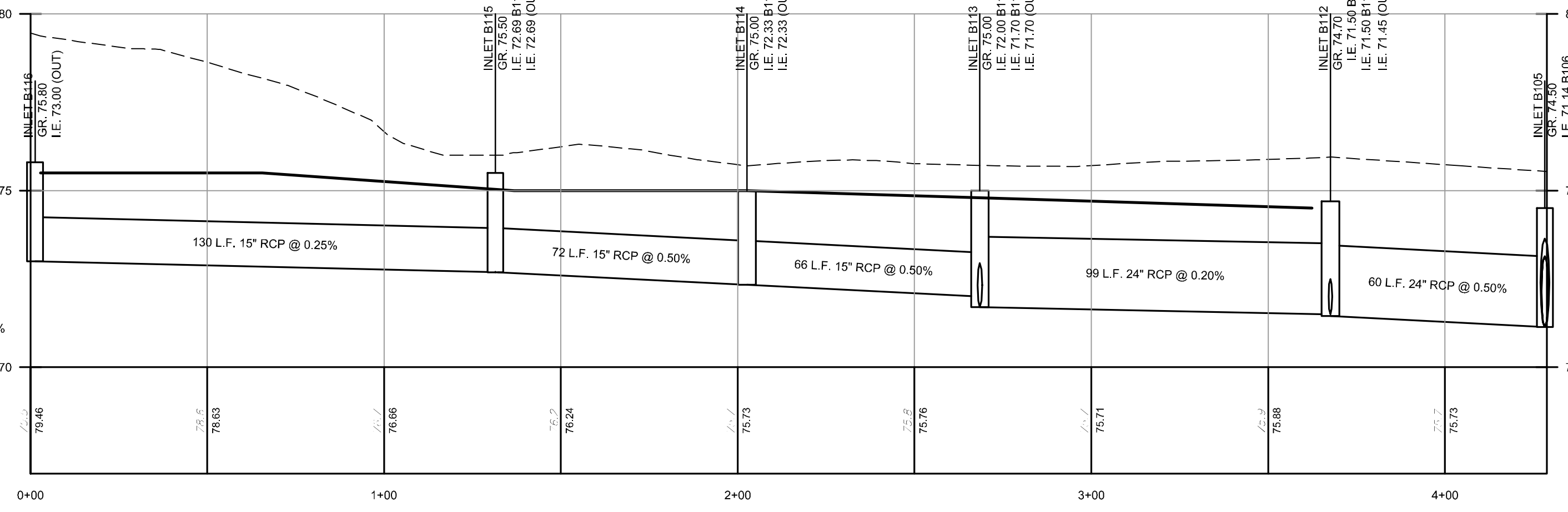
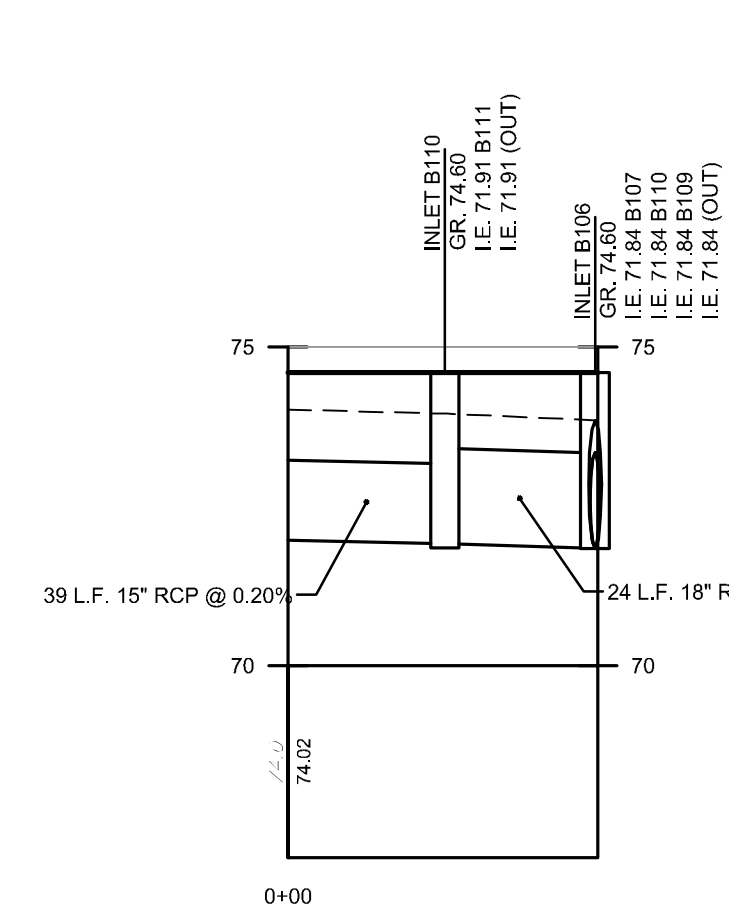
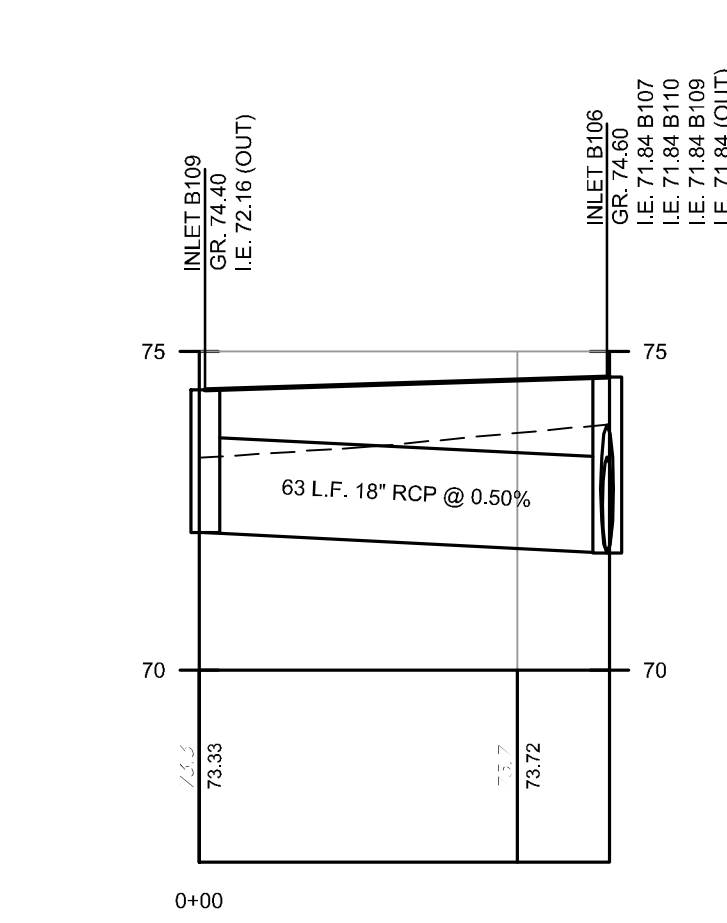
NOTE:  
ALL PIPES WITH LESS THAN 2' OF  
COVER SHALL USE CLASS 5 PIPE

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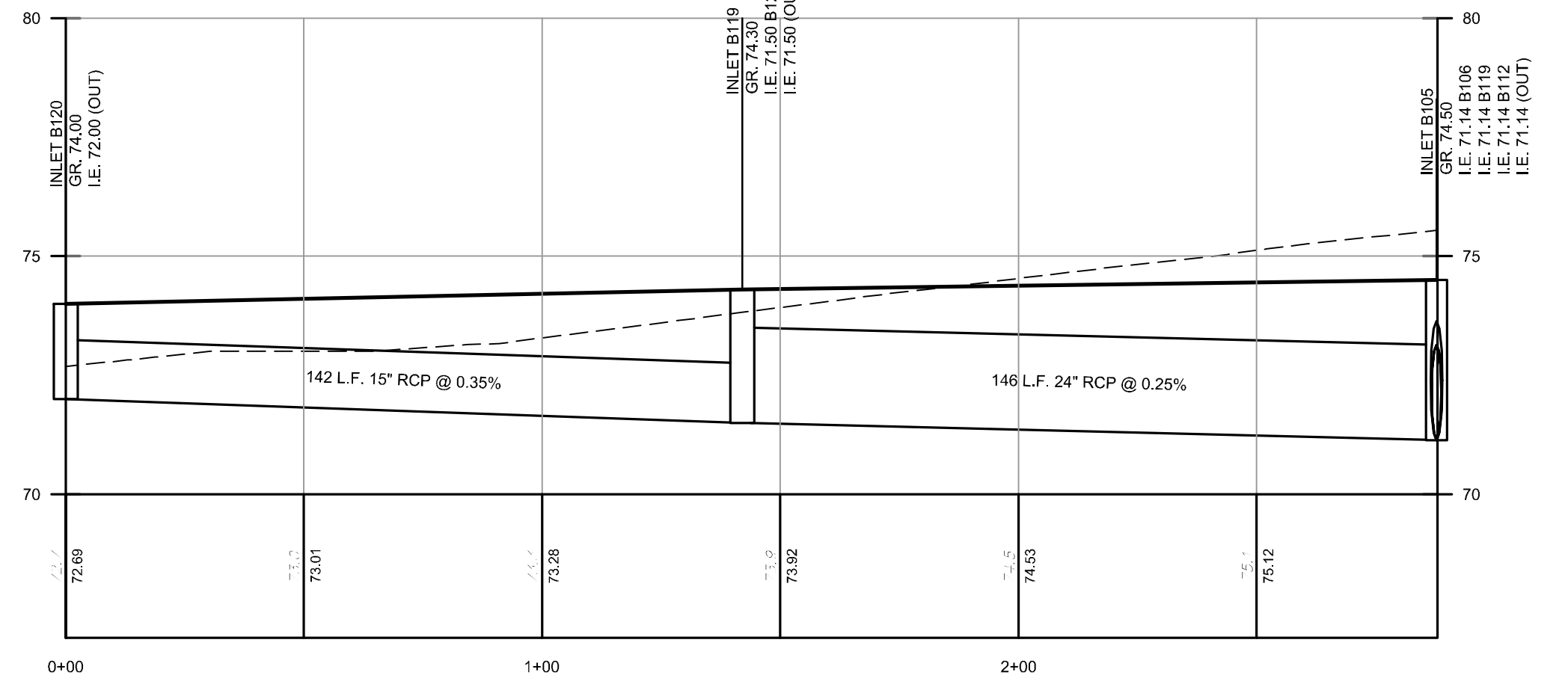
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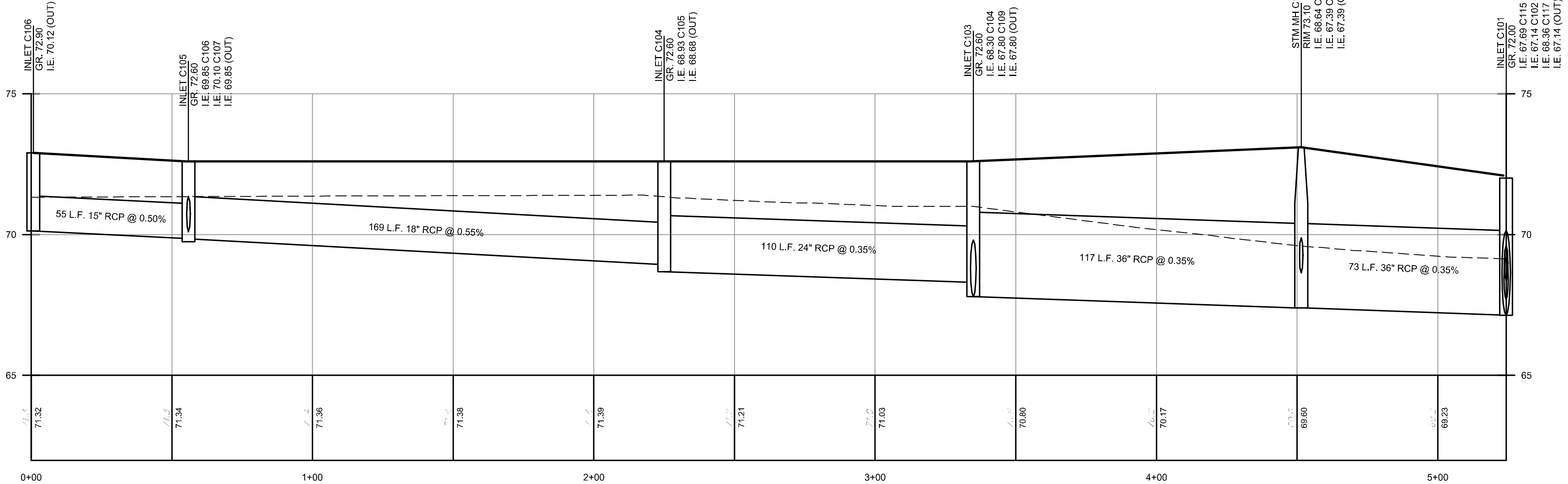
INLET B108-FES B100 PROFILE



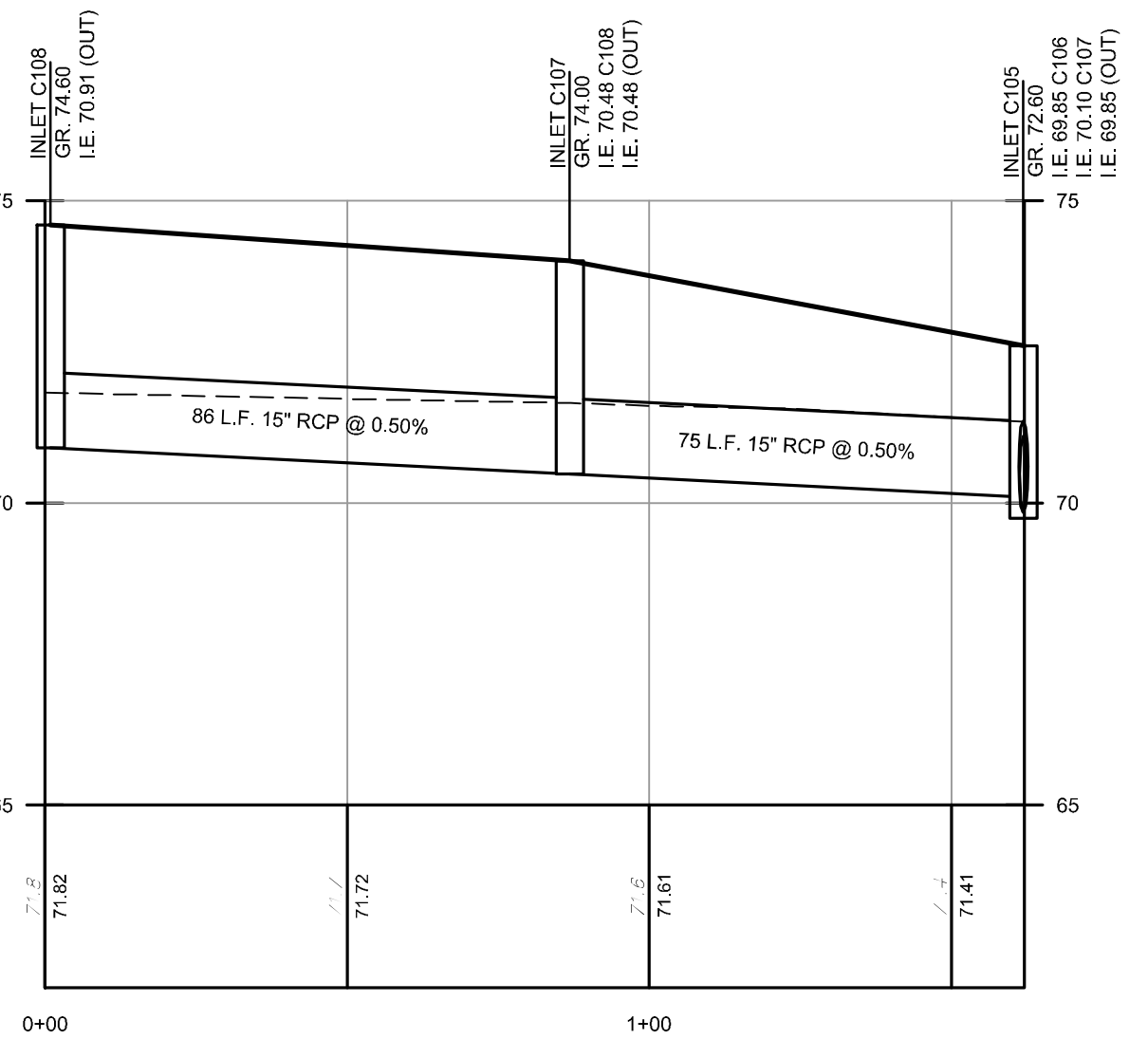
INLET B116-INLET B105 PROFILE



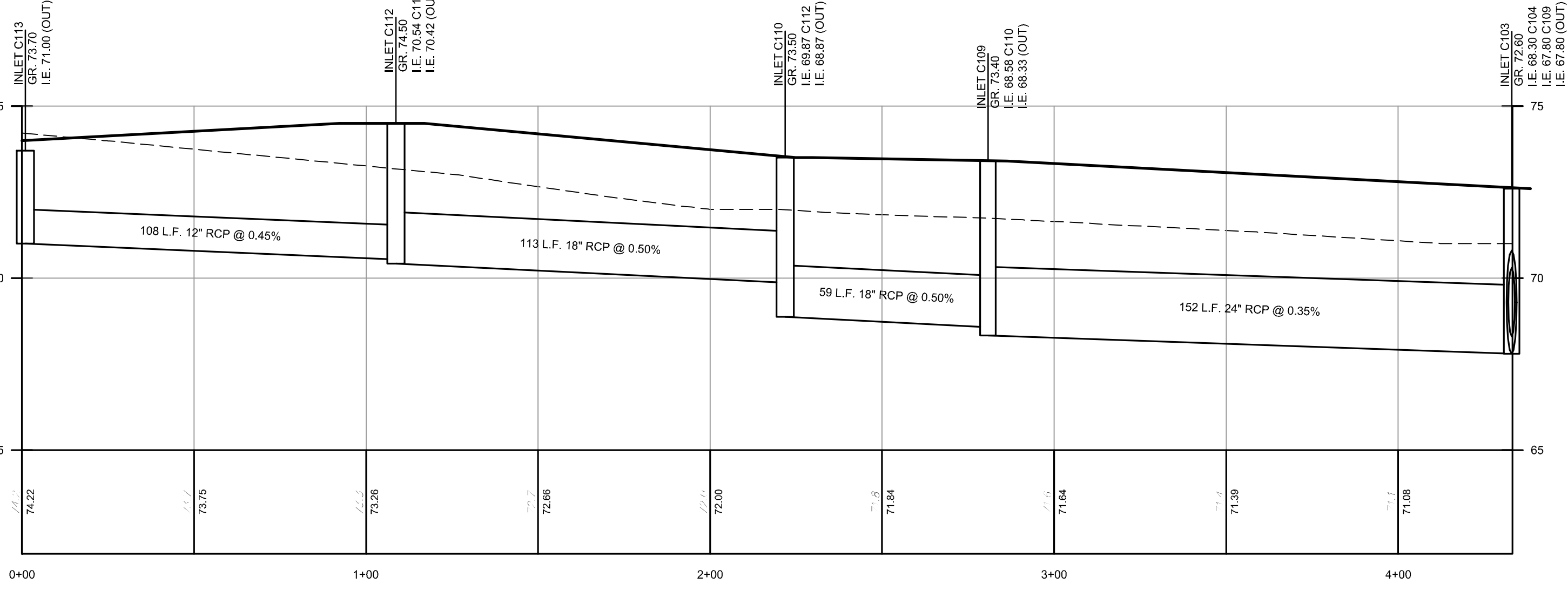
INLET B120-INLET B105 PROFILE



INLET C106-INLET C101 PROFILE



INLET C108-INLET C105 PROFILE



INLET C113-INLET C103 PROFILE

NOTE: ALL PIPES WITH LESS THAN 2' OF COVER SHALL USE CLASS 5 PIPE

PROJ: 080823-C1-001  
 CHNO: GR

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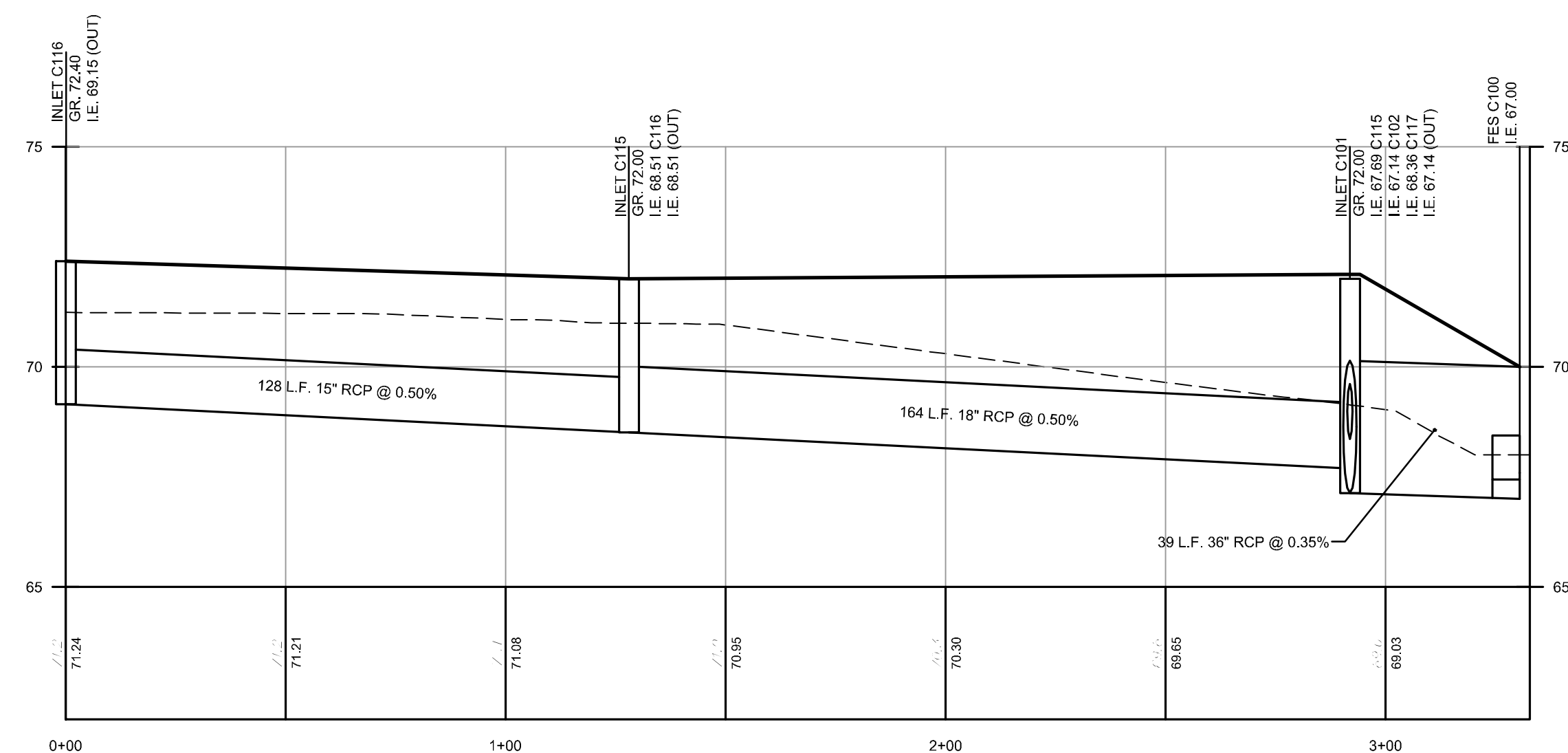
Geoffrey R. Lanza

Geoffrey R. LANZA N.J. Professional Engineer Lic. 2416E0008000

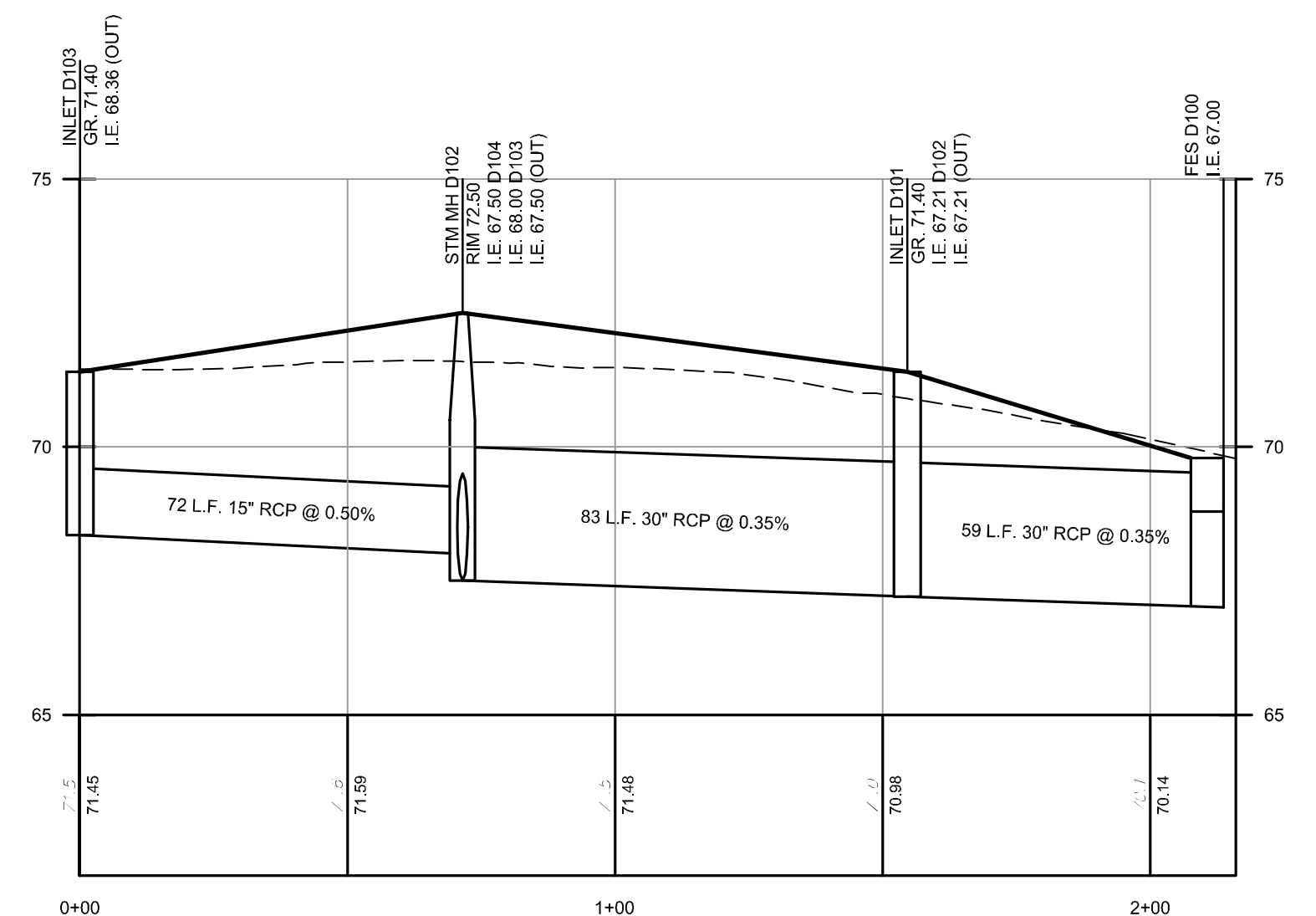
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 PROFILES  
 BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

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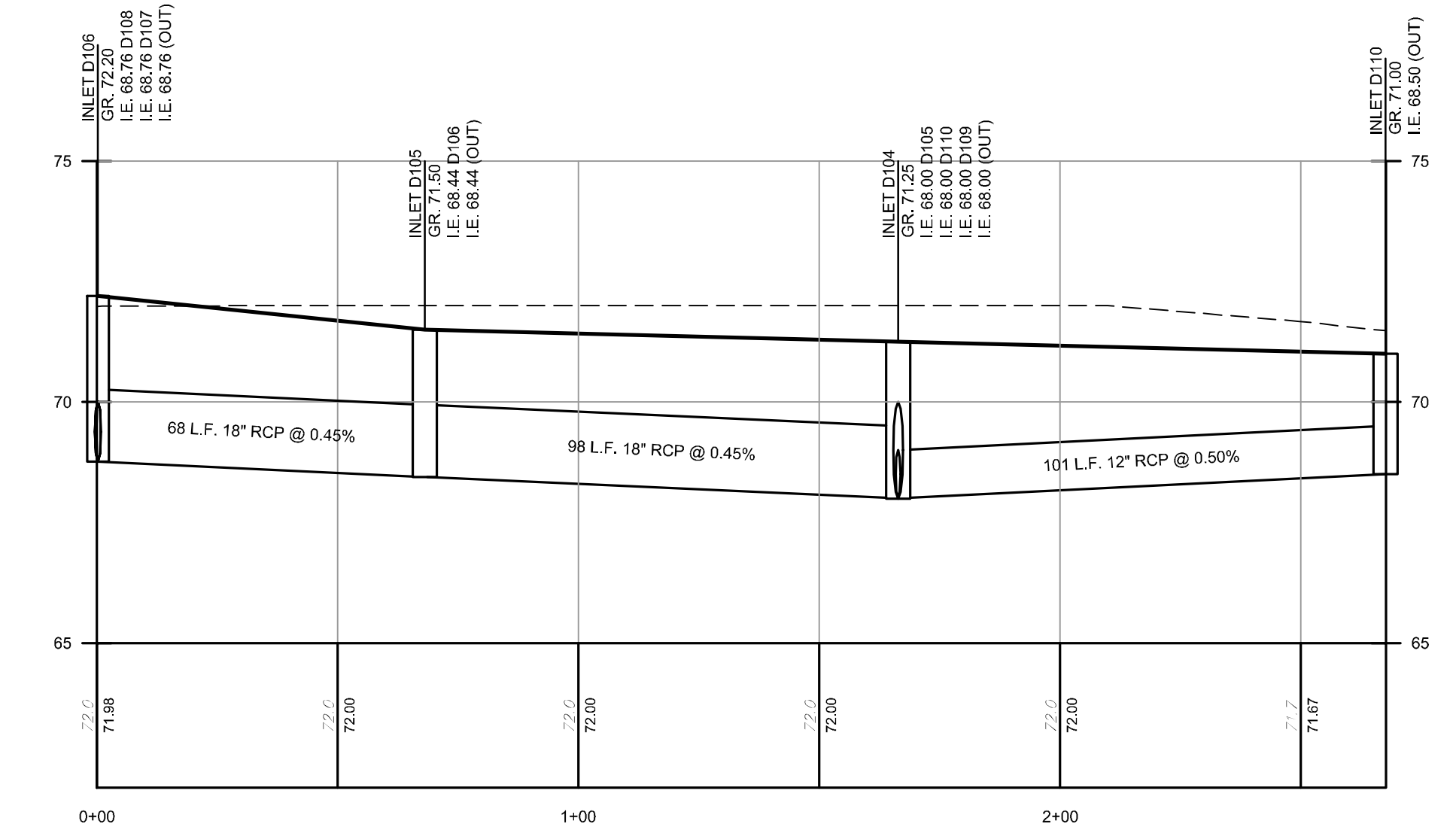
SHEET No. **21** OF **49**



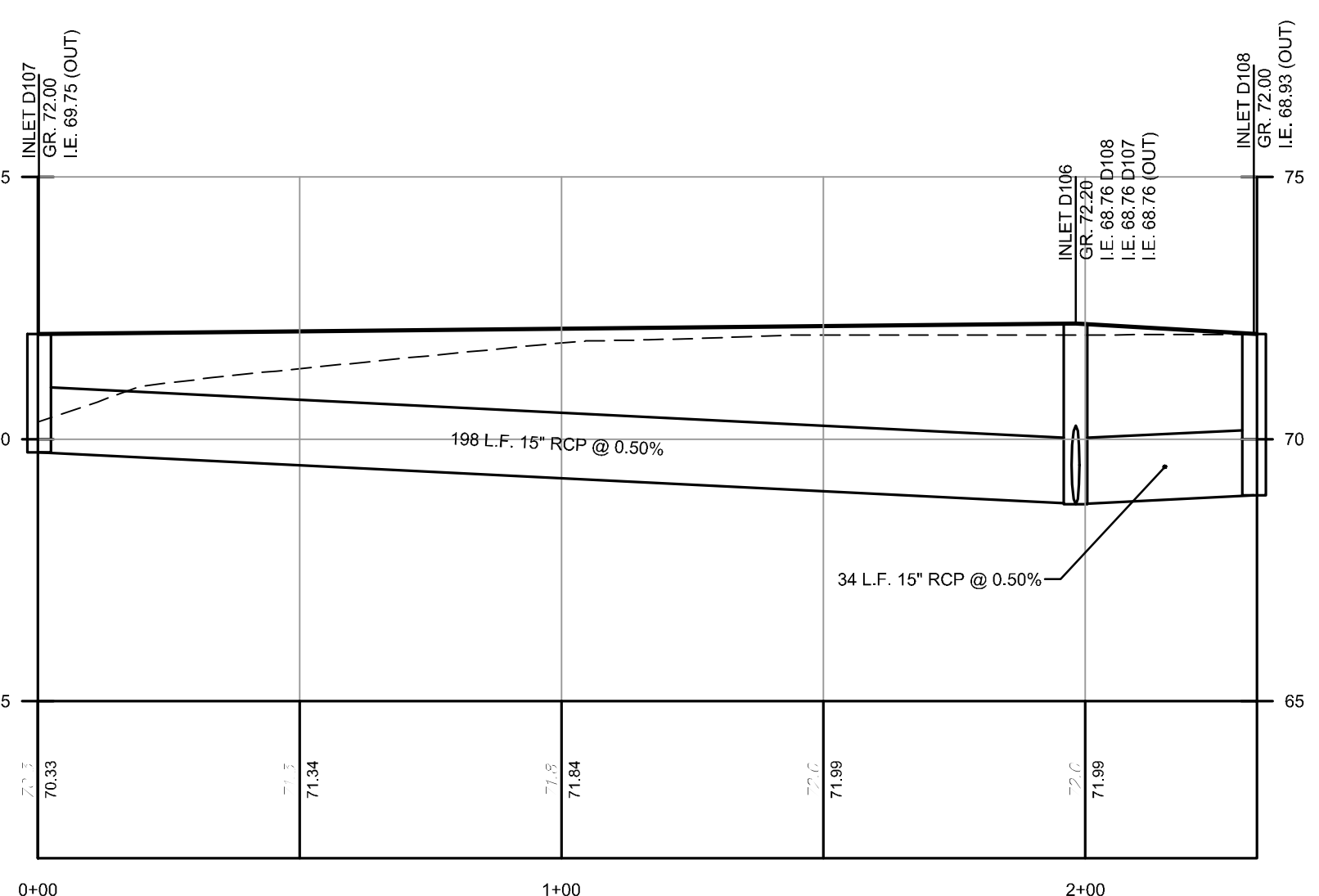
INLET C116-FES C100 PROFILE



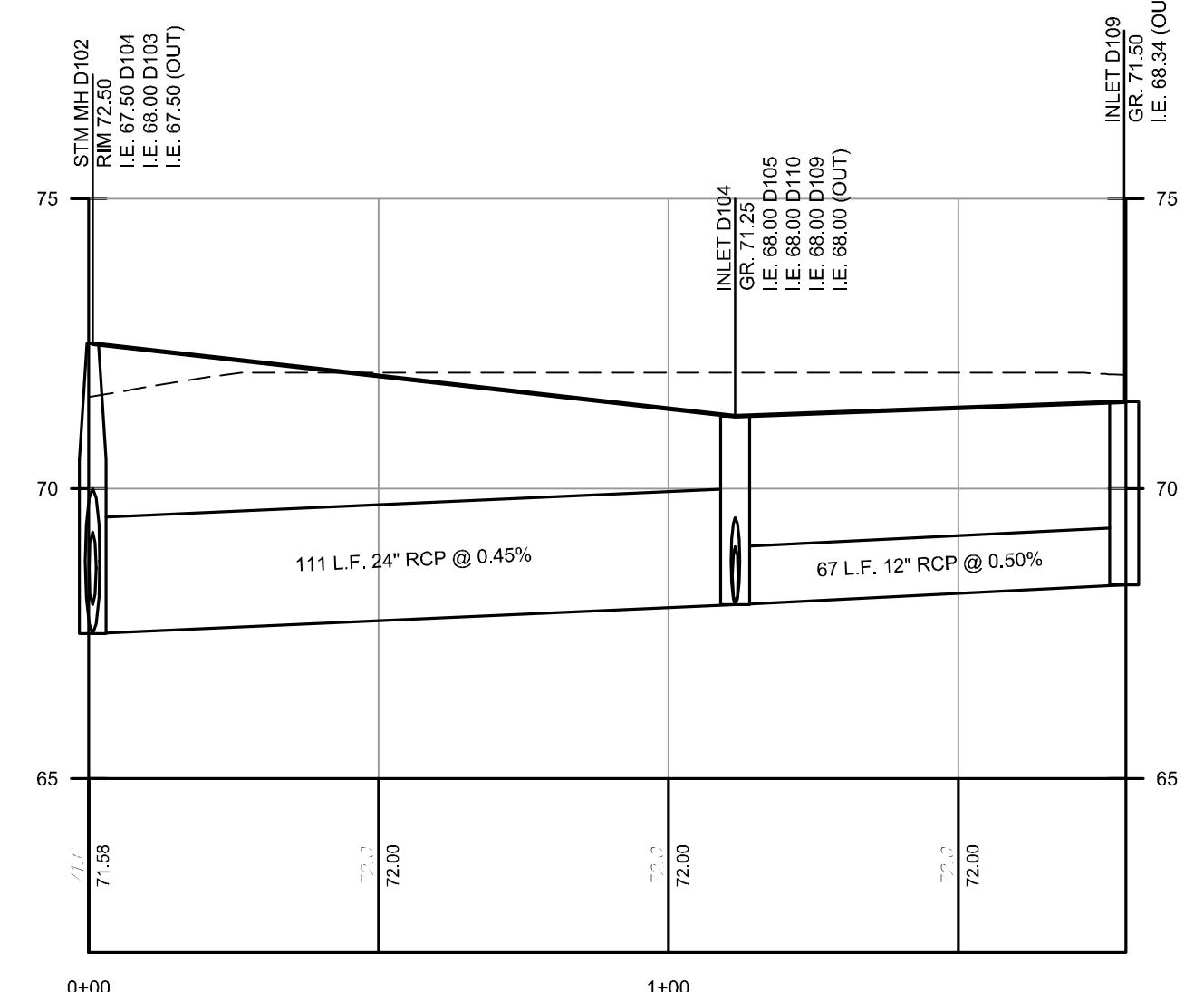
INLET D103-FES D100 PROFILE



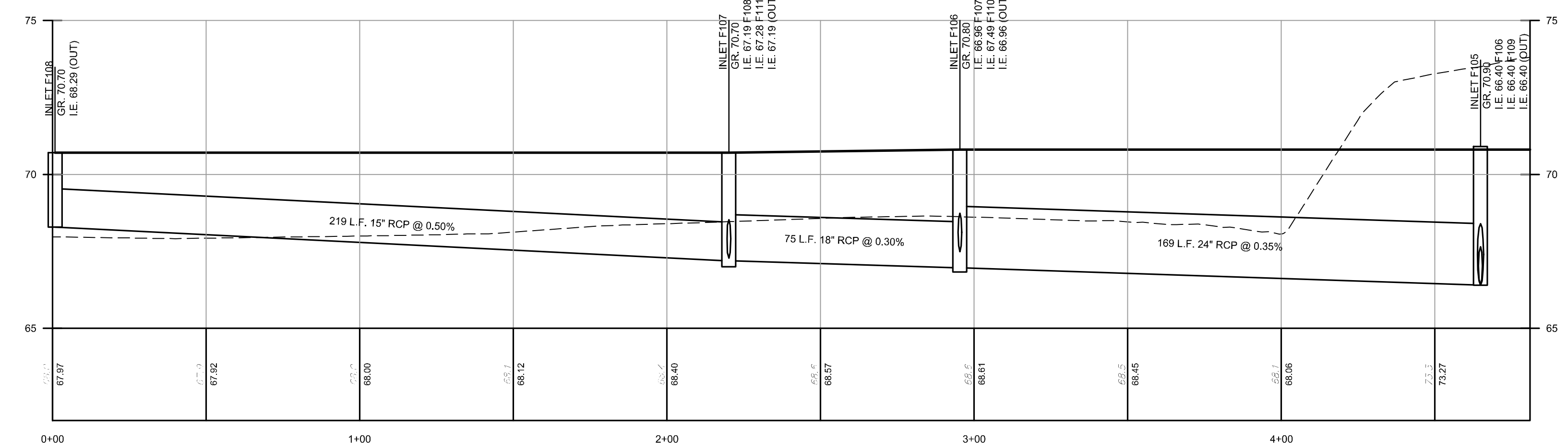
INLET D106-INLET D110 PROFILE



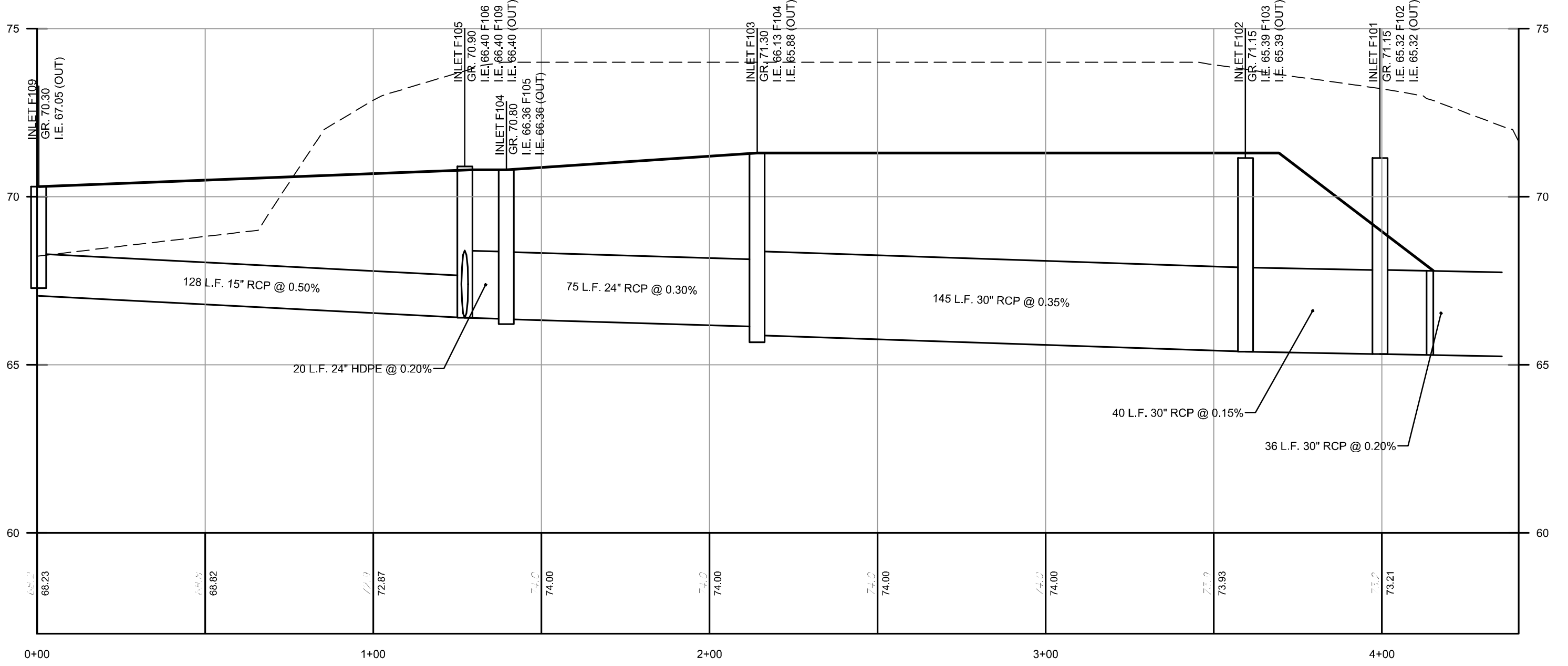
INLET D107-INLET D108 PROFILE



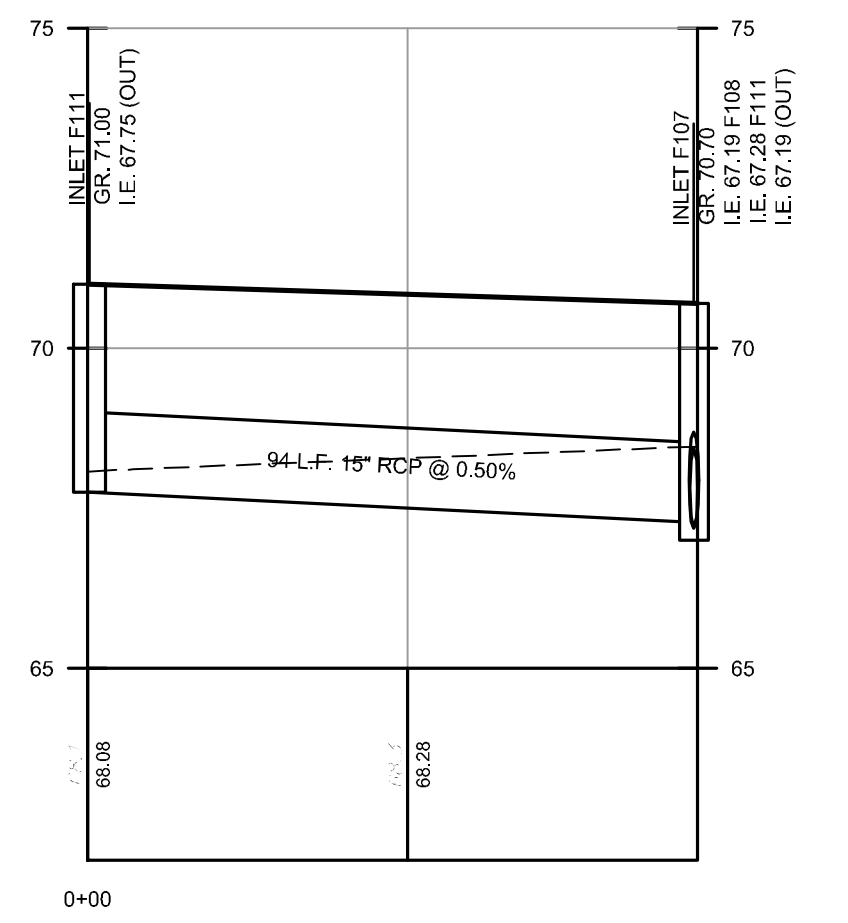
INLET D109-STM MH D102 PROFILE



INLET F108 - INLET F105 PROFILE



INLET F109 - F100 PROFILE



INLET F111 - INLET F107 PROFILE

NOTE:  
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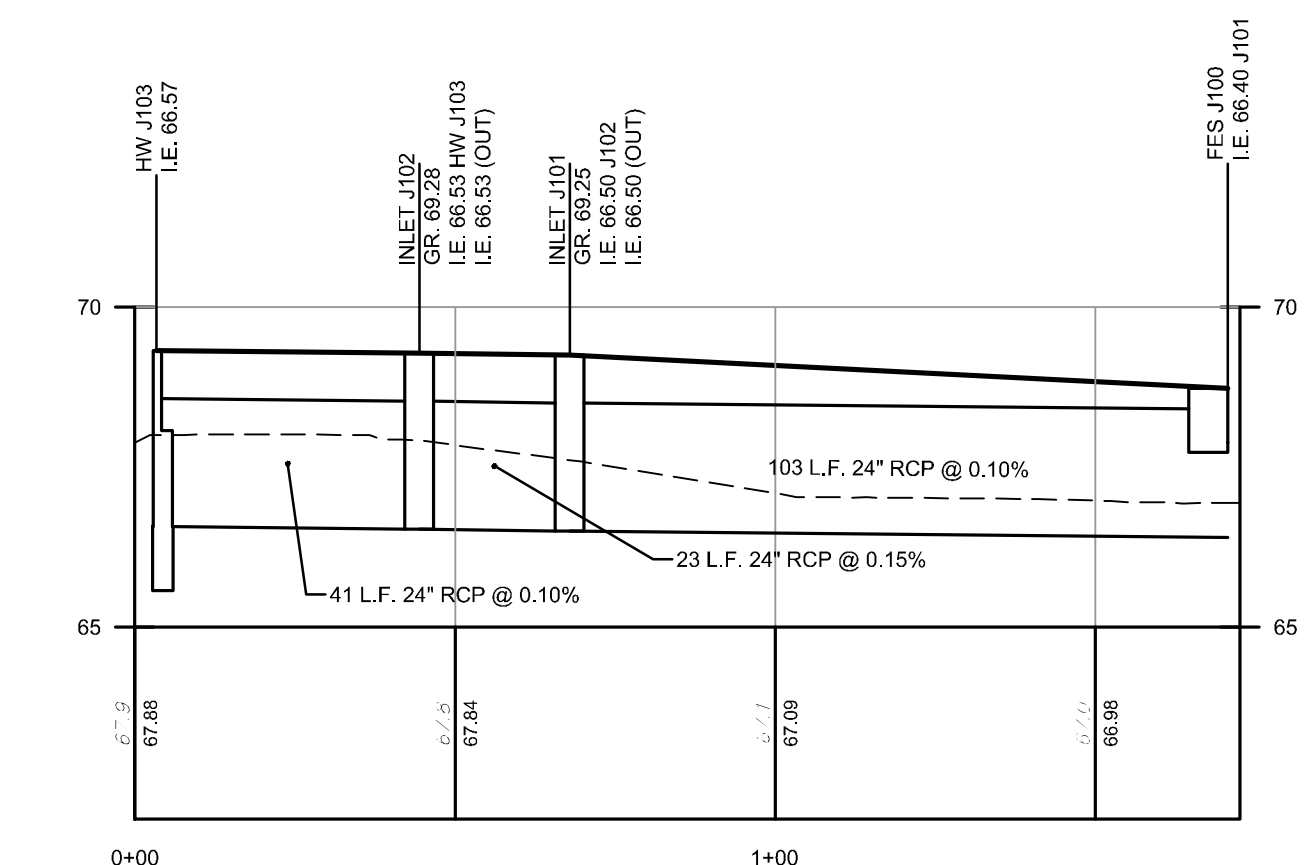
**Bowman CONSULTING**

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Princeton, New Jersey 07728  
www.bowmanconsulting.com  
Phone: 732-665-5500  
Fax: 732-665-5001  
NJ Certificate of Registration  
Professional Engineer License No. 24CE00068000

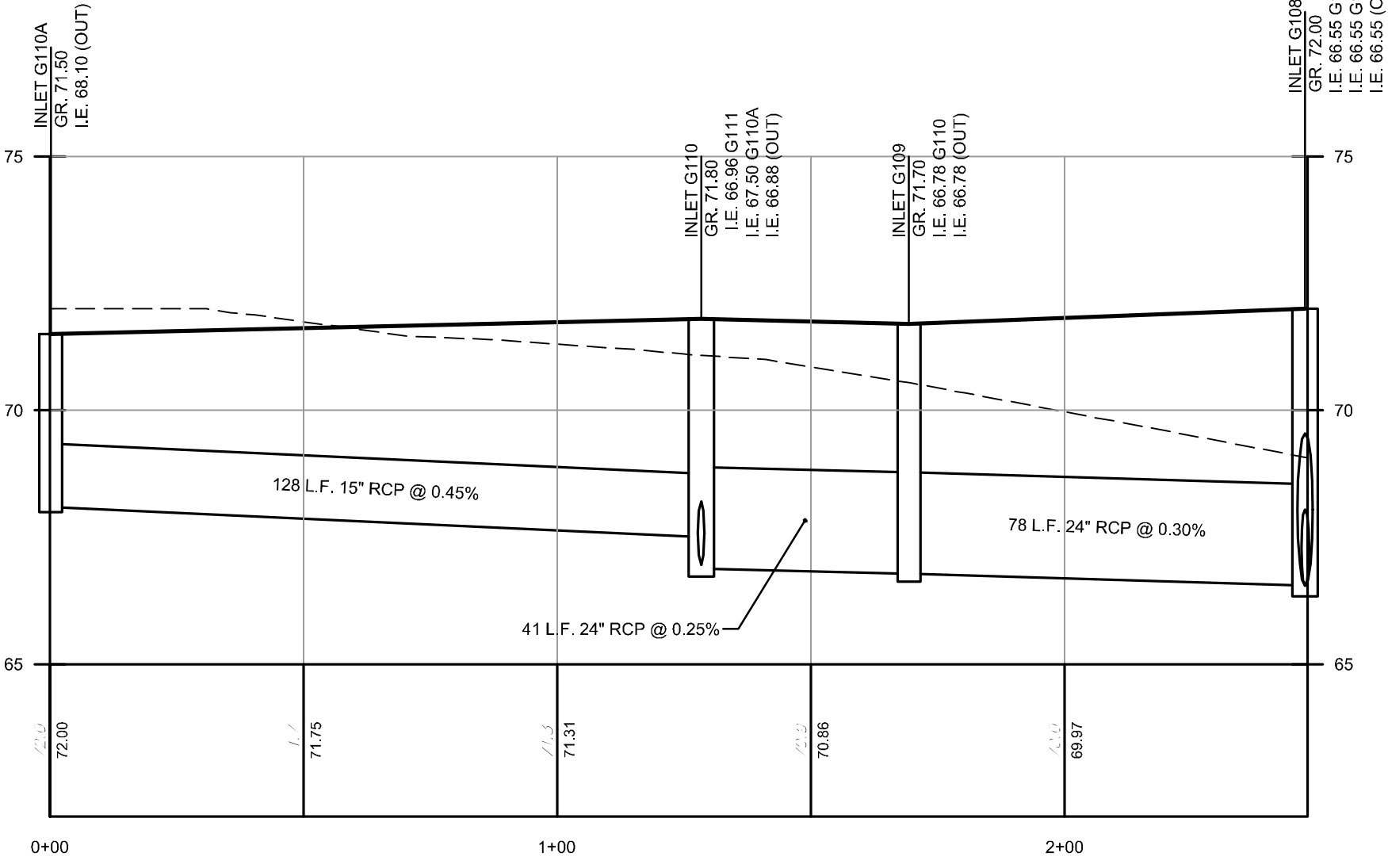
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
PRINCETON EXECUTIVE PARK  
PROFILES  
BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

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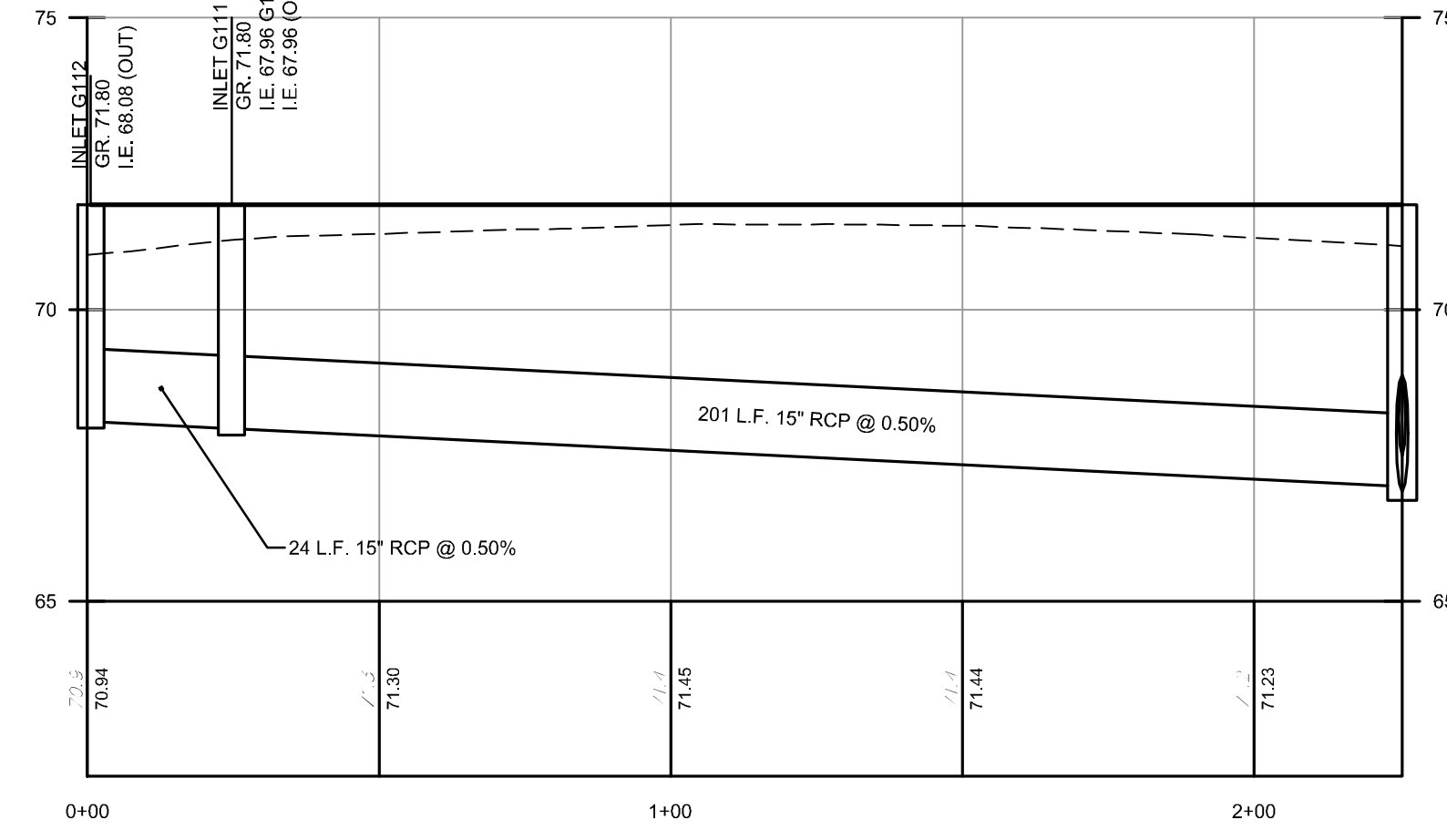
SHEET NO. 22 OF 49



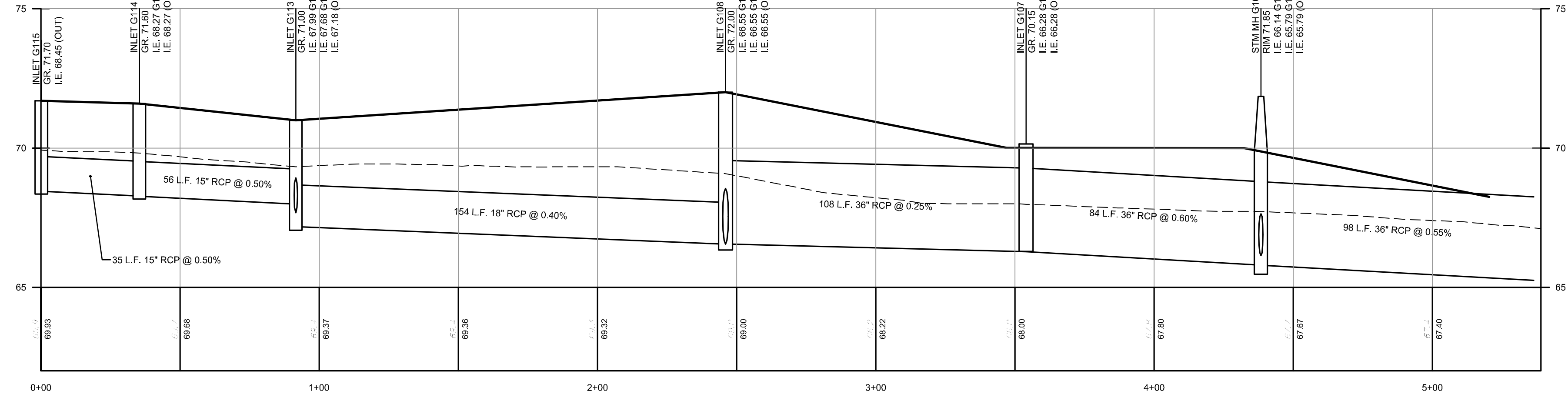
HW J103 - FES J100 PROFILE



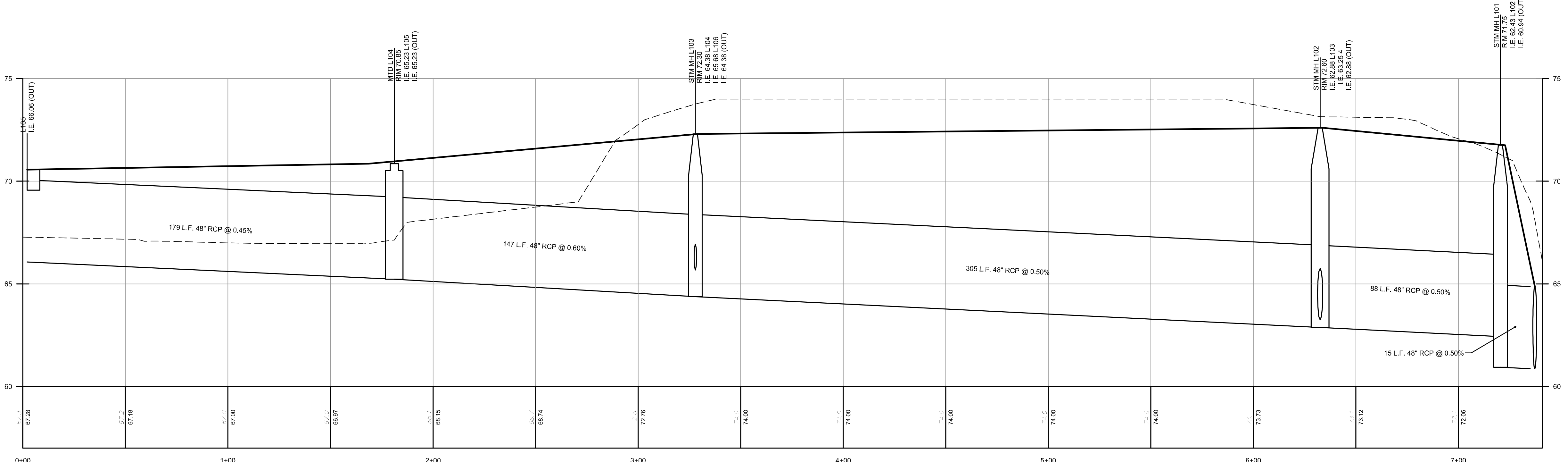
INLET G110A - INLET G108 PROFILE



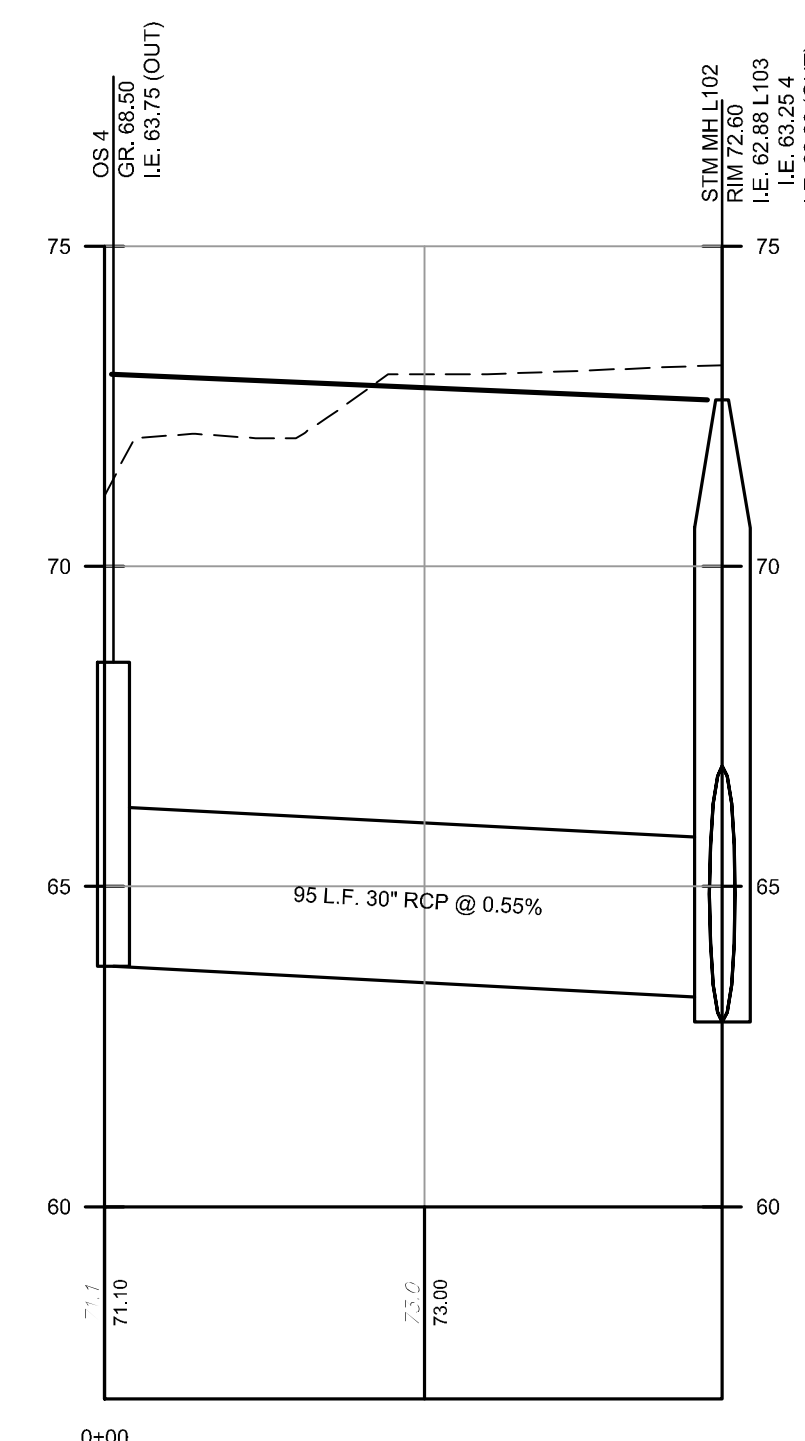
INLET G112 - INLET G110 PROFILE



INLET G115 - INLET G100 PROFILE



FES L105 - HEADWALL L100 PROFILE



OS 4 - STM MH L102 PROFILE

NOTE:  
ALL PIPES WITH LESS THAN 2' OF  
COVER SHALL USE CLASS 5 PIPE

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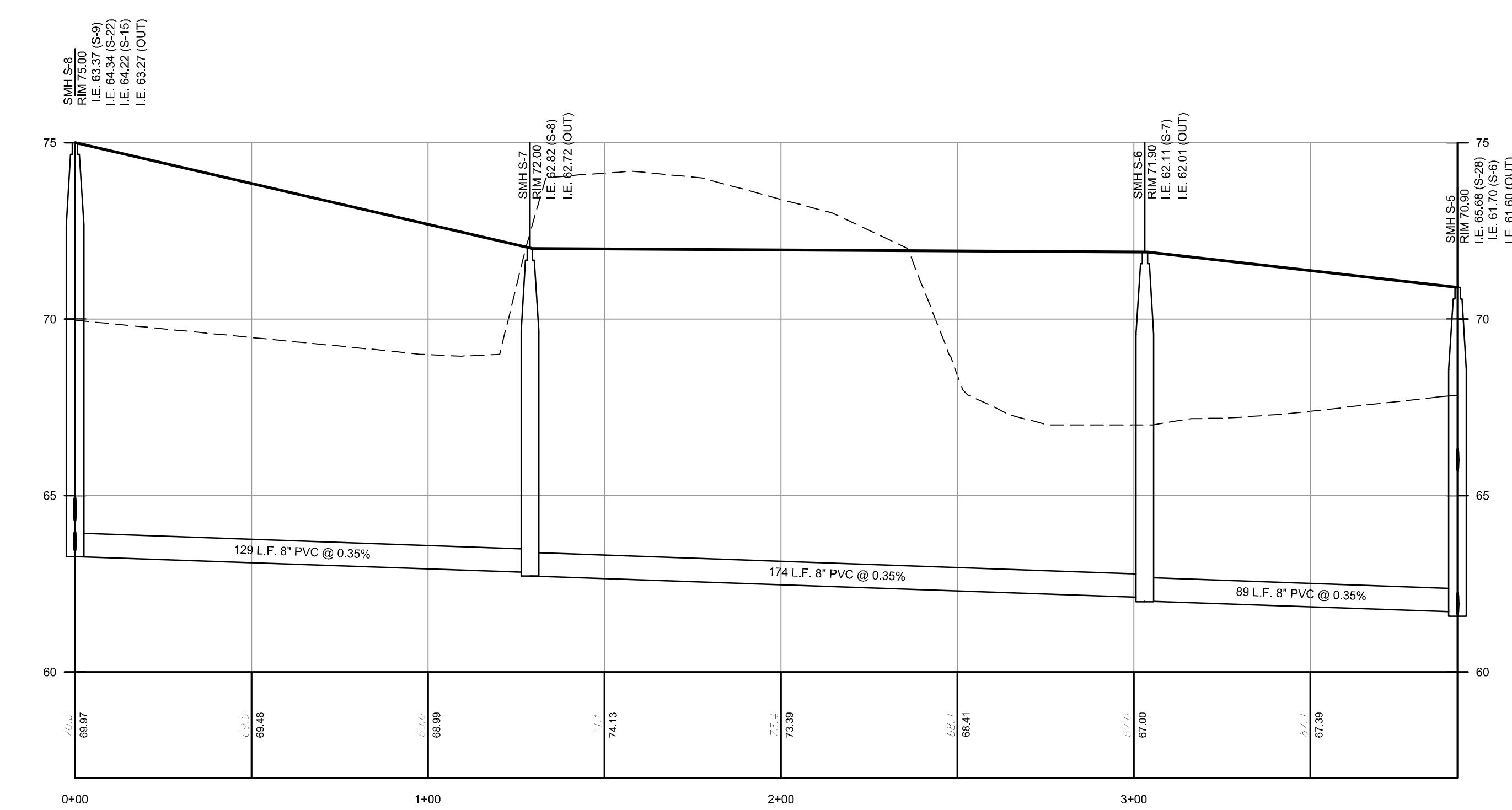
Bowman Consulting Group, Ltd.  
 Phone: 732-665-5000  
 Fax: 732-665-5001  
 NJ Certificate of Registration  
 No. 12C000000100  
 www.bowmanconsulting.com  
 www.njprofessionalengineers.com

Signature: Geoffrey R. Lanza

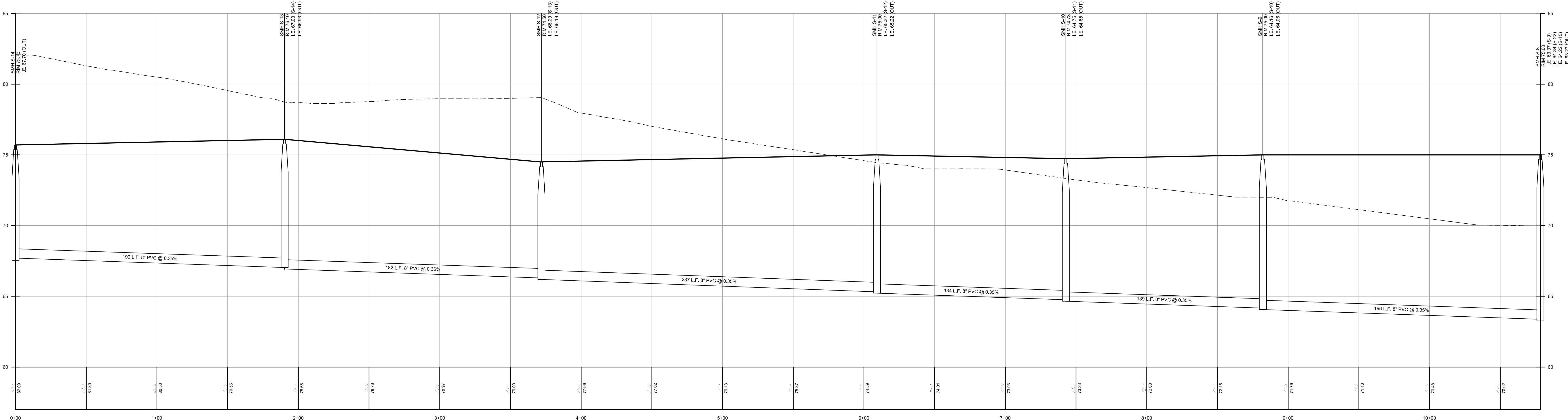
GEOFFREY R. LANZA, N.J. Professional Engineer, Lic. 2416E00068000

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 PROFILES

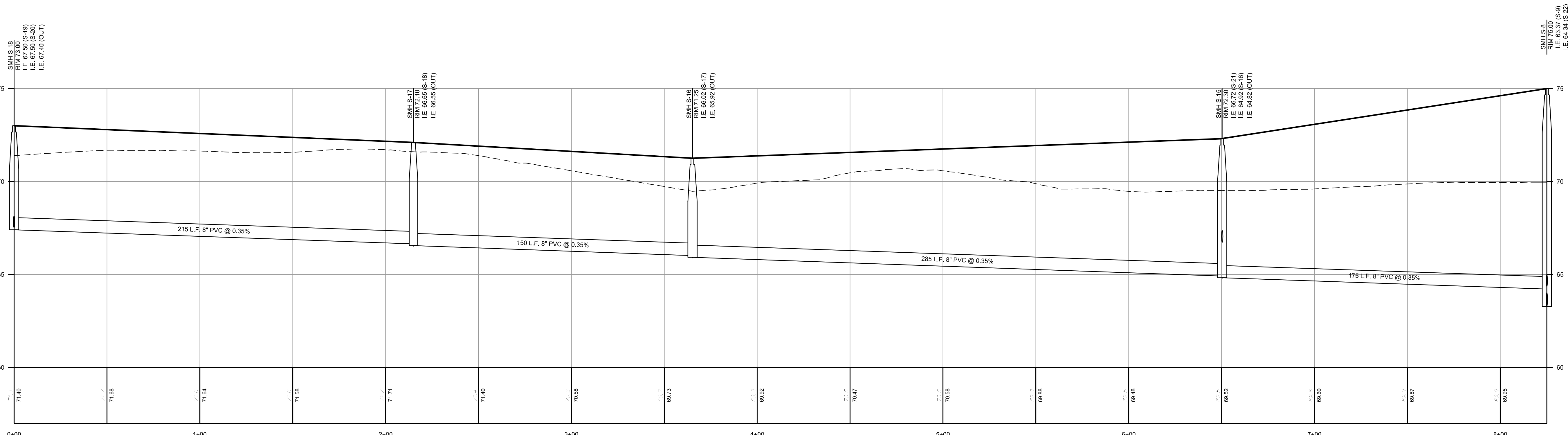
BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9.03, LOT 12, 02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY



SMH S-8 - SMH S-5 PROFILE



SMH S-14 - SMH S-8 PROFILE



SMH S-18 - SMH S-8 PROFILE

NOTE:  
ALL PIPES WITH LESS THAN 2' OF  
COVER SHALL USE CLASS 5 PIPE

NOTE:  
THE FOLLOWING SANITARY SEWER TESTING IS  
TO BE SUCCESSFULLY PERFORMED PRIOR TO  
APPROVAL FROM WEST WINDSOR TOWNSHIP:  
-AIR PRESSURE TEST  
-MANDREL TEST  
-VACUUM TEST OF ALL MANHOLES  
-WATER JETTING AND VIDEO OF SEWER MAINS

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 CHD: CR  
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 Fax: 732-665-5011  
 NJ Certificate of Professional Engineer No. 24CE0008000  
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 www.njprofessionalengineers.com

Geoffrey R. Lanza, P.E.  
 GEOFFREY R. LANZA, N.J. Professional Engineer, Lic. 24CE0008000

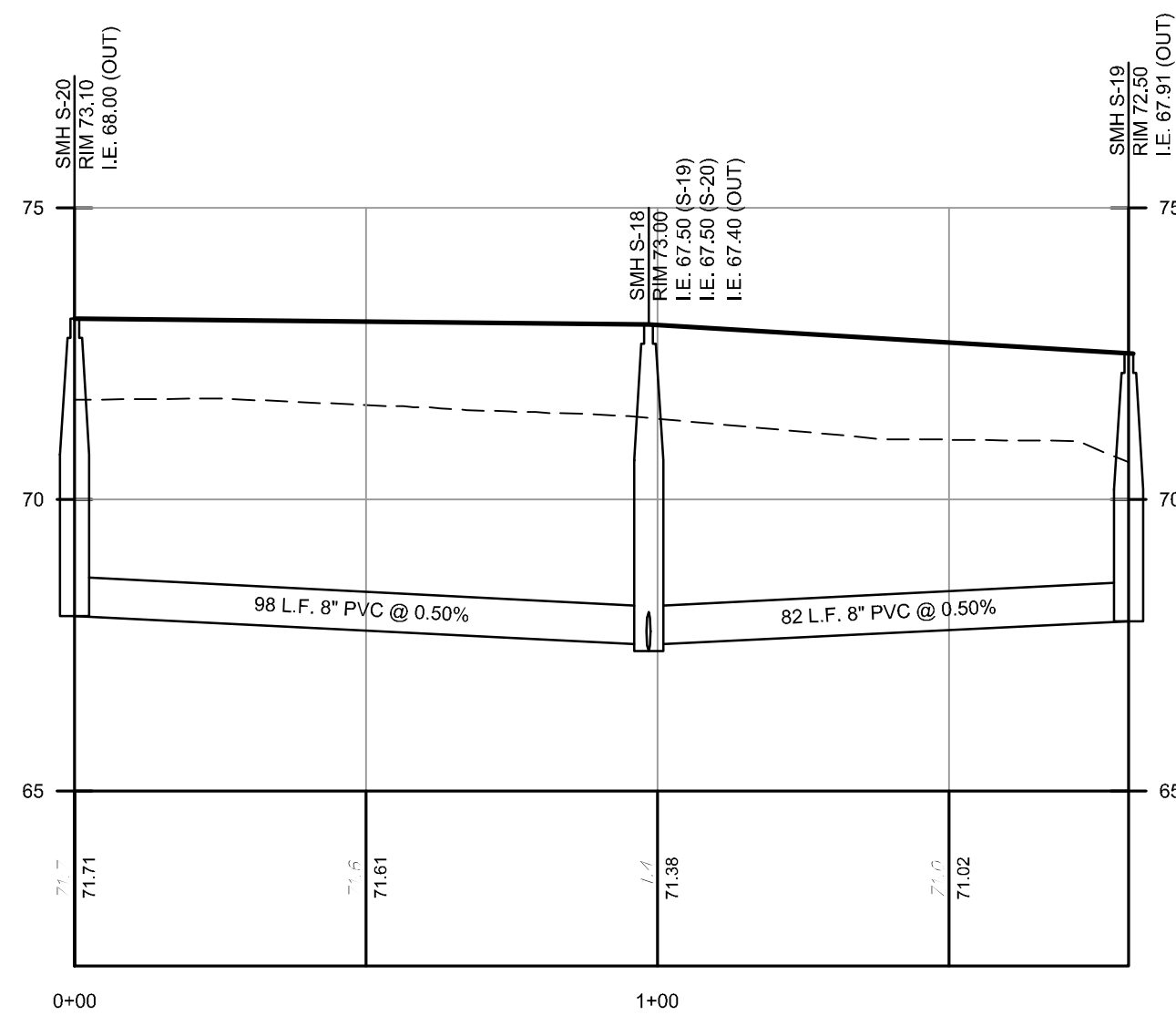
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 PROFILES  
 BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

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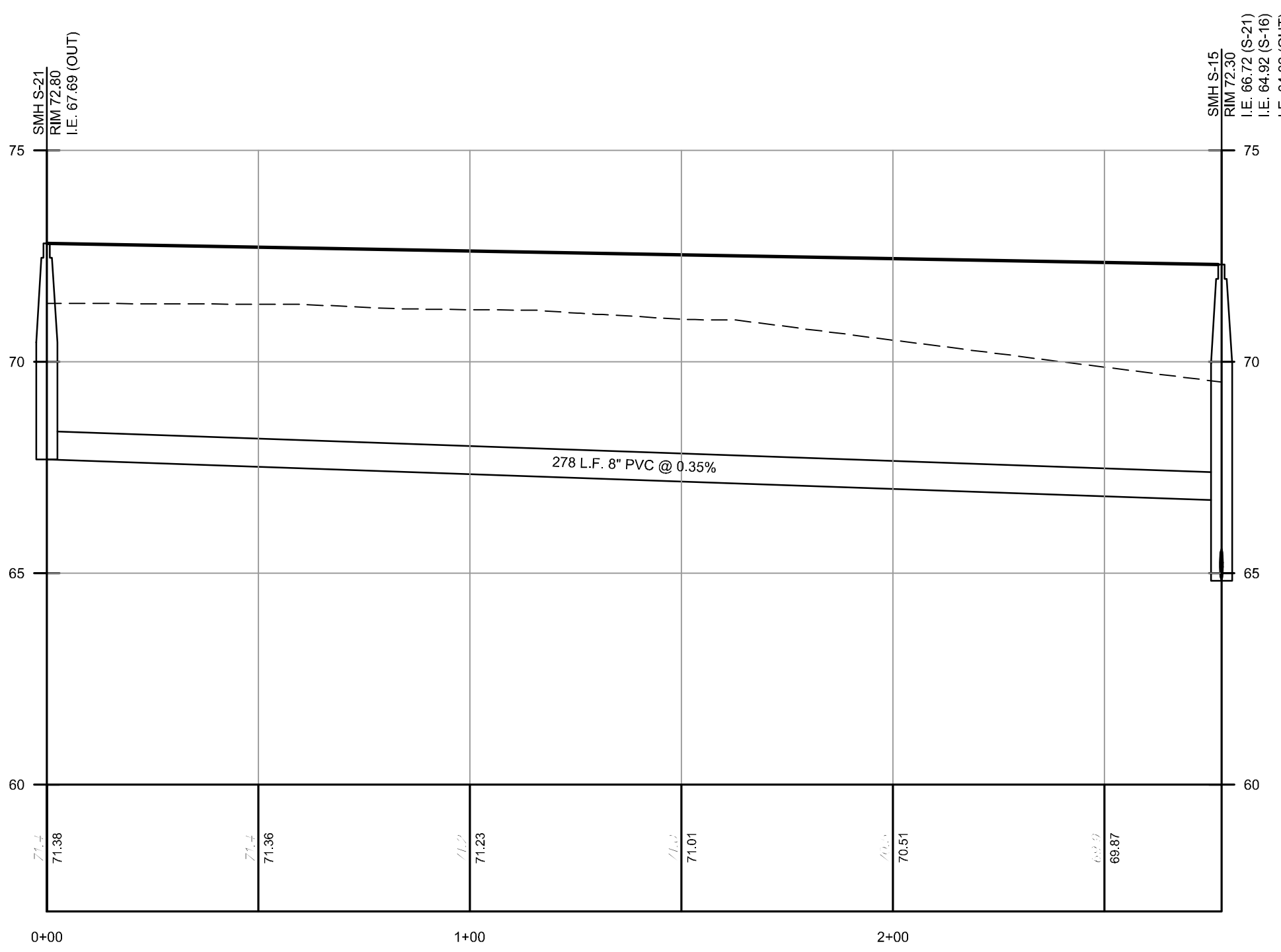
SHEET NO. 24 OF 49



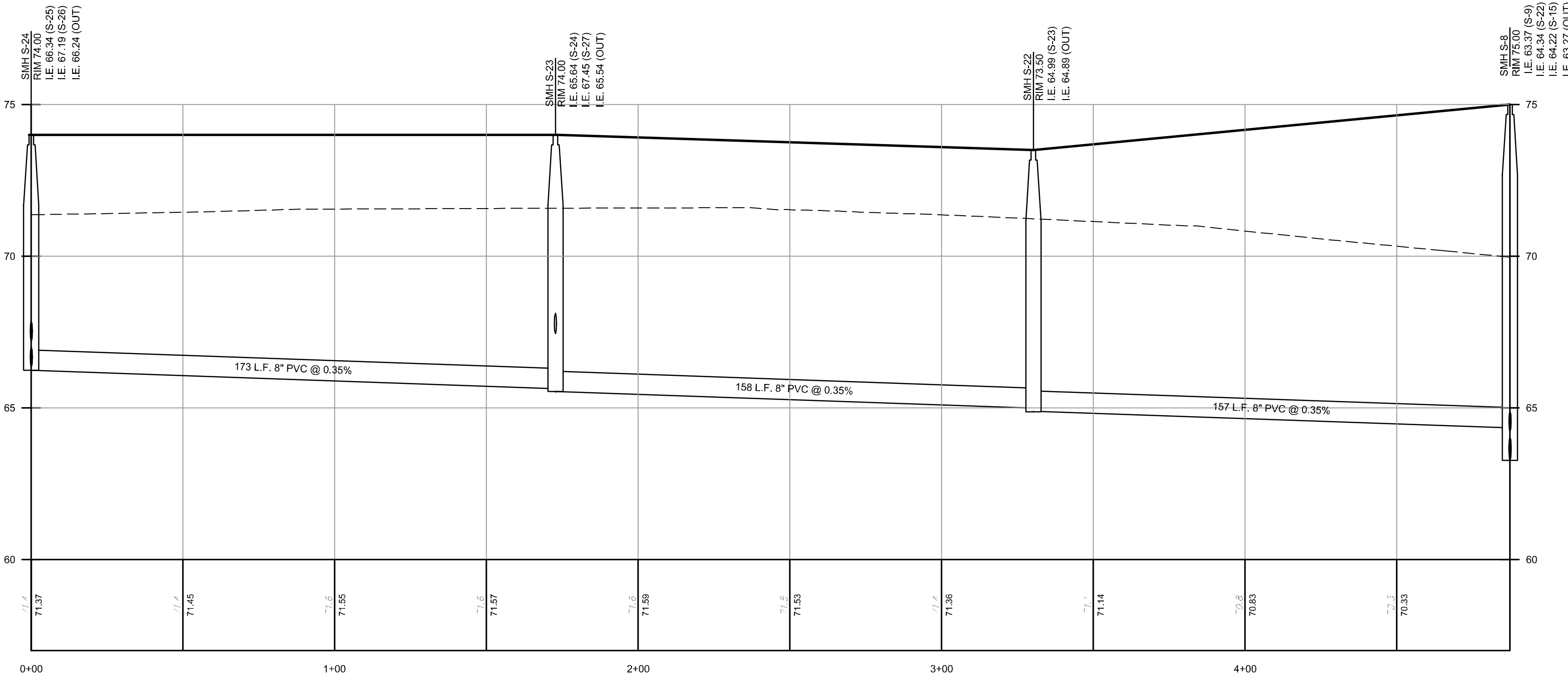
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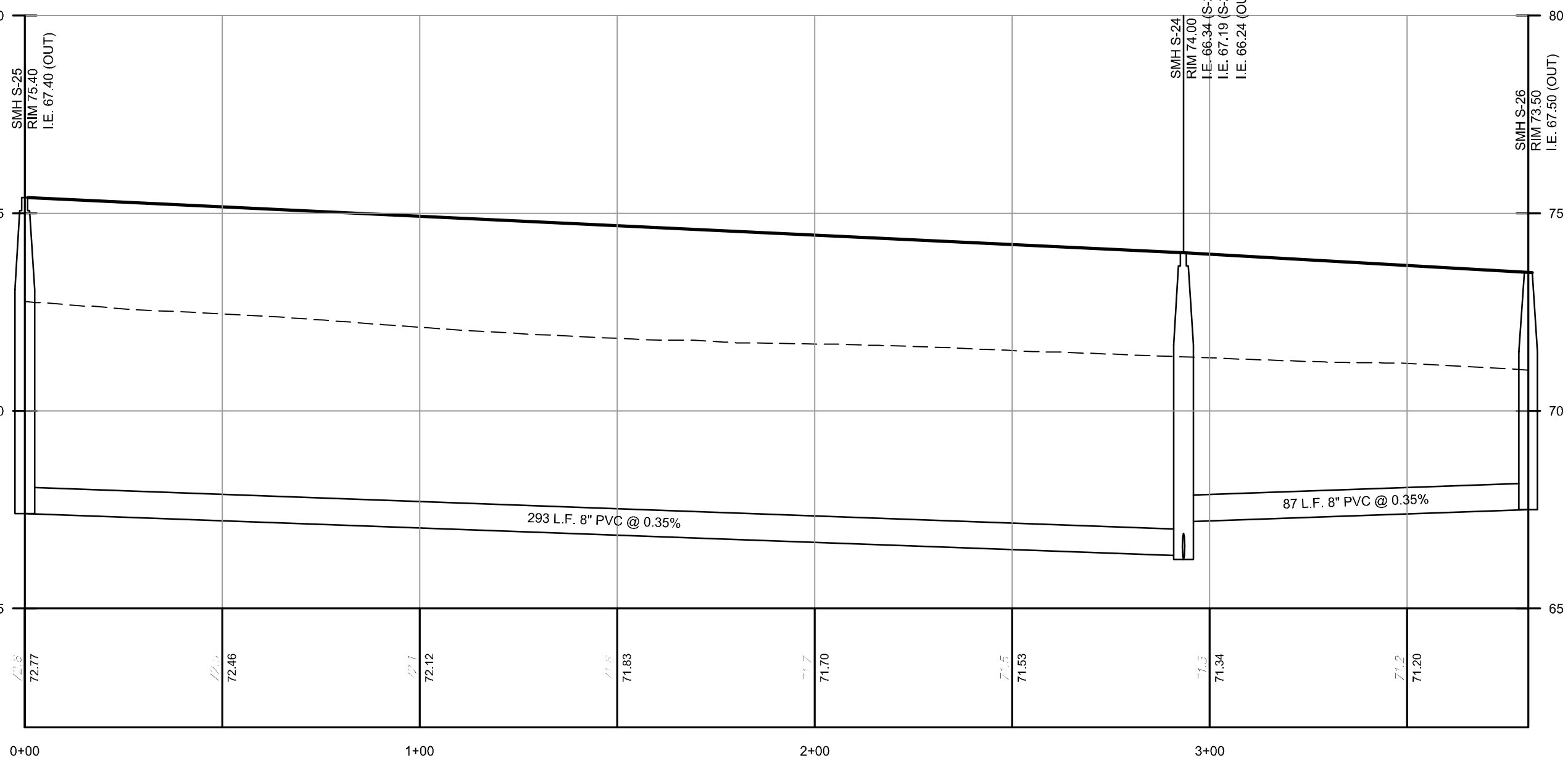
SMH S-20 - SMH S-19 PROFILE



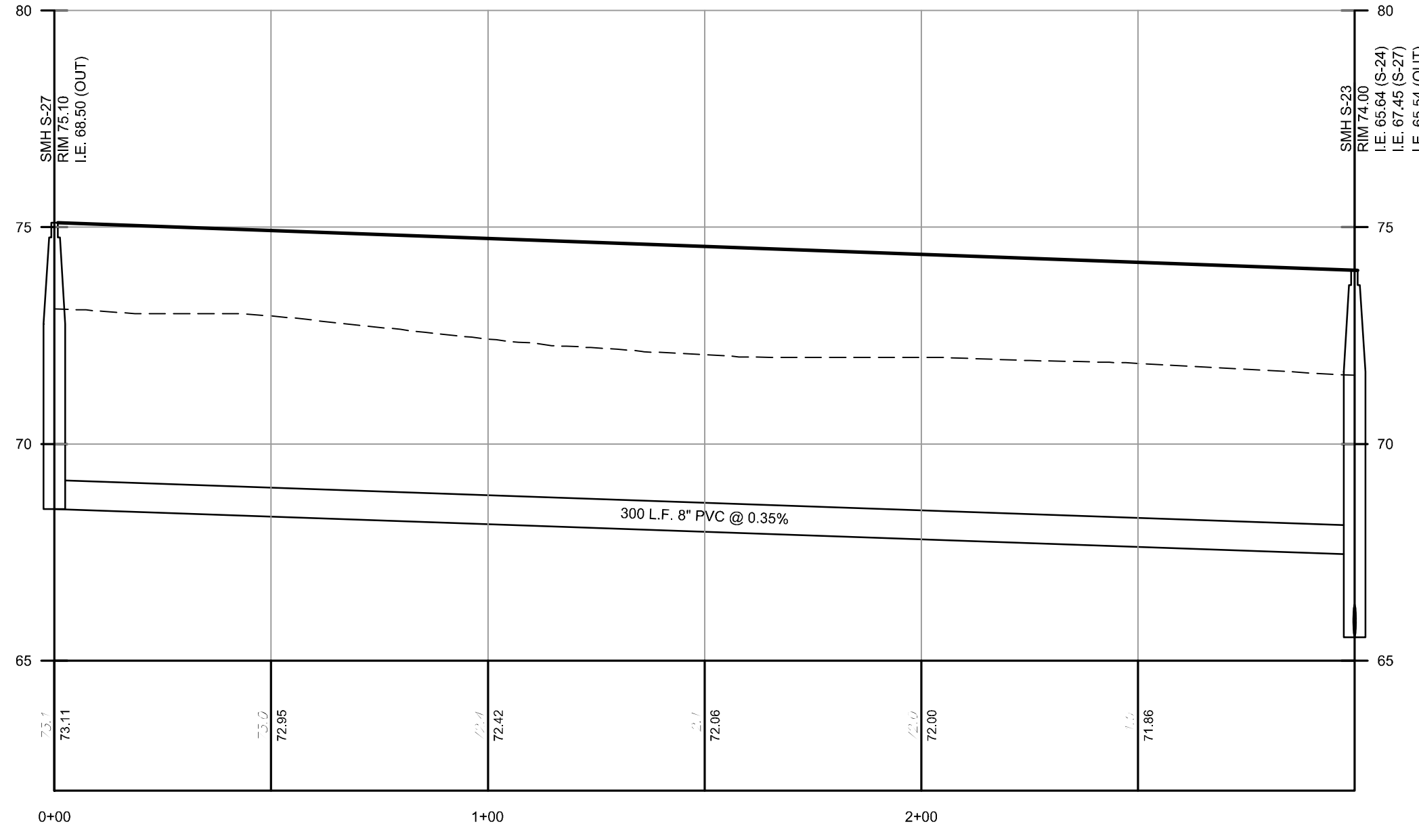
SMH S-21 - SMH S-15 PROFILE



SMH S-24 - SMH S-8 PROFILE

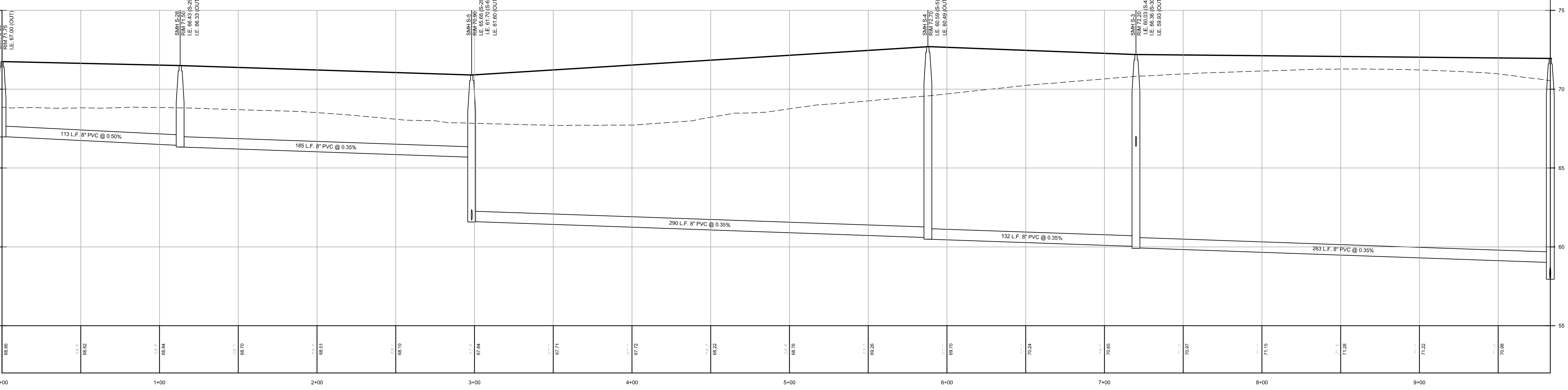


SMH S-25 - SMH S-26 PROFILE



SMH S-27 - SMH S-23 PROFILE

NOTE:  
ALL PIPES WITH LESS THAN 2' OF  
COVER SHALL USE CLASS 5 PIPE



SMH S-29 - SMH S-2 PROFILE

NOTE:  
THE FOLLOWING SANITARY SEWER TESTING IS  
TO BE SUCCESSFULLY PERFORMED PRIOR TO  
APPROVAL FROM WEST WINDSOR TOWNSHIP:  
-AIR PRESSURE TEST  
-MANDREL TEST  
-VACUUM TEST OF ALL MANHOLES  
-WATER JETTING AND VIDEO OF SEWER MAINS

PROJ: 084823-C1-001  
CADD: GR

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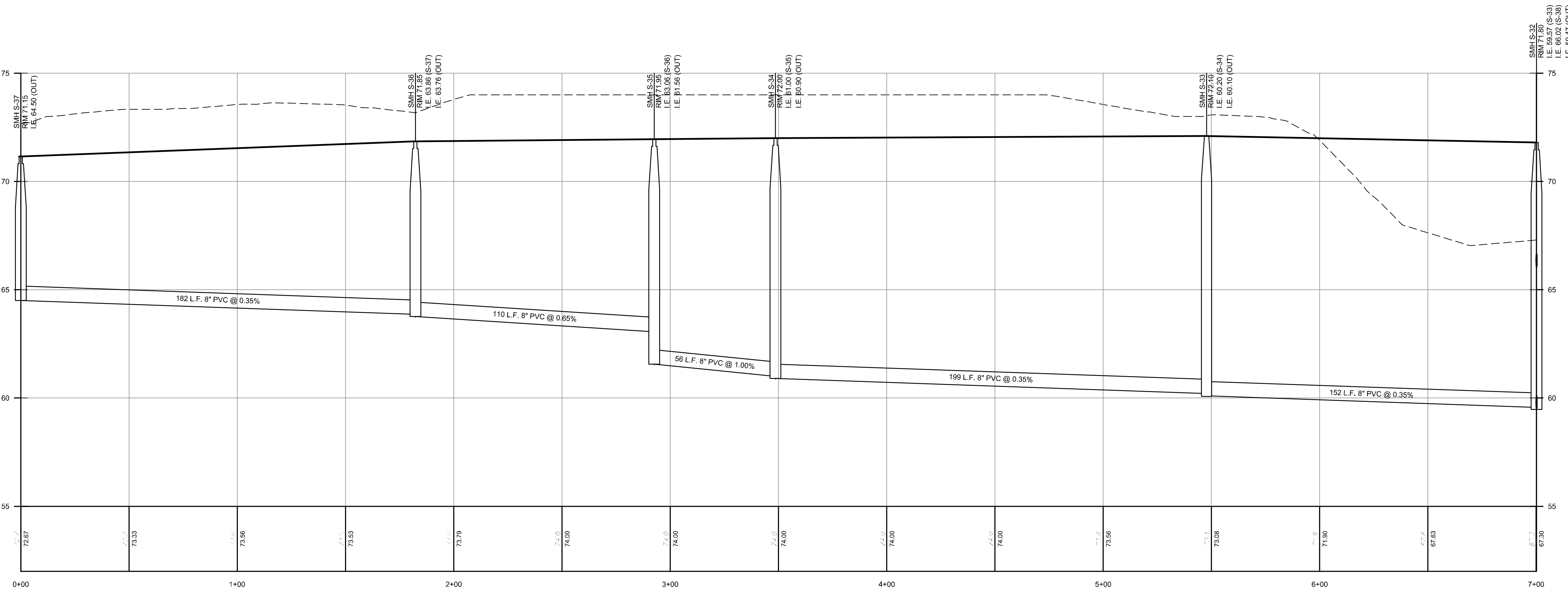
Bowman Consulting Group, Ltd.  
Phone: 732-665-5000  
Fax: 732-665-5001  
NJ Certificate of Professional Engineer No. 24CE00068000  
www.bowmanconsulting.com  
info@bowmanconsulting.com

Geoffrey R. Lanza, P.E.  
Geoffrey R. Lanza, N.J. Professional Engineer Lic. 24CE00068000

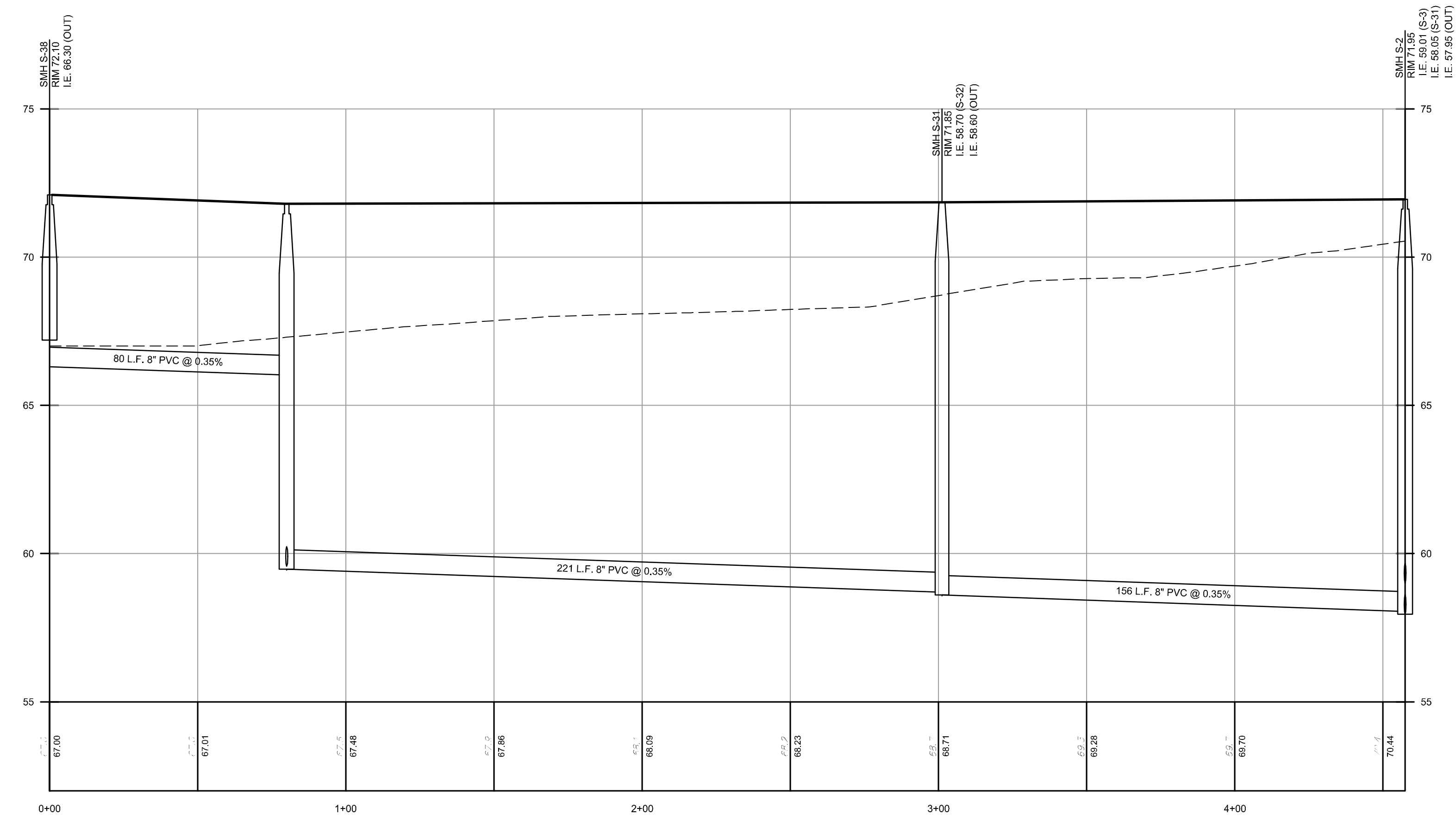
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
PRINCETON EXECUTIVE PARK  
PROFILES  
BLOCK 9, LOTS 12.01, and 12.02, BLOCK 6.03, LOT 12.02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No.  
**25**  
OF  
**49**

NO.	REVISION	DATE	CHKD.
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SMH S-37 - SMH S-32 PROFILE



SMH S-38 - SMH S-2 PROFILE

NOTE:  
ALL PIPES WITH LESS THAN 2' OF COVER SHALL USE CLASS 5 PIPE

NOTE:  
THE FOLLOWING SANITARY SEWER TESTING IS TO BE SUCCESSFULLY PERFORMED PRIOR TO APPROVAL FROM WEST WINDSOR TOWNSHIP:  
-AIR PRESSURE TEST  
-MANDREL TEST  
-VACUUM TEST OF ALL MANHOLES  
-WATER JETTING AND VIDEO OF SEWER MAINS

PROJ: 064823-C1-001  
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 www.bowmanconsulting.com

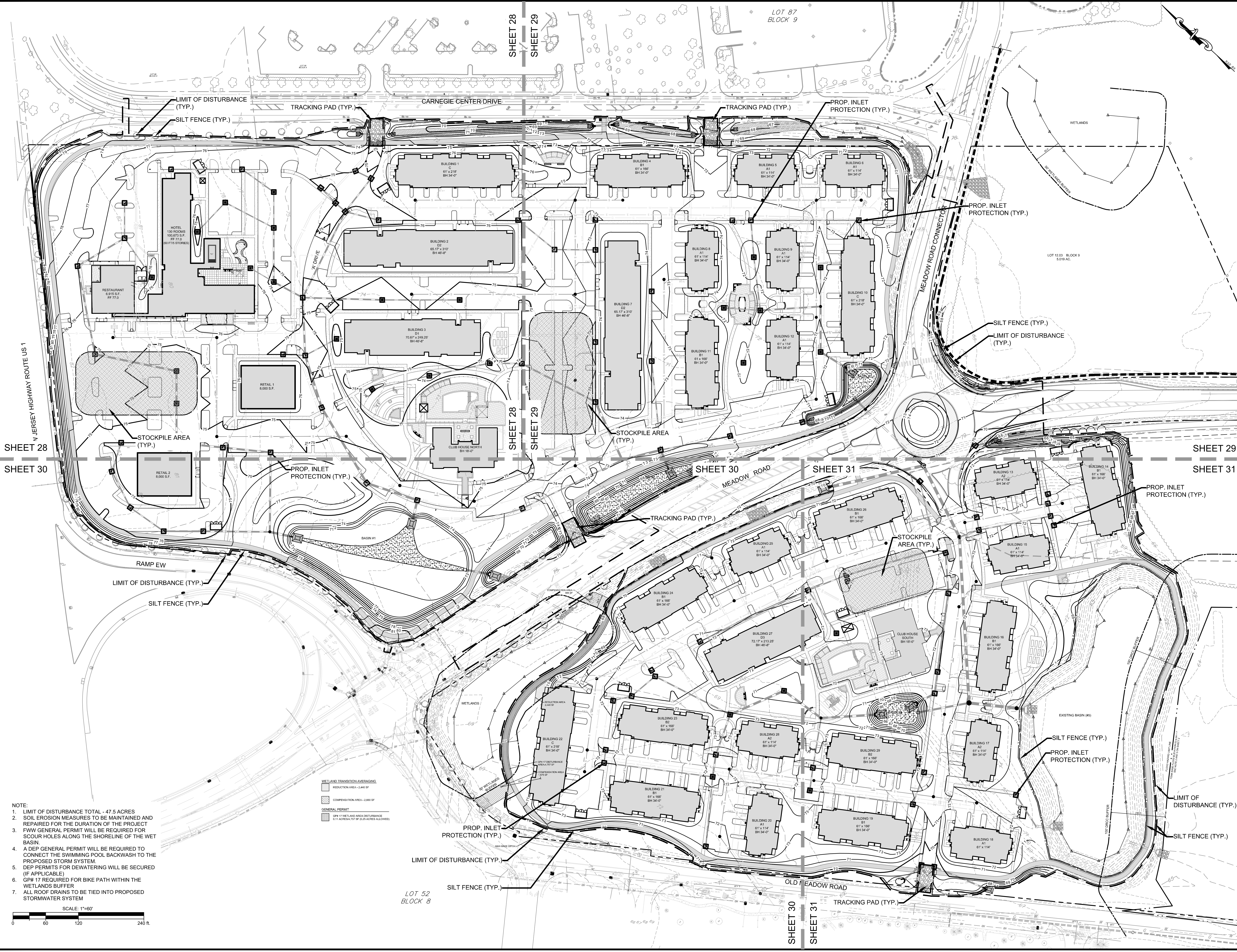
Geoffrey R. Lanza  
 GEOFFREY R. LANZA N.J. Professional Engineer Lic. 2416E00068000

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 PROFILES  
 BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

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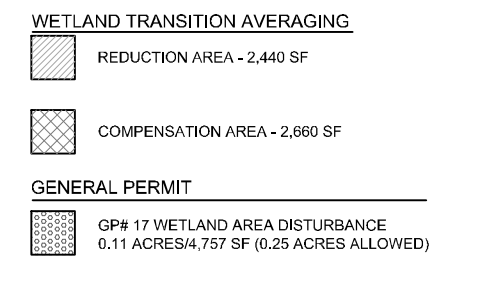
SHEET No. 26 OF 49

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DATE: 04/22/20  
DRAWN BY: CORMELL  
CHECKED BY: CORMELL  
PROJECT: 086823-C1-001  
SHEET: 27 OF 49  
SCALE: 1"=60'  
DATE: 04/22/20



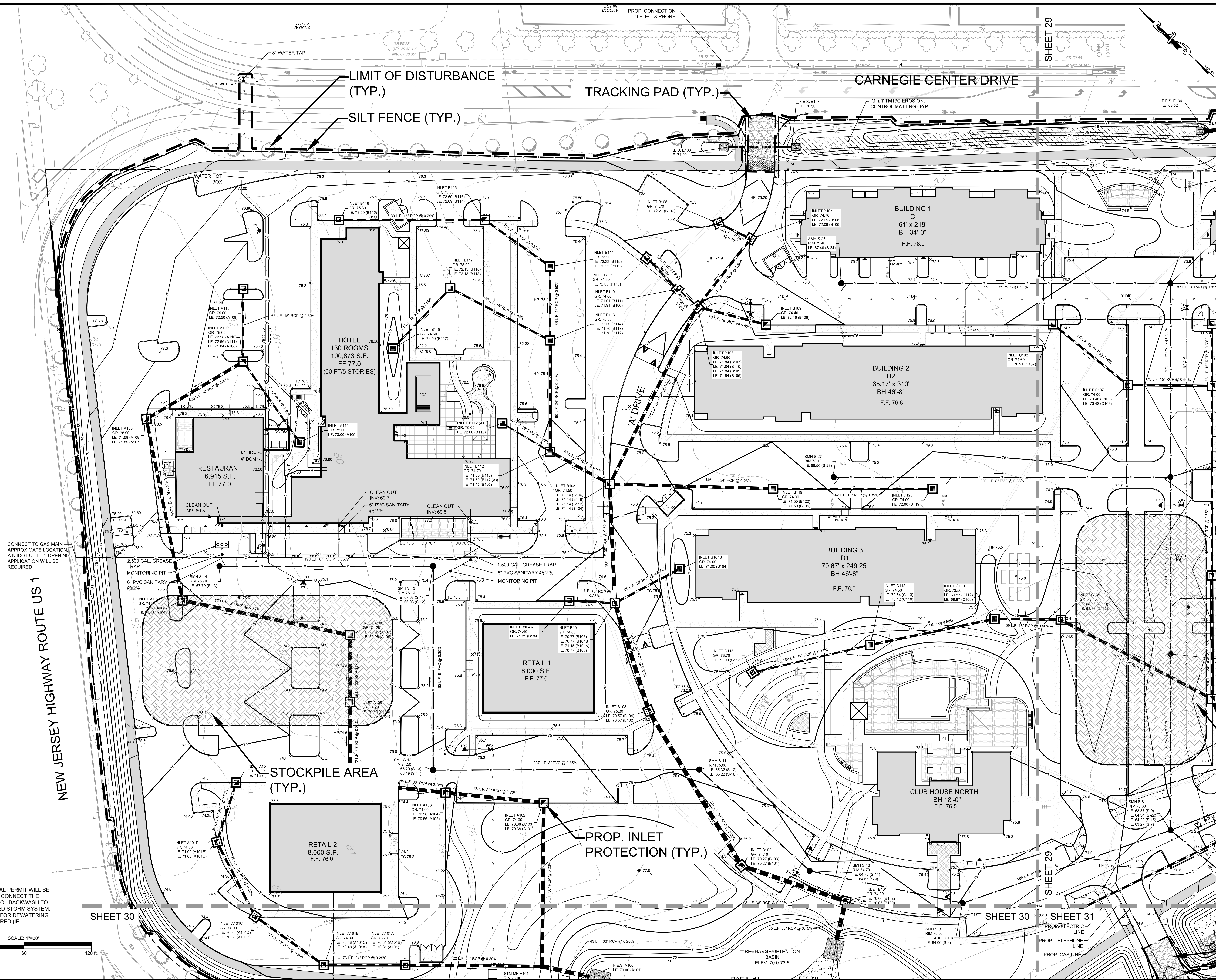
- NOTE:
1. LIMIT OF DISTURBANCE TOTAL - 47.5 ACRES
  2. SOIL EROSION MEASURES TO BE MAINTAINED AND REPAIRED FOR THE DURATION OF THE PROJECT
  3. FFW GENERAL PERMIT WILL BE REQUIRED FOR SCOUR HOLES ALONG THE SHORELINE OF THE WET BASIN.
  4. A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
  5. DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE).
  6. GP# 17 REQUIRED FOR BIKE PATH WITHIN THE WETLANDS BUFFER
  7. ALL ROOF DRAINS TO BE TIED INTO PROPOSED STORMWATER SYSTEM

SCALE: 1"=60'  
0 60 120 240 ft.

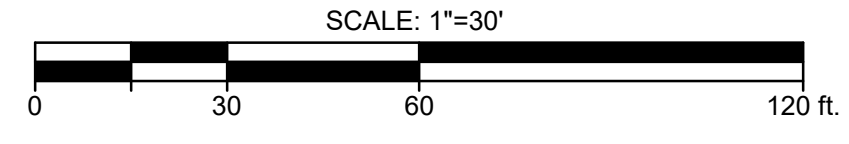


SHEET No. 27 OF 49	
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK SOIL EROSION & SEDIMENT CONTROL PLAN BLOCK 9, LOTS 12.01, AND 12.02, BLOCK 9.03, LOT 12.02 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY	
Bowman Consulting Group, Ltd. P.O. Box 732, 685-5011 Freehold, New Jersey 07728 www.bowmanconsulting.com www.bowmanconsulting.com	
Project No. 086823-C1-001 Date: 04/22/20	
DATE: (CHKD) REVISION	
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DATE: (CHKD) REVISION	

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 SHEET 29 OF 49  
 DATE: 04/22/20  
 REVISION: 1  
 PROJECT: 084823-C1-001  
 CLIENT: BOWMAN CONSULTING  
 DRAWN BY: GREGORY R. LANZA, N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24160008000  
 CHECKED BY: GREGORY R. LANZA, N.J. PROFESSIONAL ENGINEER, LICENSE NO. 24160008000  
 SCALE: 1"=30'



NOTE:  
 1. A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT TO THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.  
 2. DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE)



SHEET 30

SHEET 30

SHEET 31

NO.	DATE	REVISION
1	04/22/20	ISSUE FOR PERMITTING

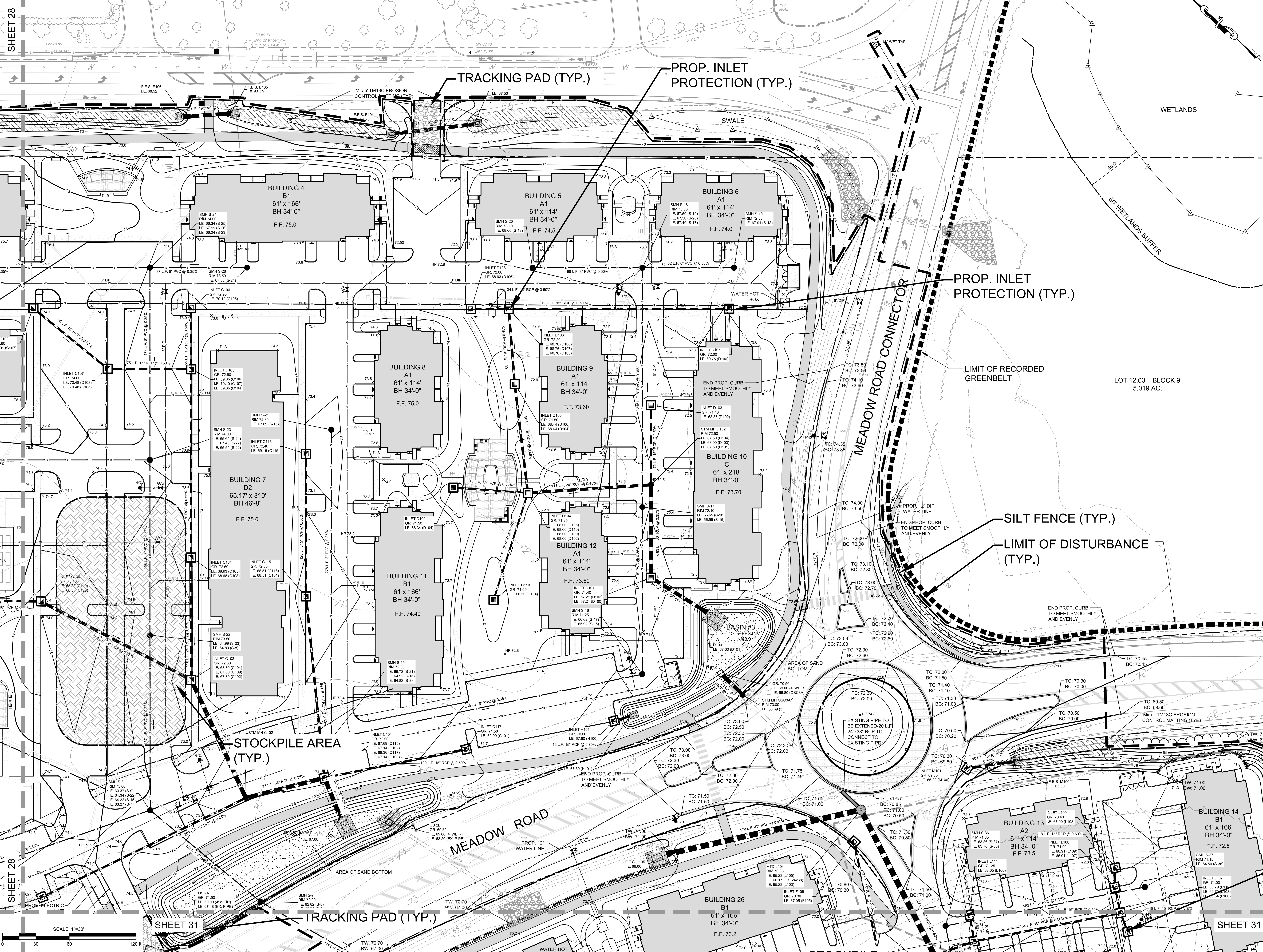
PROJECT NO.	084823-C1-001
CLIENT	BOWMAN CONSULTING
DATE	04/22/20
DRAWN BY	GREGORY R. LANZA
CHECKED BY	GREGORY R. LANZA
SCALE	1"=30'



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 Phone: 732-662-6600  
 Fax: 732-662-6001  
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PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 SOIL EROSION & SEDIMENT CONTROL PLAN  
 BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9.03, LOT 12, 02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET NO. **28** OF **49**



SHEET 28

SHEET 29

49

0 30 60 120 FT. SCALE: 1"=30'

**REVISIONS**

NO.	DATE	REVISION

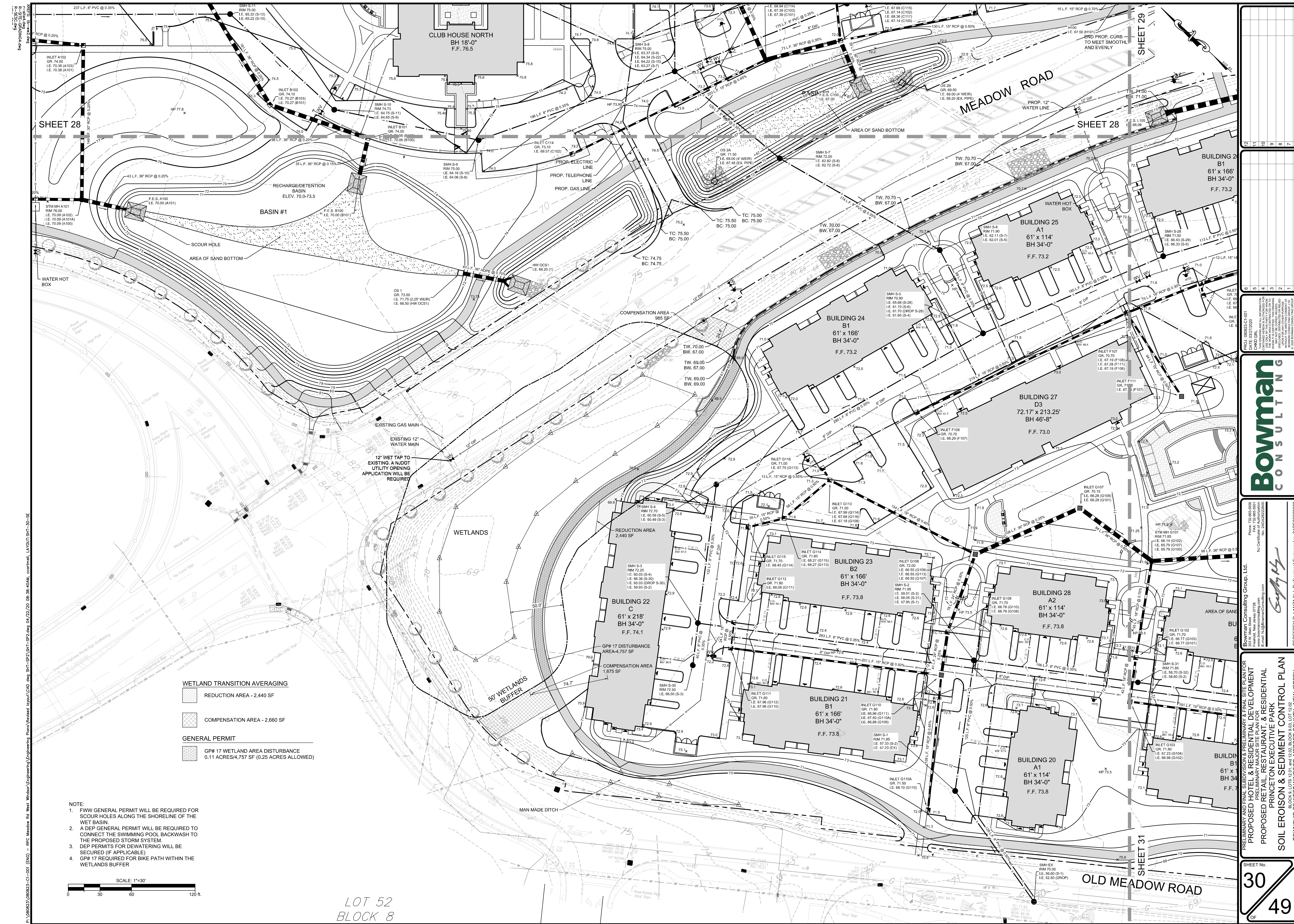
PROJECT: 080823-C1-011  
 CLIENT: CHAMBERLAIN  
 DRAWING: CADD GR.  
 DATE: 04/22/20  
 PREPARED BY: J. LANZANI  
 CHECKED BY: J. LANZANI  
 DATE: 04/22/20  
 PROJECT LOCATION: WEST WINDSOR, MERCER COUNTY, NEW JERSEY

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 NJ Certificate of Registration  
 24GEC000800

**Geoffrey R. Lanzani, P.E.**  
 Professional Engineer No. 24GEC000800

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 732-665-5001  
 732-665-5011  
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**PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT, PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK SOIL EROSION & SEDIMENT CONTROL PLAN**  
 BLOCK 9, LOTS 12, 01, AND 12, 02, BLOCK 03, LOT 12, 02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

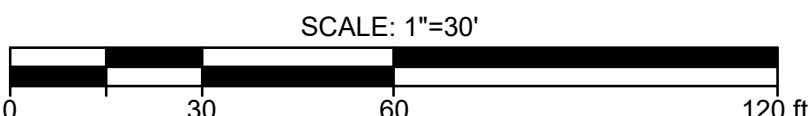


WETLAND TRANSITION AVERAGING	
	REDUCTION AREA - 2,440 SF
	COMPENSATION AREA - 2,660 SF

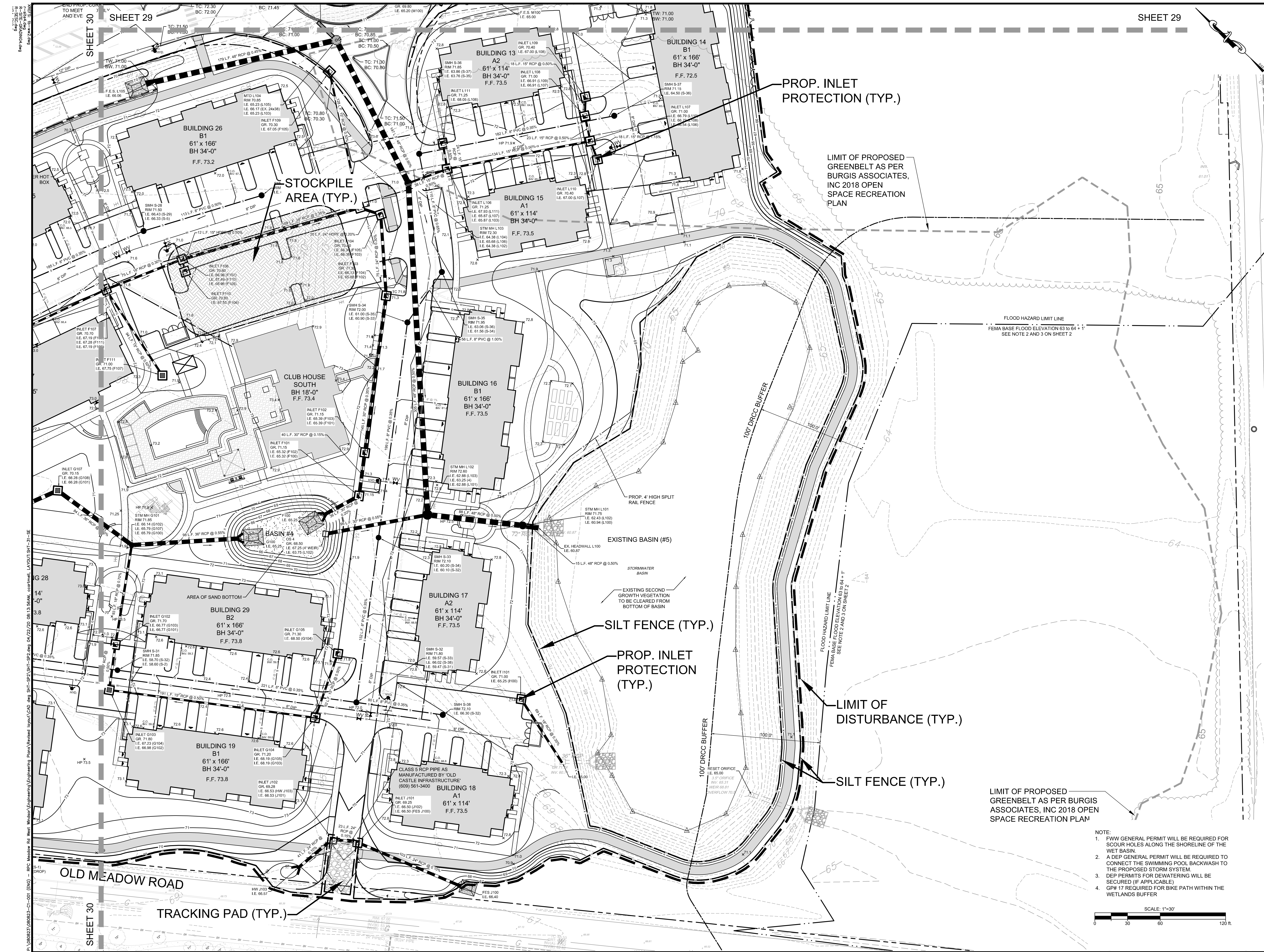
GENERAL PERMIT	
	GP# 17 WETLAND AREA DISTURBANCE 0.11 ACRES/4,757 SF (0.25 ACRES ALLOWED)

- NOTE:
1. FWW GENERAL PERMIT WILL BE REQUIRED FOR SCOUR HOLES ALONG THE SHORELINE OF THE WET BASIN.
  2. A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
  3. DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE).
  4. GP# 17 REQUIRED FOR BIKE PATH WITHIN THE WETLANDS BUFFER.



LOT 52  
BLOCK 8

<p>PROJ. 080823-C-001 DATE: 08/01/2023 DRAWN BY: [Name] CHECKED BY: [Name] DATE: 08/01/2023</p> <p>REVISIONS: NO. 1 DATE: 08/01/2023 DESCRIPTION: [Text]</p>	<p style="text-align: center;"><b>Bowman</b> CONSULTING</p> <p>30 OF 49</p>
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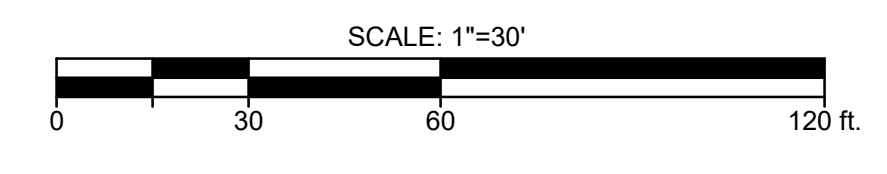
PROJ: 080823-C1-01  
 CHD GR  
 DATE: 07/27/20  
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 GEORFFREY R. LANZA, N.J. Professional Engineer, License No. 24100009800

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK SOIL EROSION & SEDIMENT CONTROL PLAN BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9.03, LOT 12, 02 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

- NOTE:
1. FWW GENERAL PERMIT WILL BE REQUIRED FOR SCOUR HOLES ALONG THE SHORELINE OF THE WET BASIN.
  2. A DEP GENERAL PERMIT WILL BE REQUIRED TO CONNECT THE SWIMMING POOL BACKWASH TO THE PROPOSED STORM SYSTEM.
  3. DEP PERMITS FOR DEWATERING WILL BE SECURED (IF APPLICABLE).
  4. GP# 17 REQUIRED FOR BIKE PATH WITHIN THE WETLANDS BUFFER.







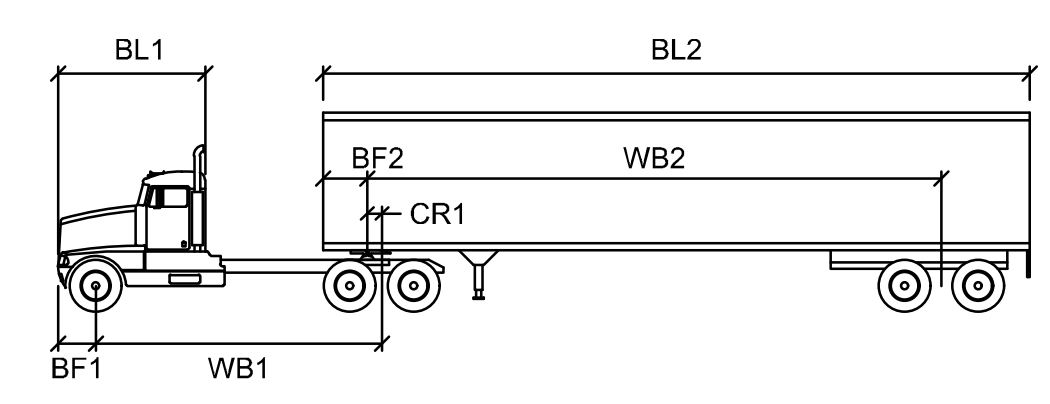




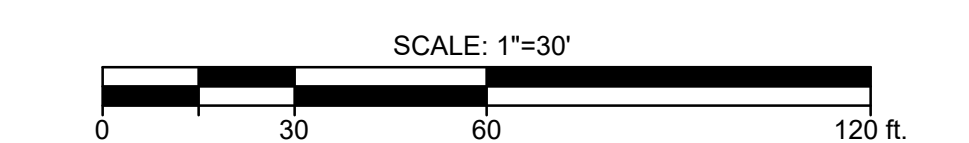
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DWG: 080823-C1-001  
APP: 080823-01  
CADD: 080823-01  
DATE: 08/01/20

NEW JERSEY HIGHWAY ROUTE US 1

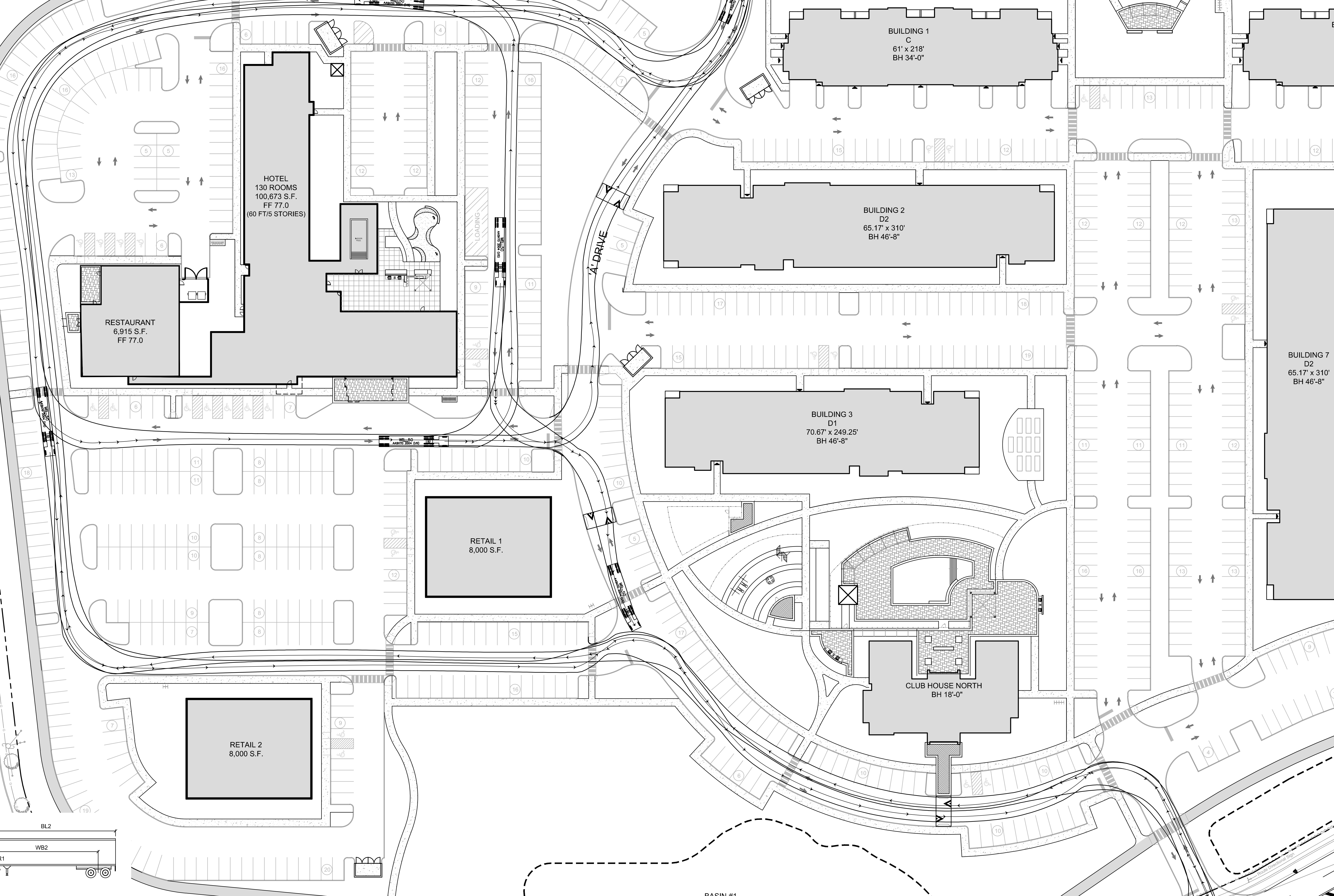
CARNEGIE CENTER DRIVE



- WB-50 TRUCK
- |               |       |                    |      |
|---------------|-------|--------------------|------|
| Tractor Width | : WD1 | Lock to Lock Time  | : LL |
| Trailer Width | : WD2 | Steering Angle     | : SA |
| Tractor Track | : TR1 | Articulating Angle | : AA |
| Trailer Track | : TR2 |                    |      |



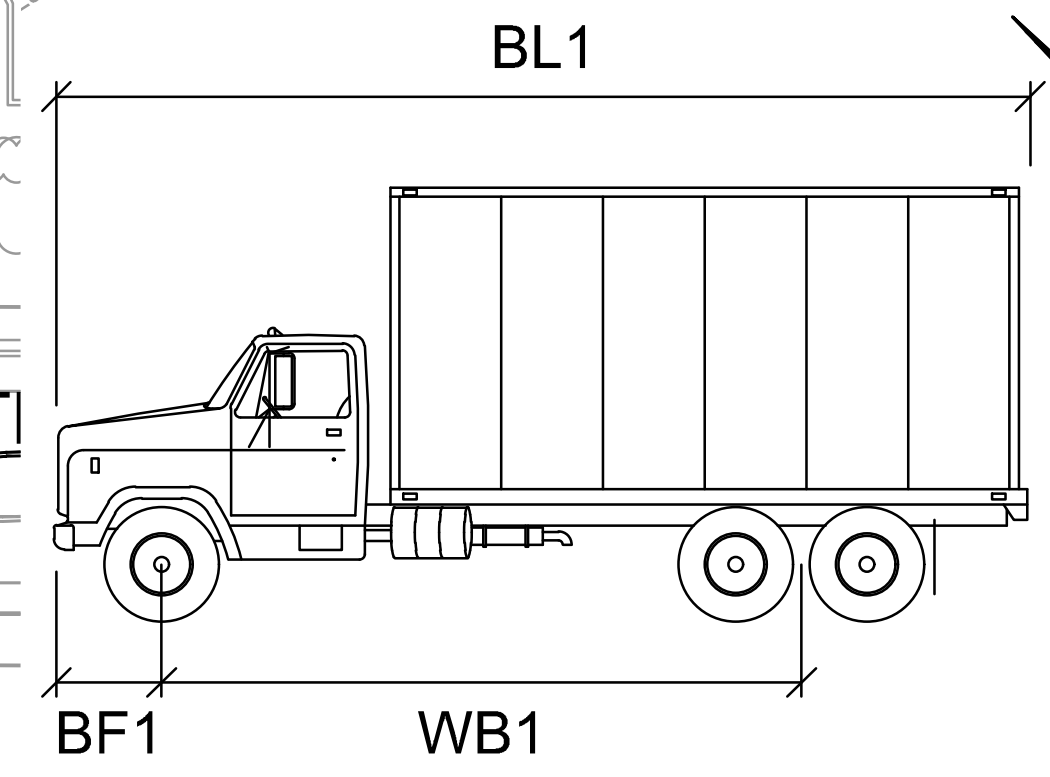
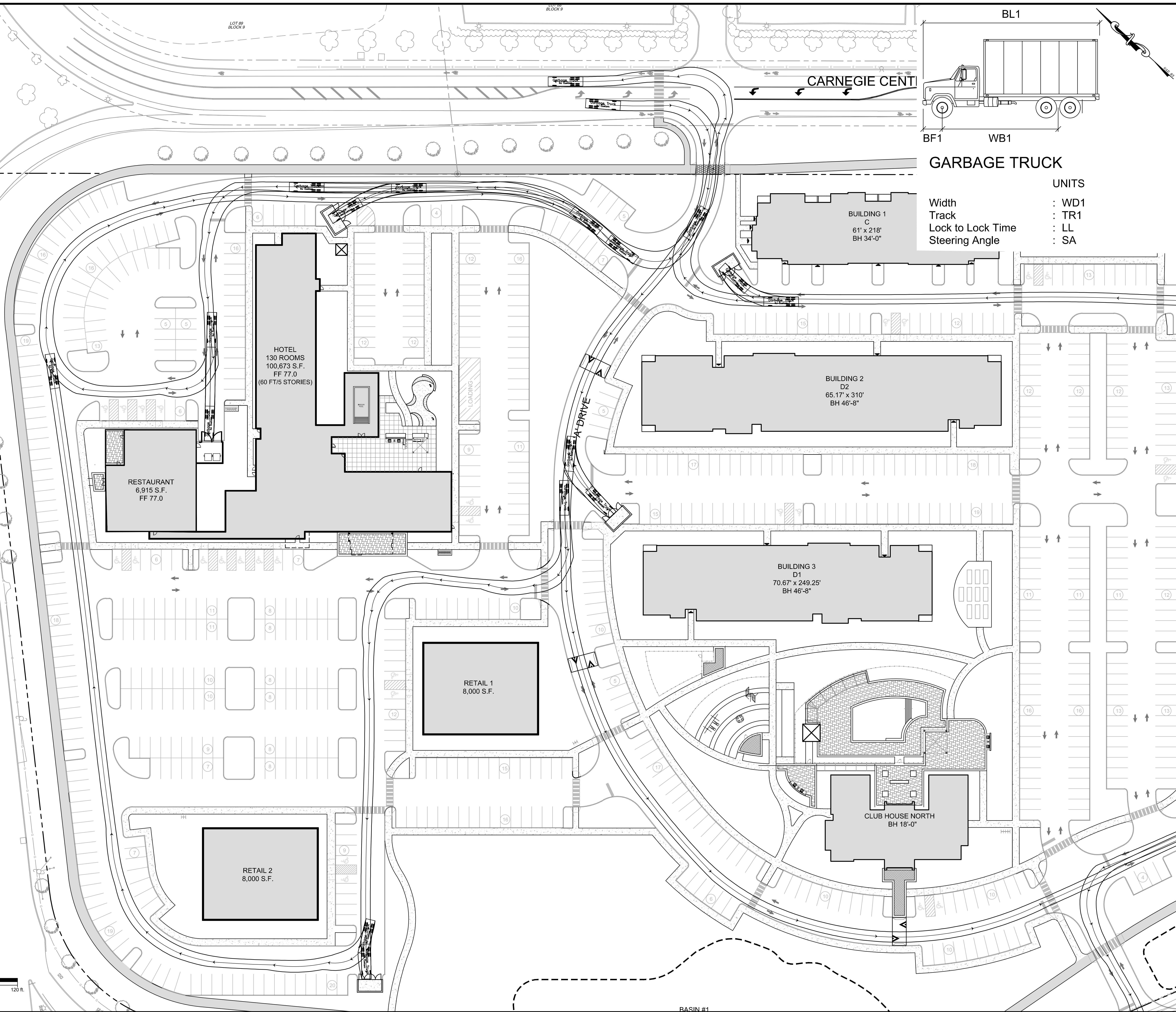
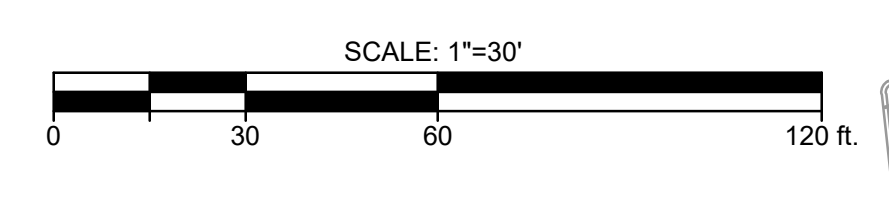
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PT = 6172192  
1.32' 01.50" W  
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CADD: RJC	
DATE: 08/01/20	
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PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL PRINCETON EXECUTIVE PARK WB-50 TRUCK TURNING PLAN BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY	
SHEET NO.	35
OF	49

P:\080823\080823-C1-001 (ENCL) - RRC Meadow Rd West Windsor\Engineering\Plans\Revised layout\CAD.dwg SHIT-SP2\SHIT-TURN.dwg 03/24/20 04:04:08PM\_scorntm.dwg LAYOUT\_SHT\_36-01

NEW JERSEY HIGHWAY ROUTE US 1



GARBAGE TRUCK

Width	: WD1
Track	: TR1
Lock to Lock Time	: LL
Steering Angle	: SA

HOTEL  
130 ROOMS  
100,673 S.F.  
FF 77.0  
(60 FT/5 STORIES)

RESTAURANT  
6,915 S.F.  
FF 77.0

RETAIL 1  
8,000 S.F.

RETAIL 2  
8,000 S.F.

BUILDING 1  
C  
61' x 218'  
BH 34'-0"

BUILDING 2  
D2  
65.17' x 310'  
BH 46'-8"

BUILDING 3  
D1  
70.67' x 249.25'  
BH 46'-8"

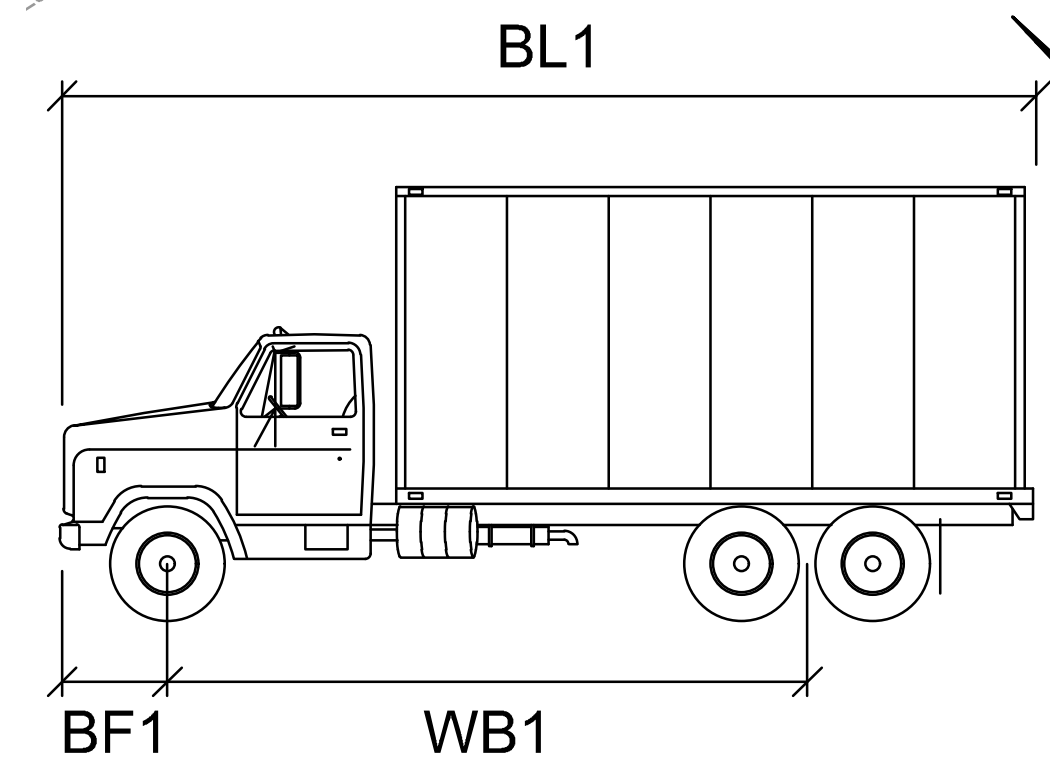
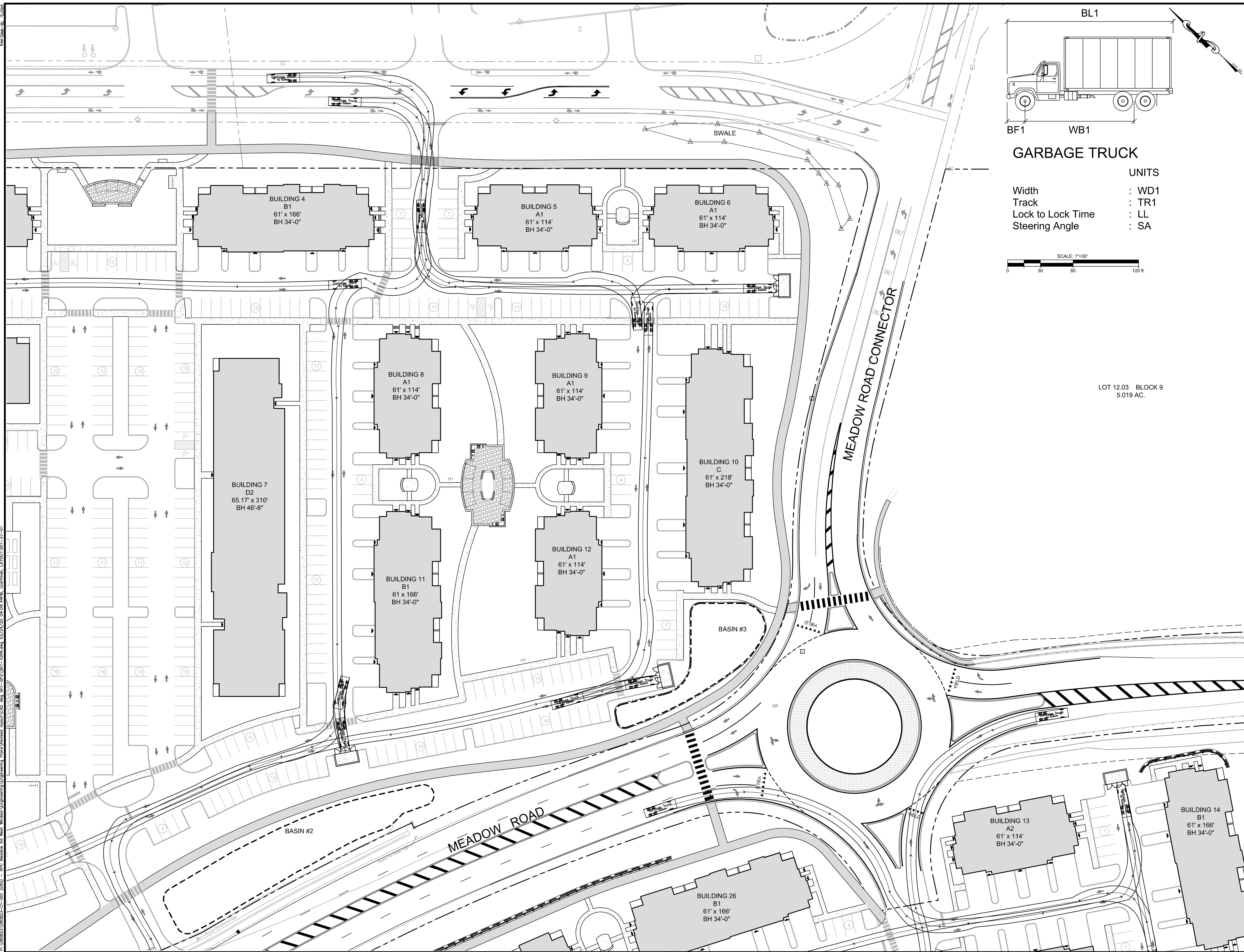
CLUB HOUSE NORTH  
BH 18'-0"

CARNEGIE CENT

A-DRIVE

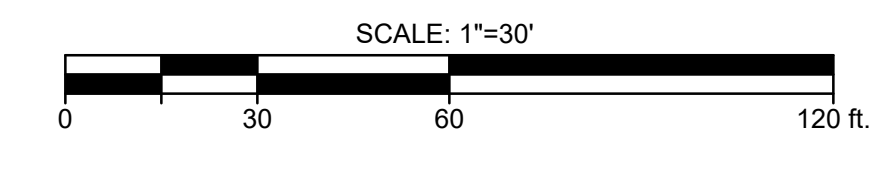
PROJ: 080823-C1-001	DATE: 03/24/20
CHD: GR	REVISION: 1
<p><b>Bowman</b> CONSULTING</p>	<p>Phone: 732-665-5500 Fax: 732-665-5001 NJ Certificate of Registration No. 12C000000100 www.bowmanconsulting.com</p>
<p>Bowman Consulting Group, Ltd. Princeton, New Jersey 07728</p>	<p>Signature: <i>Geoffrey R. Lanza</i> Professional Engineer Lic. 2416E0008000</p>
<p>PRELIMINARY AND FINAL SUBDIVISION &amp; PRELIMINARY &amp; FINAL SITE PLAN FOR PROPOSED HOTEL &amp; RESIDENTIAL DEVELOPMENT PROPOSED RETAIL, RESTAURANT, &amp; RESIDENTIAL PRINCETON EXECUTIVE PARK GARBAGE TRUCK TURNING PLAN BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9, 03, LOT 12, 02 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY</p>	<p>SHEET No. <b>36</b> OF <b>49</b></p>

P:\084823\084823-C1-001 (ENCL) - RRC Meadow Rd West Windsor\Engineering\Plans\Revised Layout\CAD.dwg (SIT-SP2) (SIT-TURN.dwg 03/24/20 04:04:44PM, coord.mxd, LAYOUT: SHT-37-GT)



**GARBAGE TRUCK**

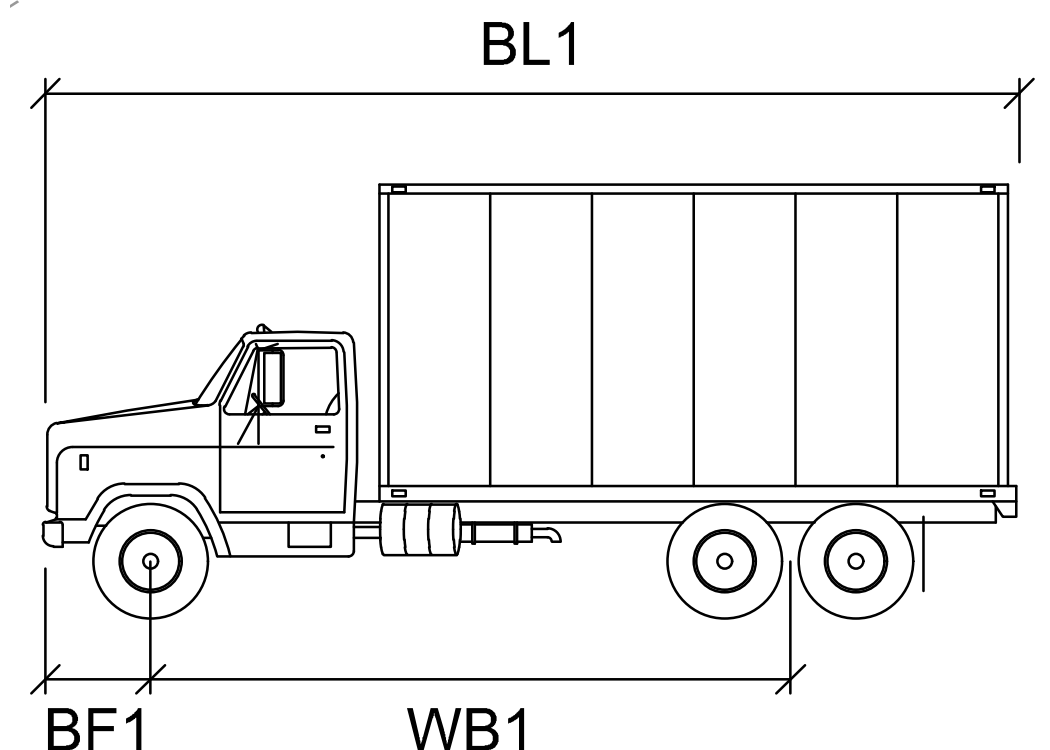
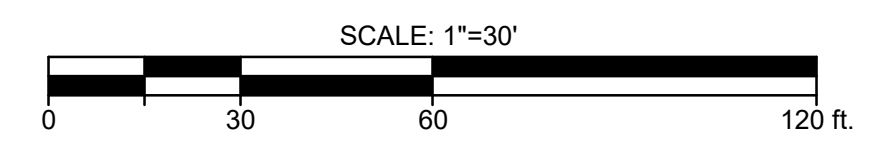
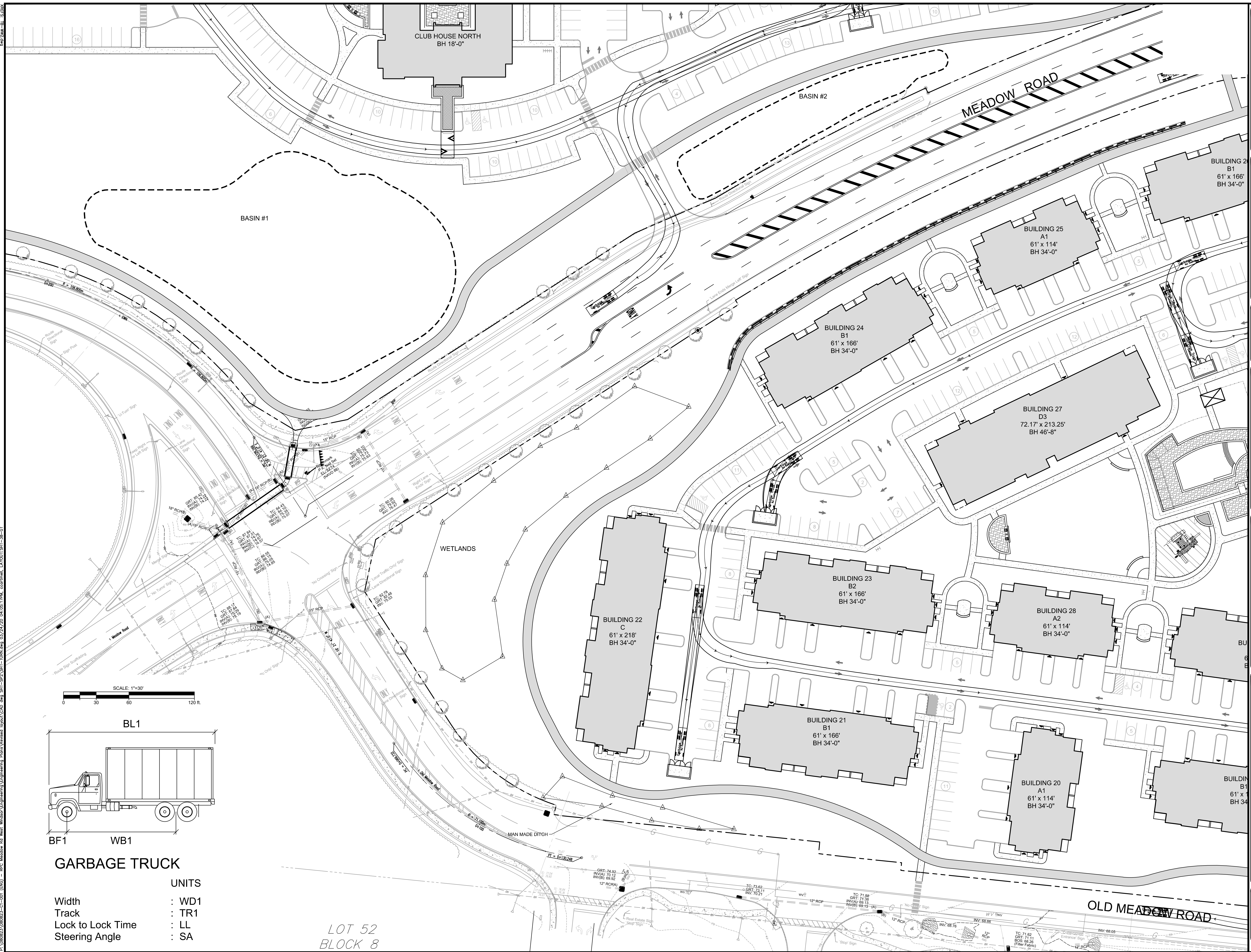
Width	: WD1
Track	: TR1
Lock to Lock Time	: LL
Steering Angle	: SA



LOT 12.03 BLOCK 9  
 5.019 AC.

<p>           PROJ: 084823-C1-001            CHD: GR         </p> <p> <b>Bowman</b>            CONSULTING         </p> <p>           Bowman Consulting Group, Ltd.            Phone: 732-665-5000            Fax: 732-665-5001            www.bowmanconsulting.com         </p> <p>           GEOFFREY R. LANZA N.J. Professional Engineer Lic. 2416E00068000         </p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>DATE</th> <th>REVISION</th> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	DATE	REVISION															
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<p>           PRELIMINARY AND FINAL SUBDIVISION &amp; PRELIMINARY &amp; FINAL SITE PLAN FOR            PROPOSED HOTEL &amp; RESIDENTIAL DEVELOPMENT            PROPOSED RETAIL, RESTAURANT, &amp; RESIDENTIAL            PRINCETON EXECUTIVE PARK  <b>GARBAGE TRUCK TURNING PLAN</b>            BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02            TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY         </p>																			
<p>           SHEET NO.  <b>37</b>            OF <b>49</b> </p>																			

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GARBAGE TRUCK

	UNITS
Width	: WD1
Track	: TR1
Lock to Lock Time	: LL
Steering Angle	: SA

LOT 52  
BLOCK 8

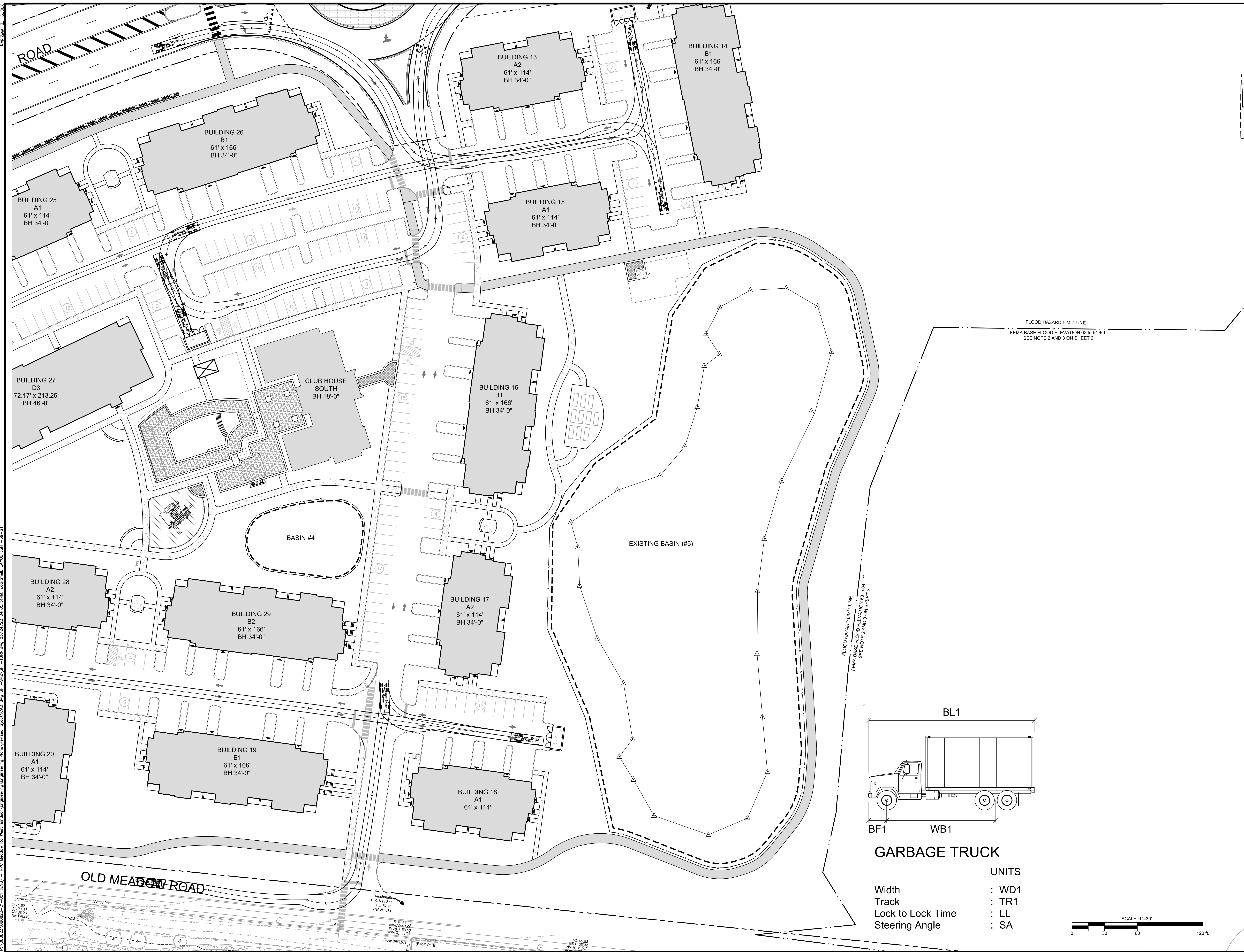
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<p>DATE: 03/24/20</p>	
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BOWMAN CONSULTING GROUP, LTD.  
 1000 WEST WINDSOR ROAD, SUITE 200, WEST WINDSOR, NJ 07093  
 TEL: 732-666-5001 FAX: 732-666-5001  
 WWW.BOWMANCONSULTING.COM

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 GARBAGE TRUCK TURNING PLAN  
 BLOCK 8, LOTS 12.01, and 12.02, BLOCK 8.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

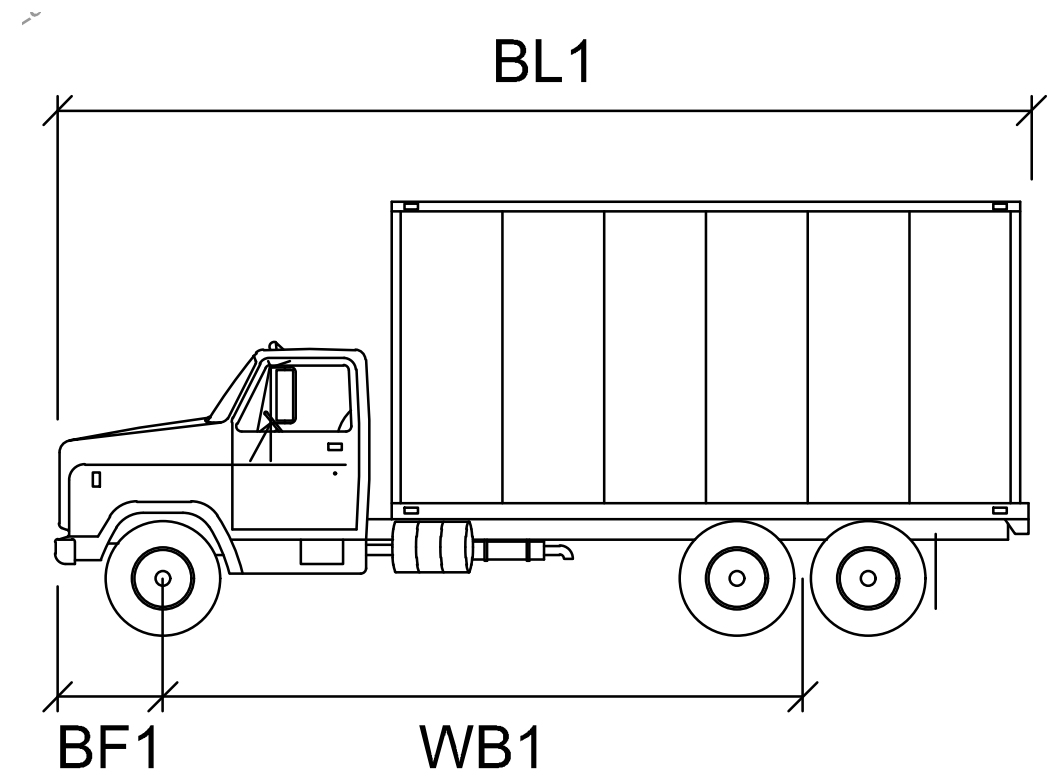
SHEET NO. **38** OF **49**

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 EMPLOYEE: ENR  
 PROJECT: 086823-C1-001  
 SHEET: 39 OF 49



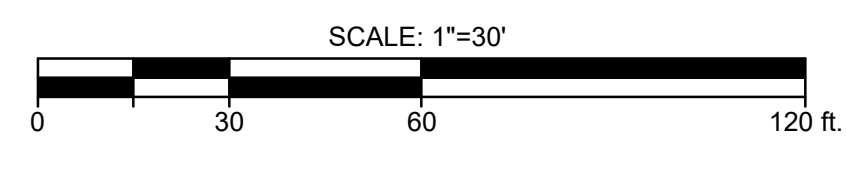
FLOOD HAZARD LIMIT LINE  
 FEMA BASE FLOOD ELEVATION 63 TO 64 + 1'  
 SEE NOTE 2 AND 3 ON SHEET 2

FLOOD HAZARD LIMIT LINE  
 FEMA BASE FLOOD ELEVATION 63 TO 64 + 1'  
 SEE NOTE 2 AND 3 ON SHEET 2



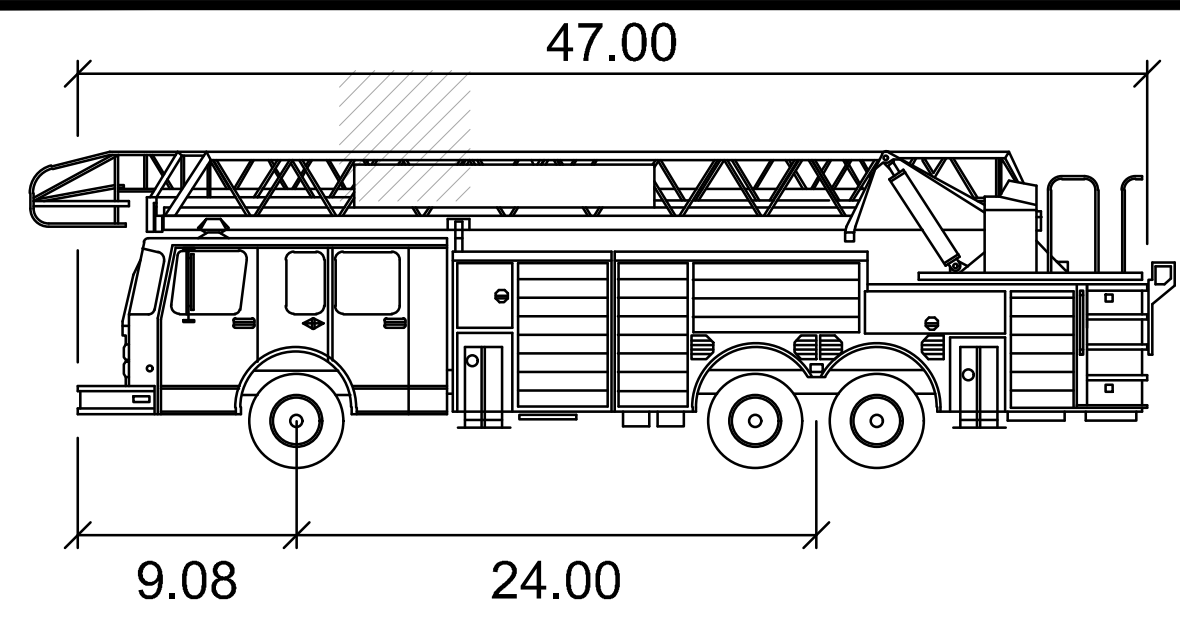
**GARBAGE TRUCK**

- |                   |       |
|-------------------|-------|
| Width             | : WD1 |
| Track             | : TR1 |
| Lock to Lock Time | : LL  |
| Steering Angle    | : SA  |



<p><b>Bowman</b> CONSULTING</p> <p>Phone: 732-662-5001          Fax: 732-662-5001          www.bowmanconsulting.com</p> <p>Geoffrey R. Lanza, N.J. Professional Engineer, Lic. 24162008000</p>	<p>PROJ: 086823-C1-001          CHG: CR</p> <p>THIS DRAWING AND ALL INFORMATION CONTAINED HEREIN IS THE PROPERTY OF BOWMAN CONSULTING AND IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. NO PART OF THIS DRAWING IS TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, WITHOUT THE WRITTEN PERMISSION OF BOWMAN CONSULTING AND DESIGN, LTD. © 2010. ALL RIGHTS RESERVED.</p>																								
<p>PRELIMINARY AND FINAL SUBDIVISION &amp; PRELIMINARY &amp; FINAL SITE PLAN FOR          PROPOSED HOTEL &amp; RESIDENTIAL DEVELOPMENT          PROPOSED RETAIL, RESTAURANT, &amp; RESIDENTIAL          PRINCETON EXECUTIVE PARK          BLOCK 9, LOTS 12.01, and 12.02, BLOCK 9.03, LOT 12.02          TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>CHKD</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	DATE	CHKD																				
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<p>SHEET No. <b>39</b> OF <b>49</b></p>																									

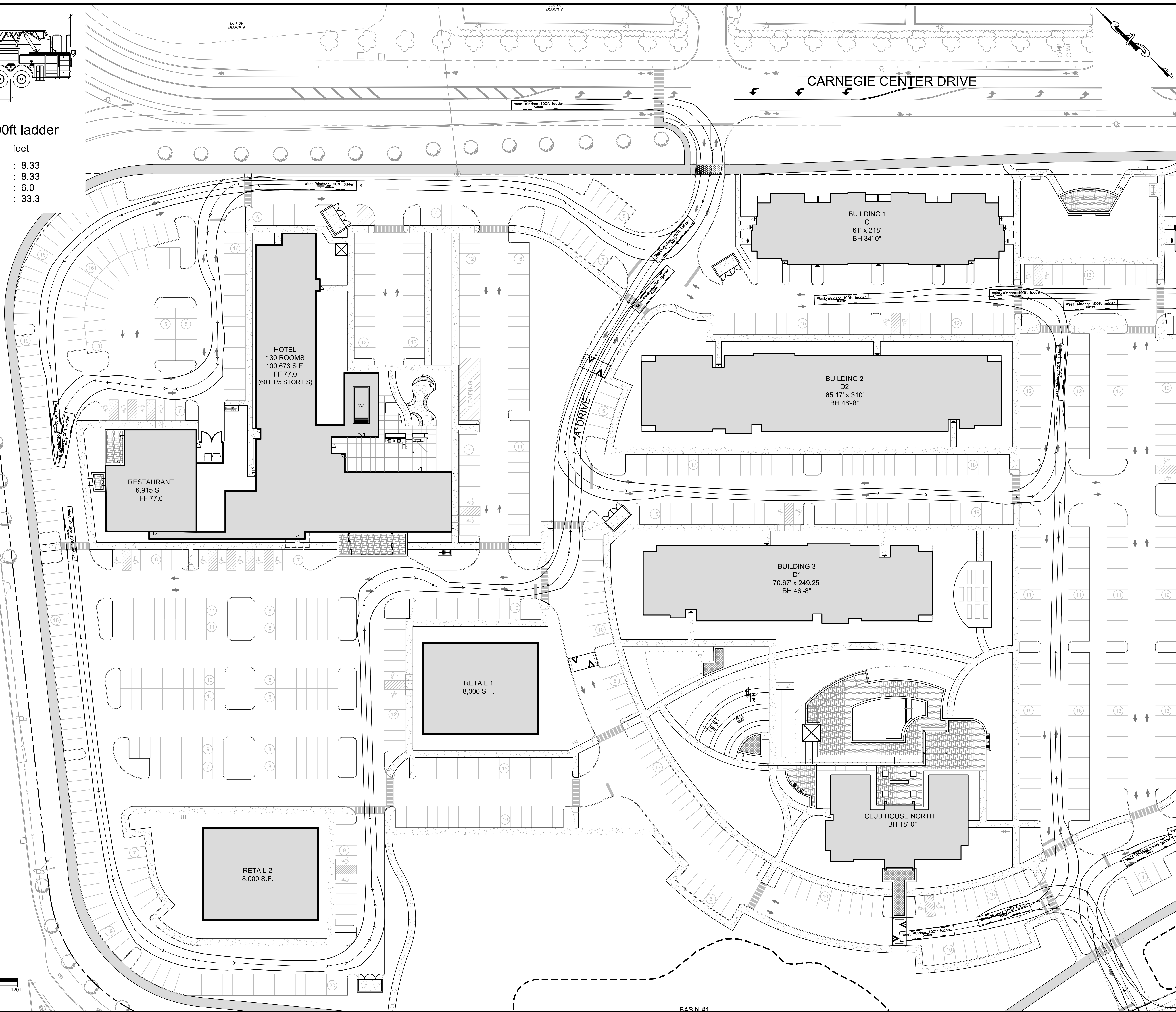
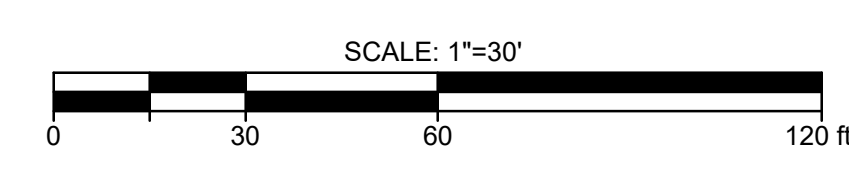
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 084823-084823-C1-001 (ENCL) - RCP Meadow Rd West Windsor\Engineering\Plans\Revised layout\CAD\_dwg\_SHT-SP2\SHT-TURN.dwg 03/24/20 04:06:28PM\_scorfield\_LAYOUT-SHT-40-F1  
 084823-084823-C1-001 (ENCL) - RCP Meadow Rd West Windsor\Engineering\Plans\Revised layout\CAD\_dwg\_SHT-SP2\SHT-TURN.dwg 03/24/20 04:06:28PM\_scorfield\_LAYOUT-SHT-40-F1



**West Windsor 100ft ladder**

	feet
Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

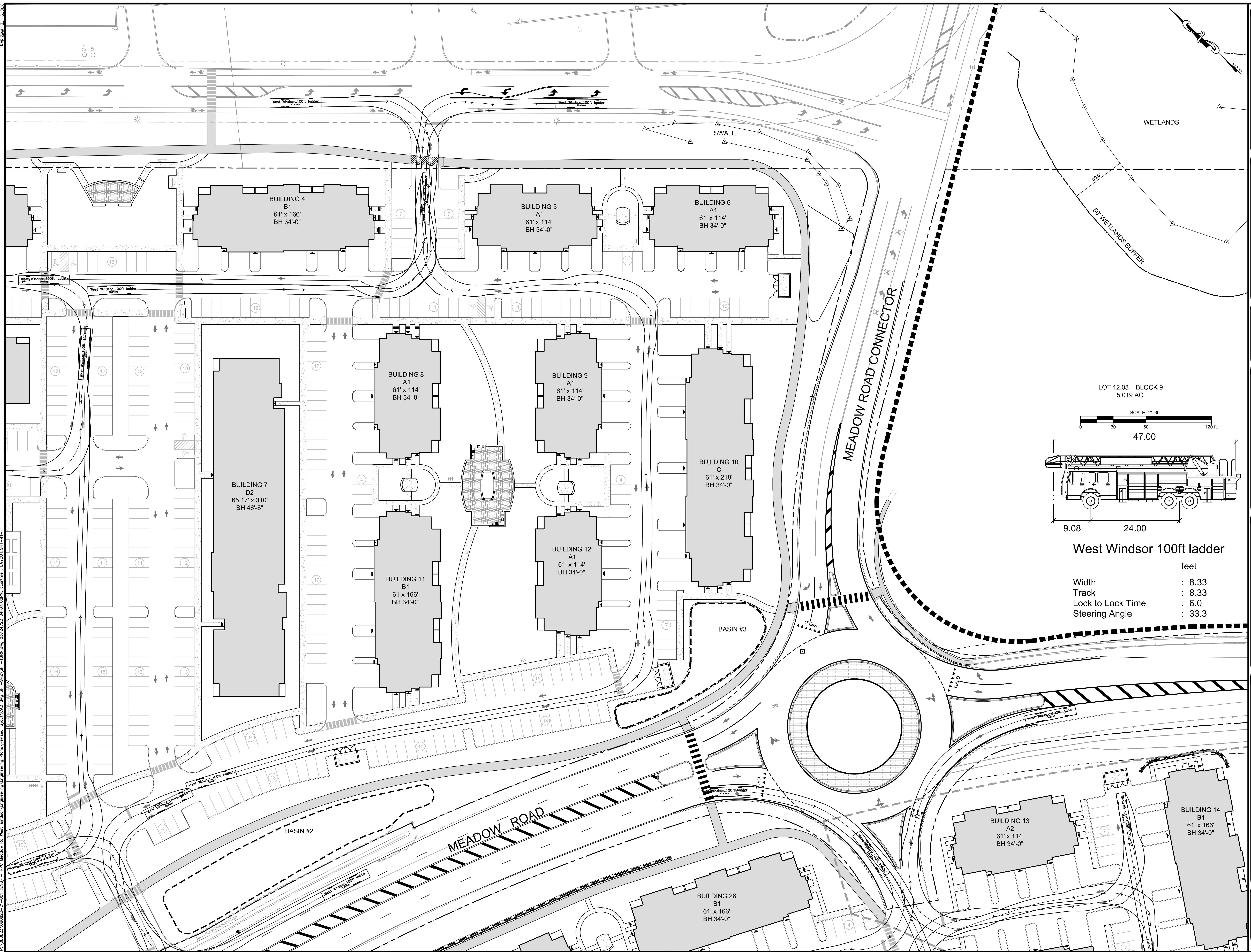
NEW JERSEY HIGHWAY ROUTE US 1



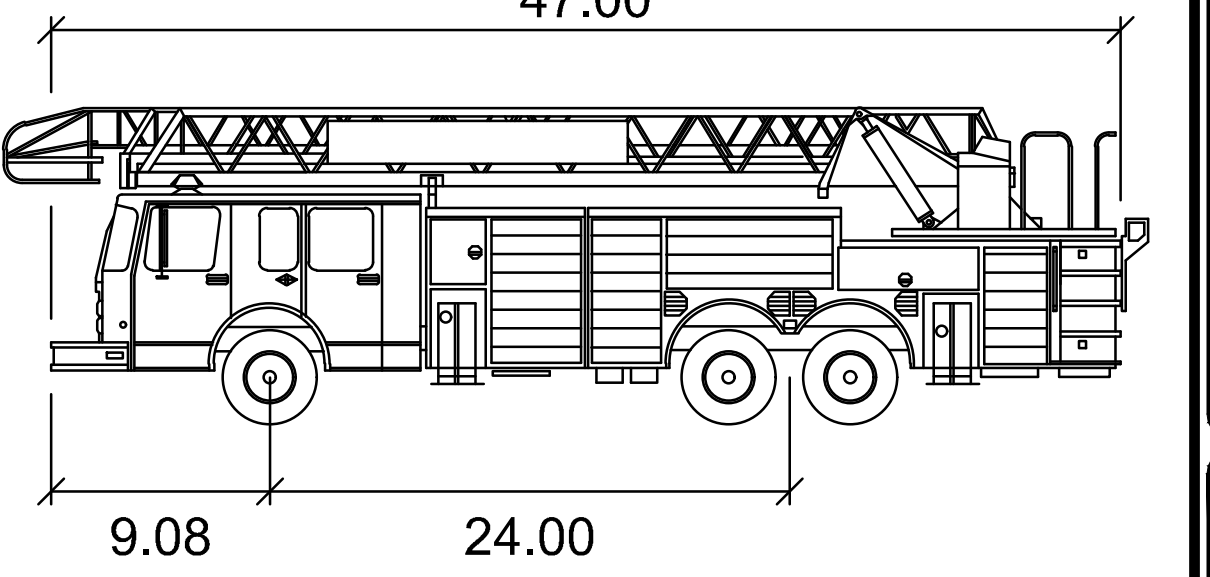
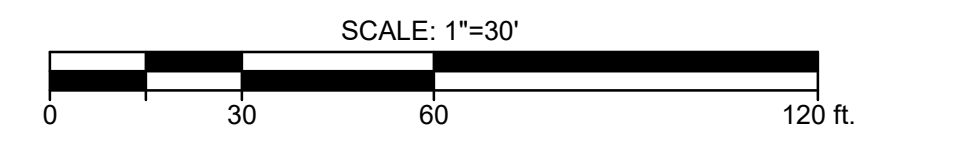
<p><b>PROJ: 084823-C1-001</b>  <b>CHD GR</b></p> <p><b>Bowman CONSULTING</b></p> <p>Phone: 732-662-6500        Fax: 732-662-5001        NJ Certificate of Registration        www.bowmanconsulting.com        1000 Corporate Center Drive        Suite 200        Princeton, NJ 08542</p> <p><b>Bowman Consulting Group, Ltd.</b>        Princeton, New Jersey 07728</p> <p style="text-align: right;"><i>Geoffrey R. Lanza</i></p> <p>Geoffrey R. LANZA N.J. Professional Engineer Lic. 2416E00068000</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th style="width: 50%;">DATE</th> <th style="width: 50%;">REVISION</th> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> </tr> </table>	DATE	REVISION																		
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<p>PRELIMINARY AND FINAL SUBDIVISION &amp; PRELIMINARY &amp; FINAL SITE PLAN FOR          PROPOSED HOTEL &amp; RESIDENTIAL DEVELOPMENT          PROPOSED RETAIL, RESTAURANT, &amp; RESIDENTIAL          PRINCETON EXECUTIVE PARK  <b>FIRE TRUCK TURNING PLAN</b>          BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9.03, LOT 12, 02          TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY</p>																					
<p>SHEET No. <b>40</b> / <b>49</b></p>																					



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LOT 12.03 BLOCK 9  
5.019 AC.

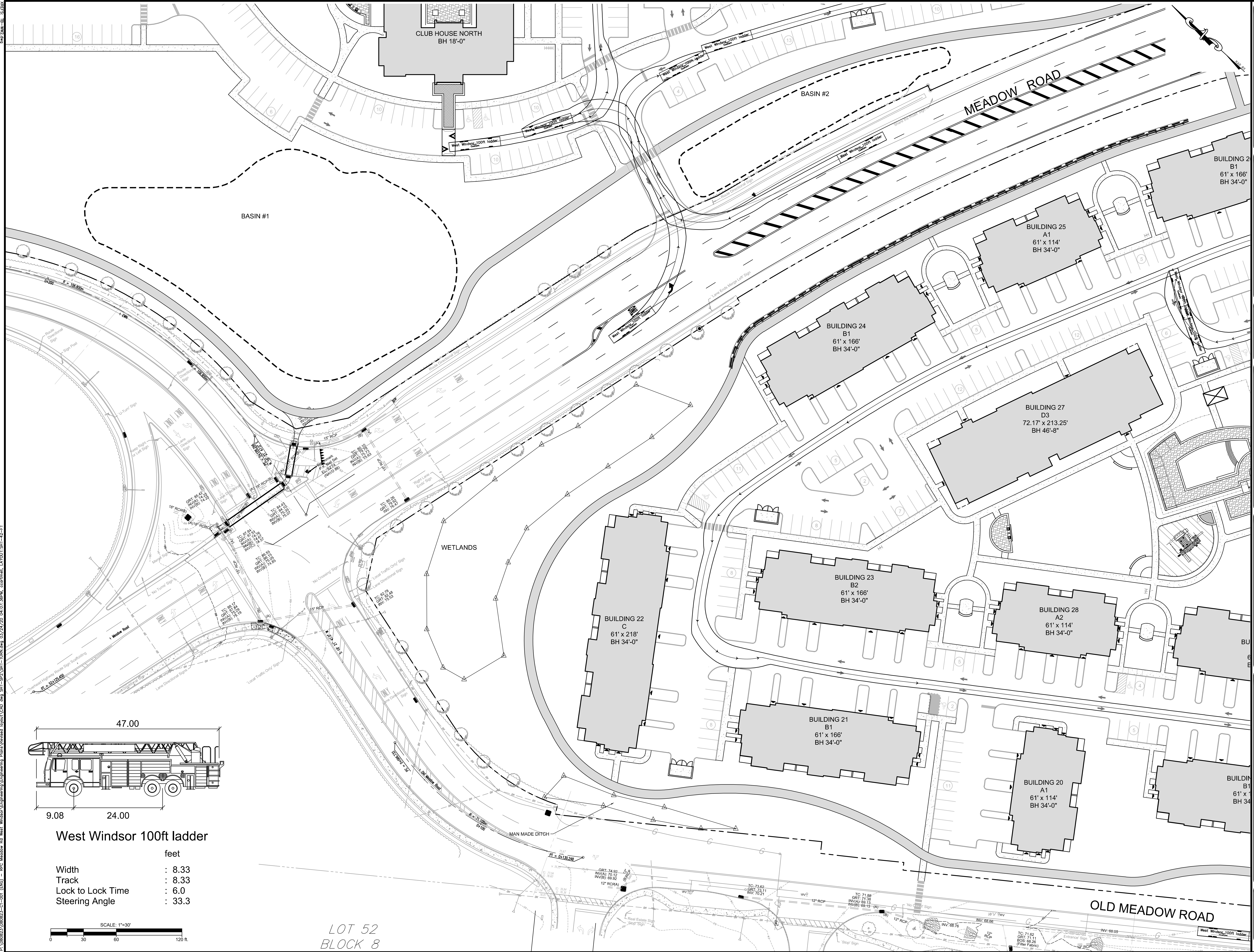


**West Windsor 100ft ladder**

	feet
Width	: 8.33
Track	: 8.33
Lock to Lock Time	: 6.0
Steering Angle	: 33.3

<p>PROJ: 084823-C1-001          CHD: GR</p> <p>PHYSICIAN AND ALL INFORMATION CONTAINED HEREIN IS UNCLASSIFIED EXCEPT WHERE SHOWN OTHERWISE. THIS DOCUMENT IS THE PROPERTY OF BOWMAN CONSULTING GROUP, LTD. IT IS TO BE USED ONLY FOR THE PROJECT AND SITE SPECIFICALLY IDENTIFIED HEREIN. IT IS NOT TO BE REPRODUCED, COPIED, OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF BOWMAN CONSULTING GROUP, LTD. ALL RIGHTS RESERVED.</p> <p><b>Bowman CONSULTING</b></p> <p>Phone: 732-665-5000          Fax: 732-665-5001          NJ Certificate of Registration          www.bowmanconsulting.com          2014-01-01</p> <p>Bowman Consulting Group, Ltd.          Princeton, New Jersey 07728</p> <p>GOFFREY R. LANZA N.J. Professional Engineer Lic. 24CE000800</p>	<table border="1" style="width: 100%; border-collapse: collapse;"> <tr> <th>NO.</th> <th>REVISION</th> <th>DATE</th> <th>CHKD</th> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> <tr> <td> </td> <td> </td> <td> </td> <td> </td> </tr> </table>	NO.	REVISION	DATE	CHKD																				
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<p>SHEET No.  <span style="font-size: 2em; font-weight: bold;">41</span>          OF <span style="font-size: 2em; font-weight: bold;">49</span></p>																									

P:\080823\080823-C1-001 (E) - R/C Meadow Rd West Windsor\Engineering\Plans\Revised Layout\CAD - SHIT-SP2\SHIT-TURN.dwg 03/24/20 04:07:36PM, cont'd.mxd, LAYOUT-SHT-42-F1  
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PROJ: 080823-C1-001  
 CHG: CR  
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 1000 Corporate Center Drive  
 Princeton, NJ 08542

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PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 FIRE TRUCK TURNING PLAN  
 BLOCK 8, LOTS 12, 01, and 12.02, BLOCK 8.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No.  
42  
 OF  
49

P:\086823\086823-C1-001 (EKO) - R/C Meadow Rd West Windsor\Engineering\Plan\Reviewed layout\CAD.dwg SHI-SP2\SHI-TURN.dwg 03/24/20 04:08:09PM\_scontf.mel\_LAYOUT\_SHT-43-F1  
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PROJECT: 086823-C1-001  
 CHNG: GR  
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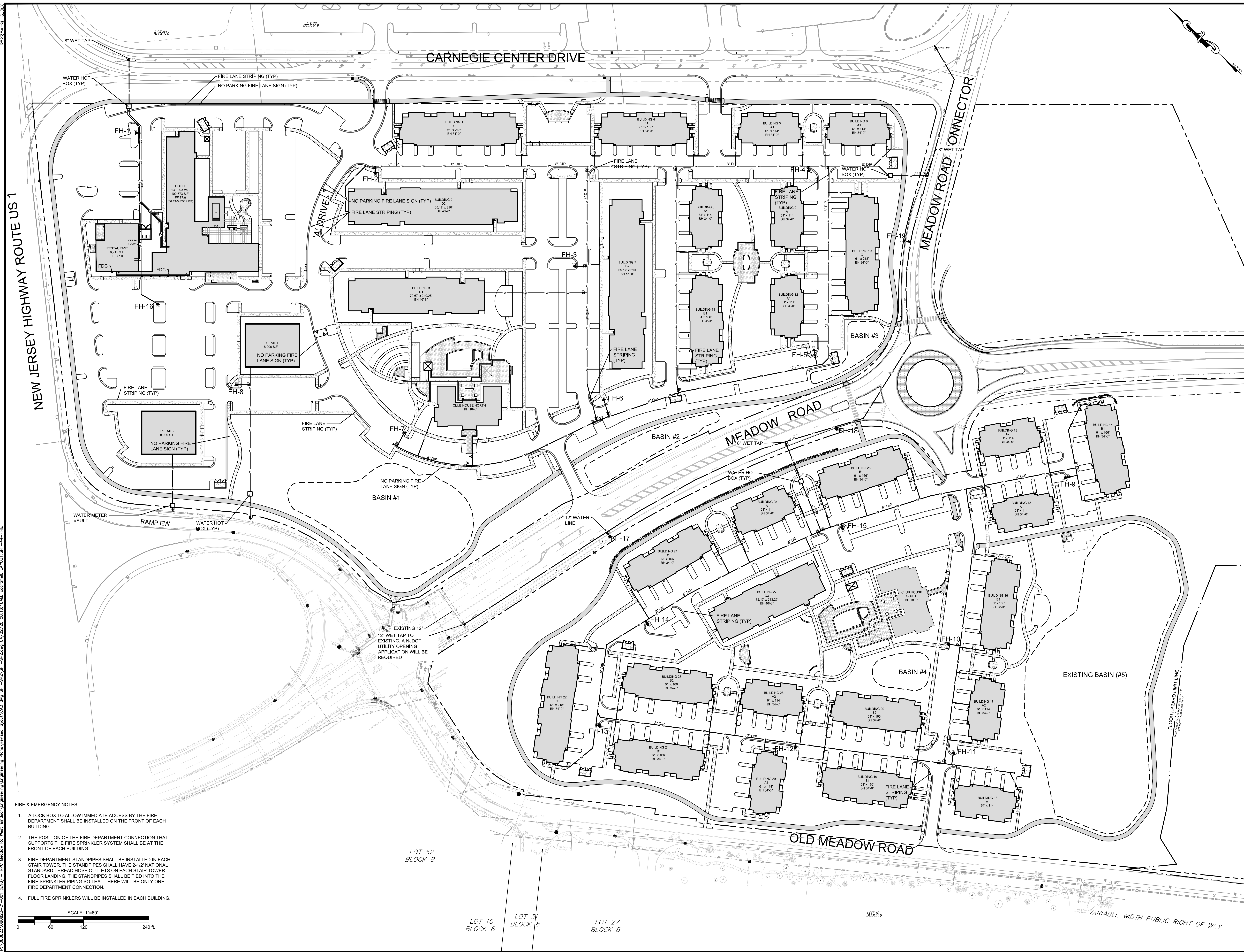
Bowman Consulting Group, Ltd.  
 Phone: 732-665-5501  
 Fax: 732-665-5001  
 NJ Certificate of Registration  
 www.bowmanconsulting.com  
 2018-01-01-2018-12-31

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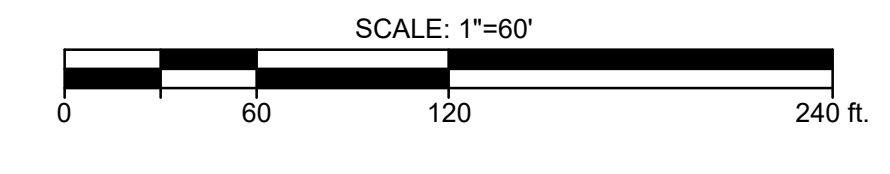
PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
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 BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9.03, LOT 12, 02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No.  
**43**  
 OF **49**

P:\084823\084823-C1-001 (ENCL) - REC Meadow Rd West Windsor\Engineering\Plans\Revised layout\CAD.dwg SH1-SP2\SH1-SP2.dwg 04/22/20 08:16:16AM ccorneil LAYOUT:SH1-44-FIRE



- FIRE & EMERGENCY NOTES**
1. A LOCK BOX TO ALLOW IMMEDIATE ACCESS BY THE FIRE DEPARTMENT SHALL BE INSTALLED ON THE FRONT OF EACH BUILDING.
  2. THE POSITION OF THE FIRE DEPARTMENT CONNECTION THAT SUPPORTS THE FIRE SPRINKLER SYSTEM SHALL BE AT THE FRONT OF EACH BUILDING.
  3. FIRE DEPARTMENT STANDPIPES SHALL BE INSTALLED IN EACH STAIR TOWER. THE STANDPIPES SHALL HAVE 2-1/2" NATIONAL STANDARD THREAD HOSE OUTLETS ON EACH STAIR TOWER FLOOR LANDING. THE STANDPIPES SHALL BE TIED INTO THE FIRE SPRINKLER PIPING SO THAT THERE WILL BE ONLY ONE FIRE DEPARTMENT CONNECTION.
  4. FULL FIRE SPRINKLERS WILL BE INSTALLED IN EACH BUILDING.



LOT 52  
BLOCK B

LOT 10  
BLOCK B

LOT 31  
BLOCK B

LOT 27  
BLOCK B

PROJ: 084823-C1-001		DATE: 04/22/20
CADD: GR		REVISION:
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5	FIRE LANE STRIPING (TYP)	5
6	WATER HOT BOX (TYP)	6
7	NO PARKING FIRE LANE SIGN (TYP)	7
8	FIRE LANE STRIPING (TYP)	8
9	WATER HOT BOX (TYP)	9
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48	WATER HOT BOX (TYP)	48
49	NO PARKING FIRE LANE SIGN (TYP)	49
50	FIRE LANE STRIPING (TYP)	50
51	WATER HOT BOX (TYP)	51
52	NO PARKING FIRE LANE SIGN (TYP)	52
53	FIRE LANE STRIPING (TYP)	53
54	WATER HOT BOX (TYP)	54
55	NO PARKING FIRE LANE SIGN (TYP)	55
56	FIRE LANE STRIPING (TYP)	56
57	WATER HOT BOX (TYP)	57
58	NO PARKING FIRE LANE SIGN (TYP)	58
59	FIRE LANE STRIPING (TYP)	59
60	WATER HOT BOX (TYP)	60
61	NO PARKING FIRE LANE SIGN (TYP)	61
62	FIRE LANE STRIPING (TYP)	62
63	WATER HOT BOX (TYP)	63
64	NO PARKING FIRE LANE SIGN (TYP)	64
65	FIRE LANE STRIPING (TYP)	65
66	WATER HOT BOX (TYP)	66
67	NO PARKING FIRE LANE SIGN (TYP)	67
68	FIRE LANE STRIPING (TYP)	68
69	WATER HOT BOX (TYP)	69
70	NO PARKING FIRE LANE SIGN (TYP)	70
71	FIRE LANE STRIPING (TYP)	71
72	WATER HOT BOX (TYP)	72
73	NO PARKING FIRE LANE SIGN (TYP)	73
74	FIRE LANE STRIPING (TYP)	74
75	WATER HOT BOX (TYP)	75
76	NO PARKING FIRE LANE SIGN (TYP)	76
77	FIRE LANE STRIPING (TYP)	77
78	WATER HOT BOX (TYP)	78
79	NO PARKING FIRE LANE SIGN (TYP)	79
80	FIRE LANE STRIPING (TYP)	80
81	WATER HOT BOX (TYP)	81
82	NO PARKING FIRE LANE SIGN (TYP)	82
83	FIRE LANE STRIPING (TYP)	83
84	WATER HOT BOX (TYP)	84
85	NO PARKING FIRE LANE SIGN (TYP)	85
86	FIRE LANE STRIPING (TYP)	86
87	WATER HOT BOX (TYP)	87
88	NO PARKING FIRE LANE SIGN (TYP)	88
89	FIRE LANE STRIPING (TYP)	89
90	WATER HOT BOX (TYP)	90
91	NO PARKING FIRE LANE SIGN (TYP)	91
92	FIRE LANE STRIPING (TYP)	92
93	WATER HOT BOX (TYP)	93
94	NO PARKING FIRE LANE SIGN (TYP)	94
95	FIRE LANE STRIPING (TYP)	95
96	WATER HOT BOX (TYP)	96
97	NO PARKING FIRE LANE SIGN (TYP)	97
98	FIRE LANE STRIPING (TYP)	98
99	WATER HOT BOX (TYP)	99
100	NO PARKING FIRE LANE SIGN (TYP)	100

PROJ: 084823-C1-001  
CADD: GR  
DATE: 04/22/20

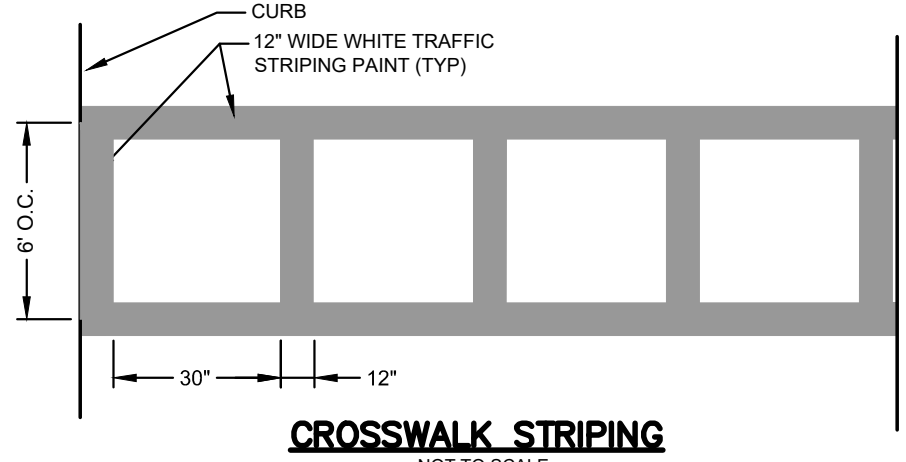
PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
PRINCETON EXECUTIVE PARK  
FIRE HYDRANT LOCATION PLAN  
BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9, 03, LOT 12, 02  
BLOCK 9, LOTS 12, 01, and 12, 02, BLOCK 9, 03, LOT 12, 02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

**Bowman CONSULTING**

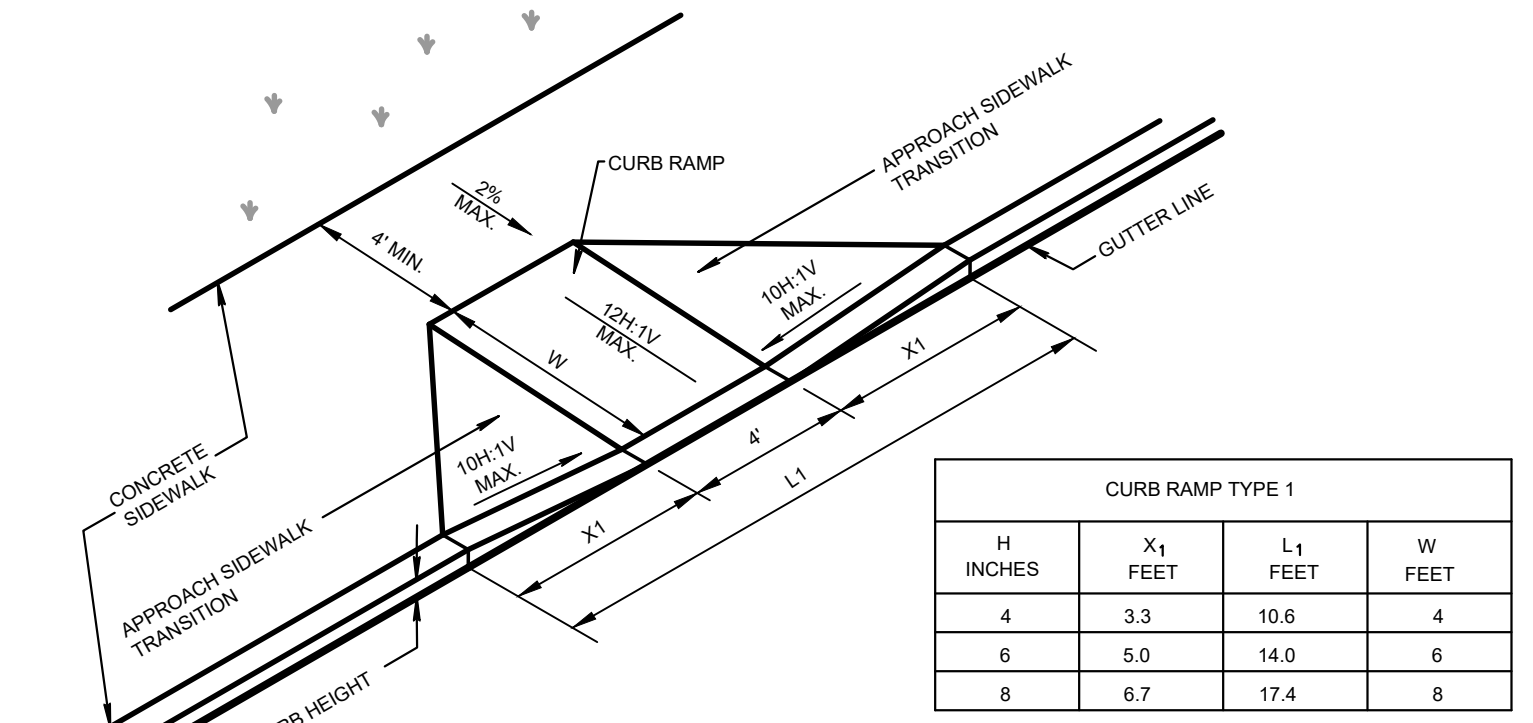
Bowman Consulting Group, Ltd.  
Phone: 732-665-5000  
Fax: 732-665-5001  
NJ Certificate of Professional Engineer No. 24CE0006800  
www.bowmanconsulting.com  
www.bowmanconsulting.com

GEOFFREY R. LANZA N.J. Professional Engineer, L.C. 24CE0006800

SHEET NO. 44 OF 49

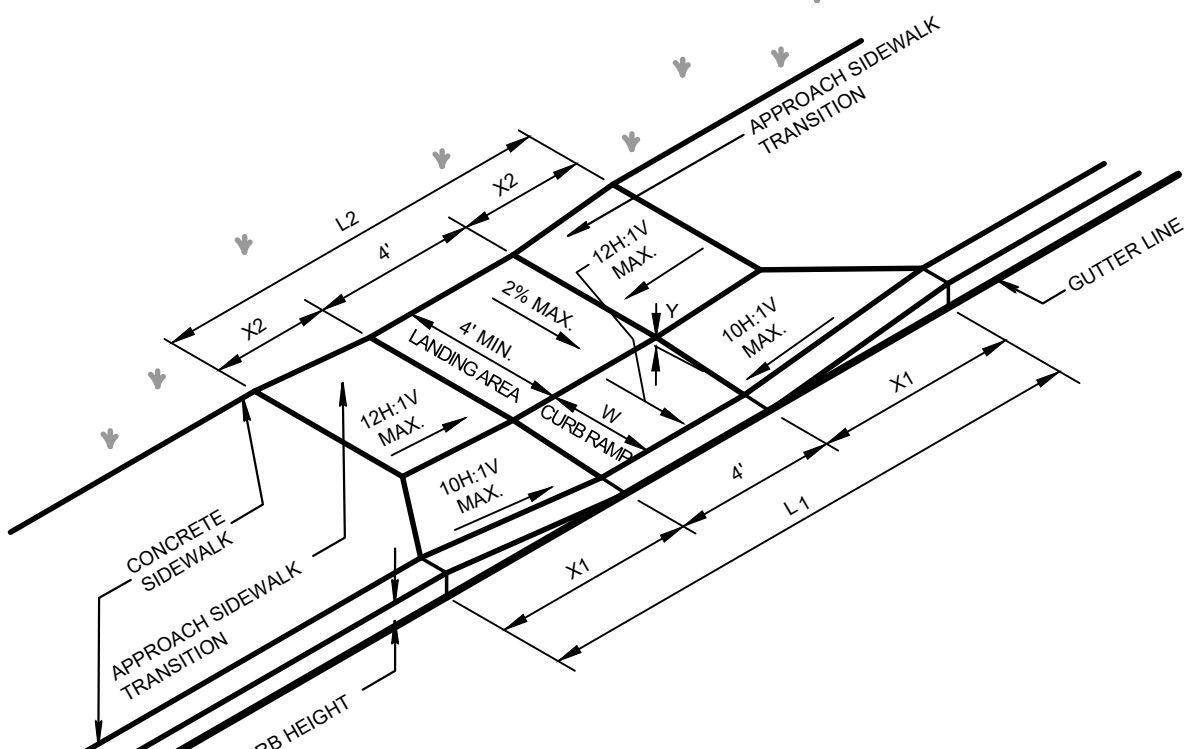


**CROSSWALK STRIPING**  
NOT TO SCALE



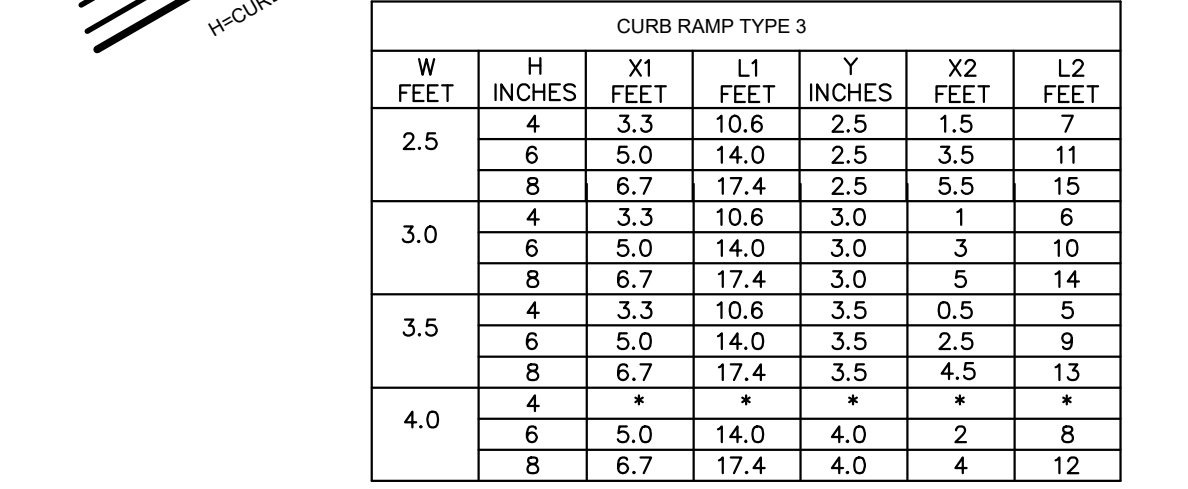
**CURB RAMP TYPE 1 (CR1)**  
NOT TO SCALE

H	X1	L1	W	FEET
4	3.3	10.6	4	
6	5.0	14.0	6	
8	6.7	17.4	8	



**CURB RAMP TYPE 2 (CR2)**  
NOT TO SCALE

H	W	FEET
4	4	
6	6	
8	8	



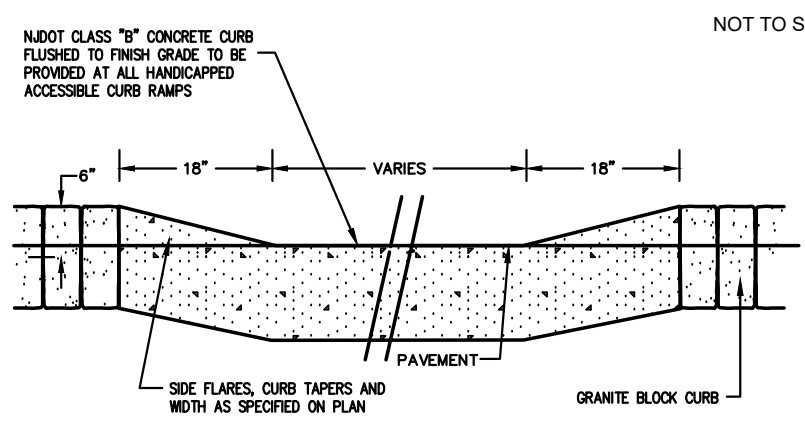
**CURB RAMP TYPE 3 (CR3)**  
NOT TO SCALE

W	H	X1	L1	Y	X2	L2
2.5	4	3.3	10.6	2.5	1.5	7
3.0	6	5.0	14.0	3.0	3	10
3.5	8	6.7	17.4	3.0	5	14
4.0	4	3.3	10.6	3.5	0.5	5
6	5.0	14.0	3.5	2.5	9	
8	6.7	17.4	3.5	4.5	13	
4	4	*	*	*	*	*
6	5.0	14.0	4.0	2	8	
8	6.7	17.4	4.0	4	12	

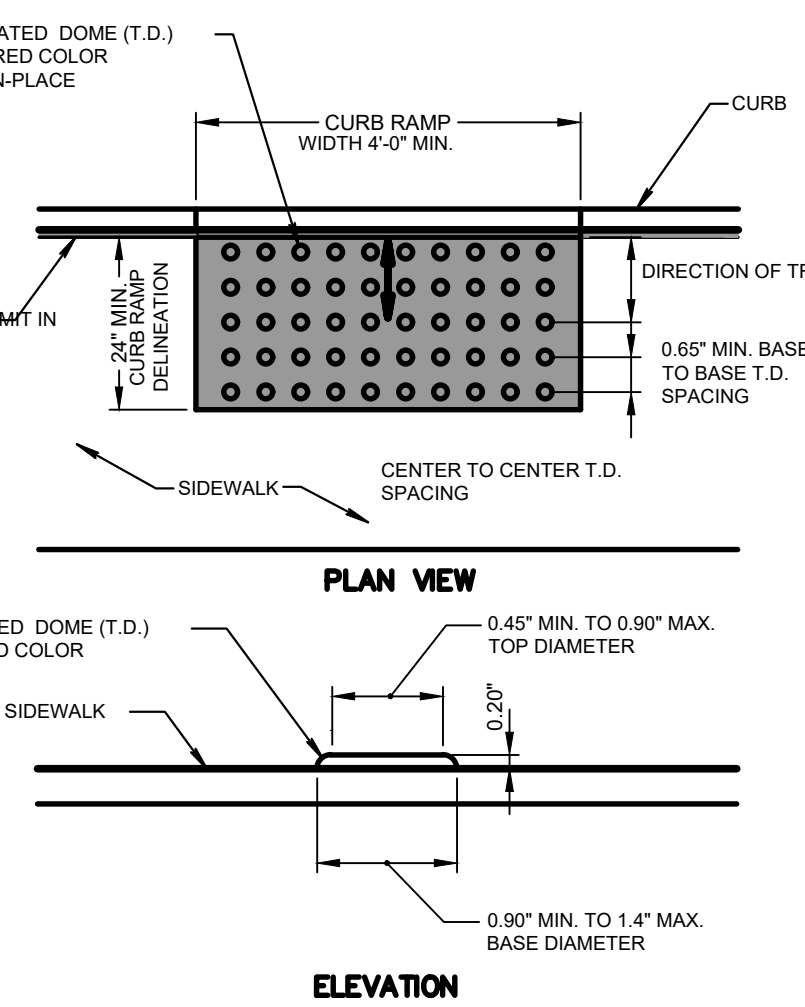
\* NOTE: TYPE 3 RAMP IS NOT APPLICABLE. USE TYPE 1.  
(LANDING AREA REQUIRED)

- GENERAL NOTES:**
- LANDING AREA, APPROACH SIDEWALK TRANSITIONS, AND CURB RAMP SHALL BE KEPT CLEAR.
  - DIMENSIONS SHOWN IN TABLES ARE FOR RELATIVELY FLAT SIDEWALK AREAS. CARE SHOULD BE TAKEN WHEN DETERMINING CURB RAMP SIZE BASED ON CURB HEIGHT (H) WHERE ELEVATION OF CURB AND SIDEWALK VARY DRASTICALLY IN AREA OF PROPOSED CURB RAMP.
  - CURB (DROPPED CURB) GUTTERLINE SHALL BE FLUSH WITH ROADWAY PAVEMENT A MINIMUM OF 4 FEET AT ALL CURB RAMP. EXCEPT THAT CURB RAMP TYPE 6 SHALL BE A MINIMUM OF 3 FEET.
  - WHERE THE DISTANCE FROM THE GUTTERLINE TO THE OUTSIDE EDGE OF SIDEWALK IS 6 FEET OR LESS, THE PUBLIC SIDEWALK CURB RAMP DELINEATION (SHADED AREA) SHALL BE SAFETY RED IN COLOR.
  - WHERE THE DISTANCE FROM THE GUTTERLINE TO THE OUTSIDE EDGE OF THE SIDEWALK IS 6 FEET OR LESS, CURB RAMP TYPE 7 SHOULD BE USED, INSTEAD OF CURB RAMP TYPES 1 THROUGH 3.
  - CROSSWALKS AND STOP LINES MAY BE MARKED OR UNMARKED. SEE PLANS.
  - DIMENSIONS SHOWN ON THE TABLES ARE FOR 4, 6, OR 8 INCH CURB HEIGHTS. WHERE THE CURB HEIGHTS ARE OTHER THAN WHAT IS PROVIDED IN THE TABLES, THE DIMENSIONS OF THE RAMP WILL HAVE TO BE CALCULATED BASED ON THE CROSS SLOPES SHOWN.
  - ALL FULL CURB DEPRESSIONS SHALL BE CONSTRUCTED OF CONCRETE, REGARDLESS OF THE CURB TYPE THROUGHOUT THE PROJECT.

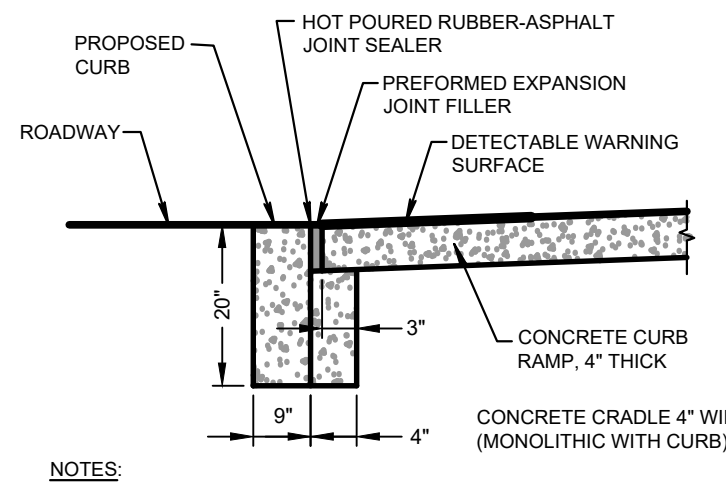
**ADA SIDEWALK AND CURB RAMP**



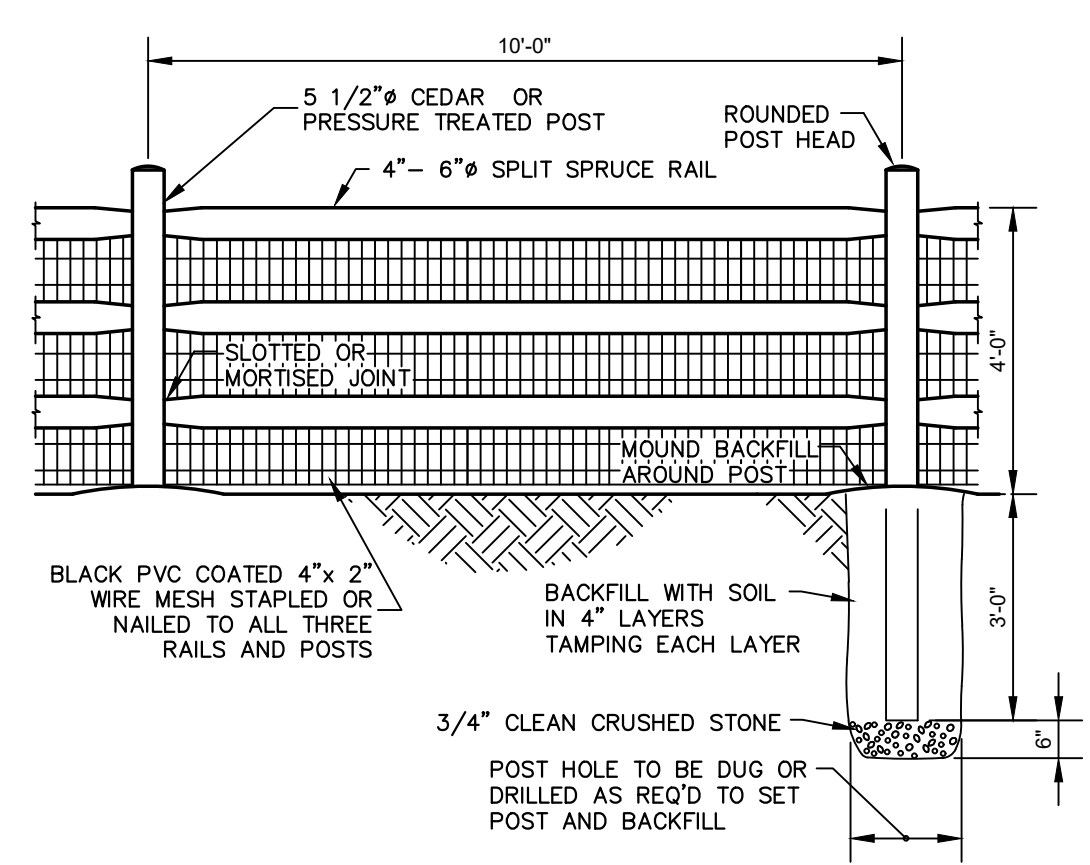
**ADA ACCESSIBLE FLUSH CURB DETAIL**  
NOT TO SCALE



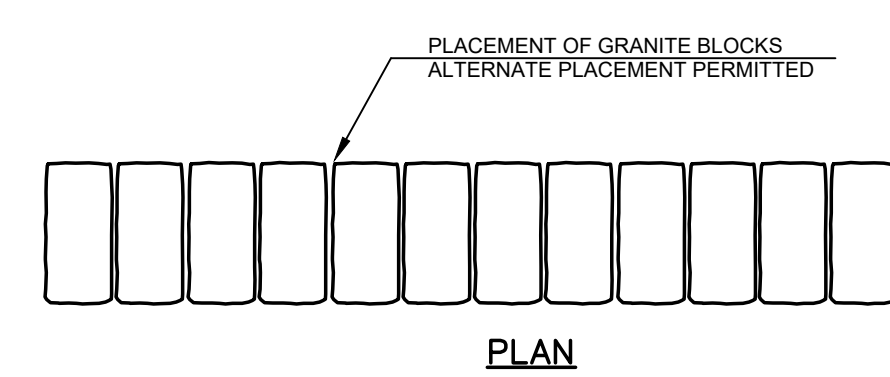
**DETECTABLE WARNING SURFACE**  
NOT TO SCALE



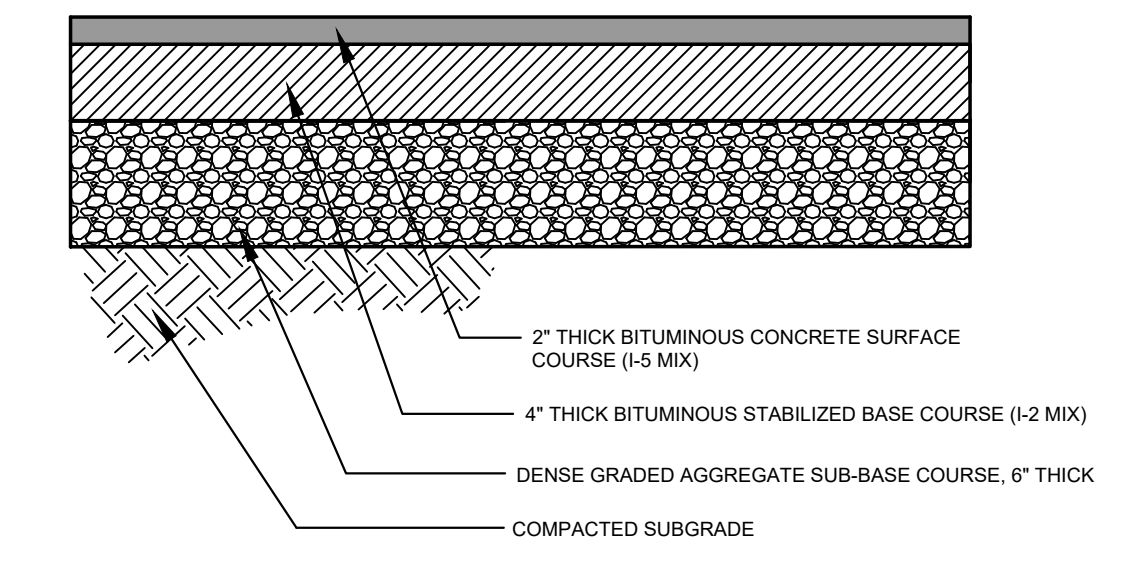
**DROPPED CURB AND CRADLE**  
NOT TO SCALE



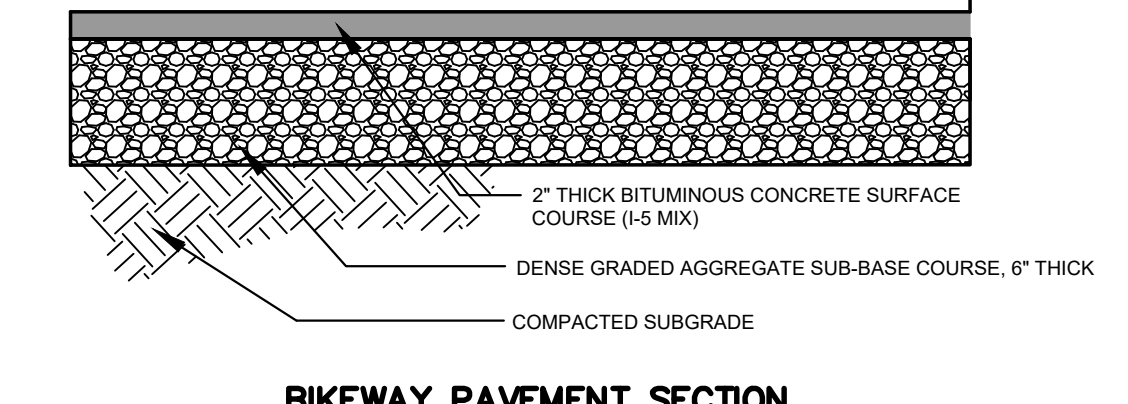
**SPLIT RAIL FENCE WITH WIRE MESH**  
NOT TO SCALE



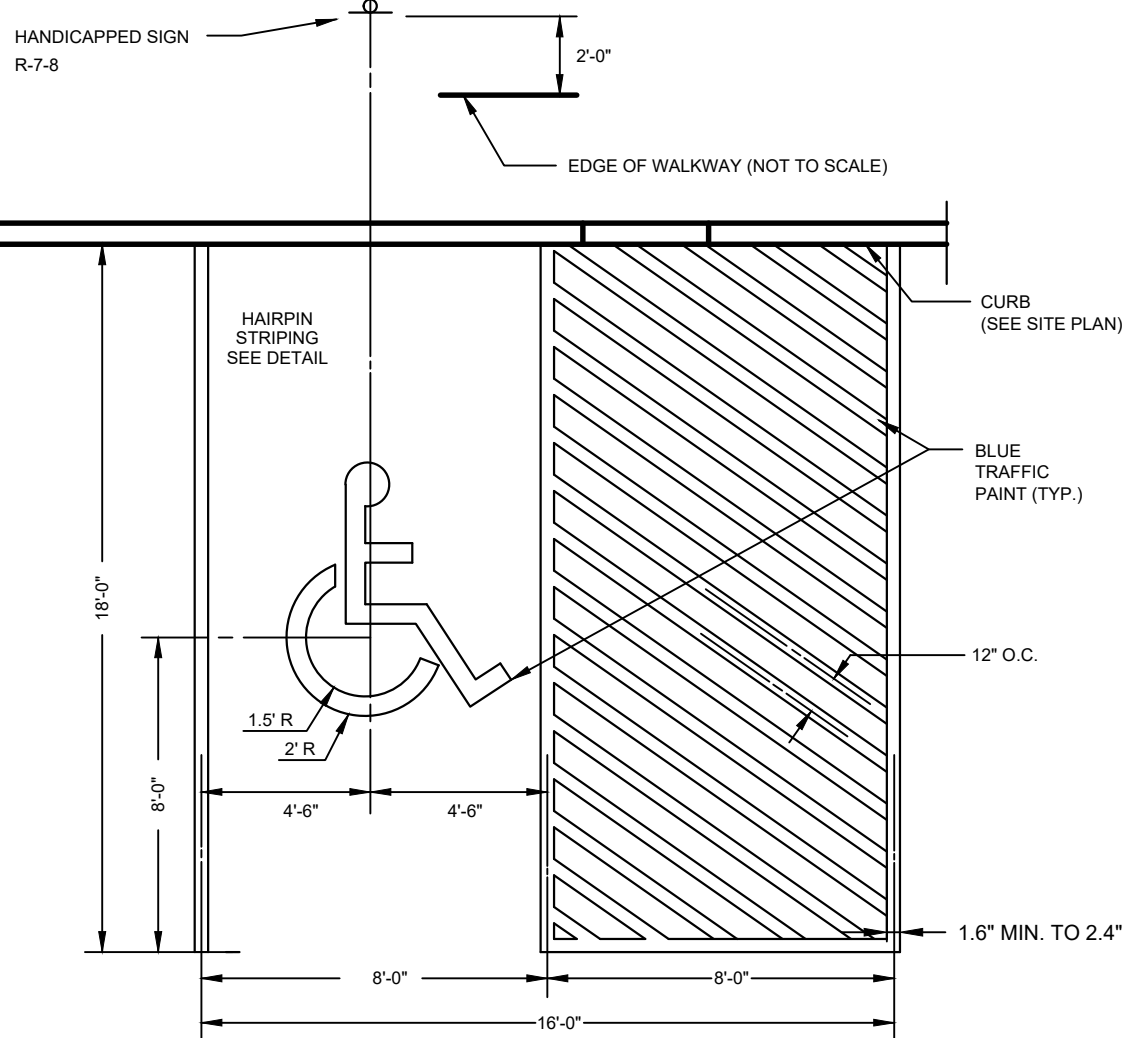
**MOUNTABLE GRANITE BLOCK CURB DETAIL**  
NOT TO SCALE



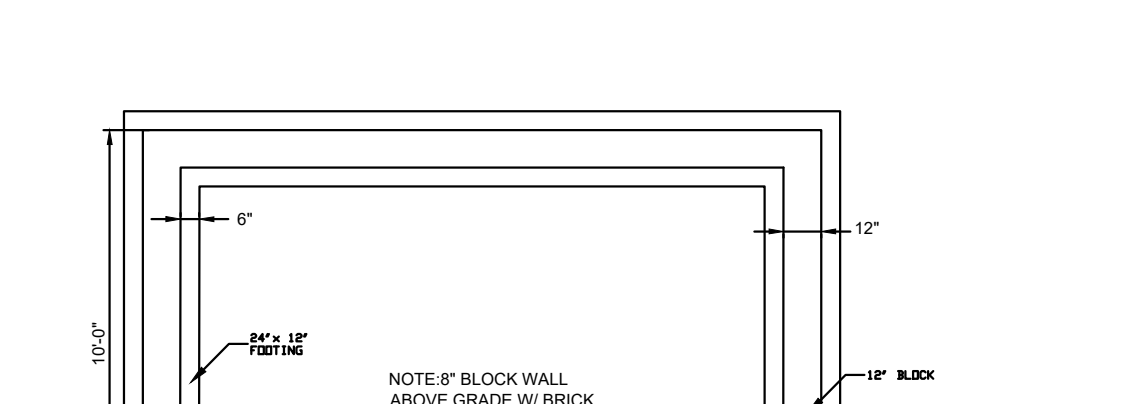
**ROADWAY PAVEMENT SECTION**  
NOT TO SCALE



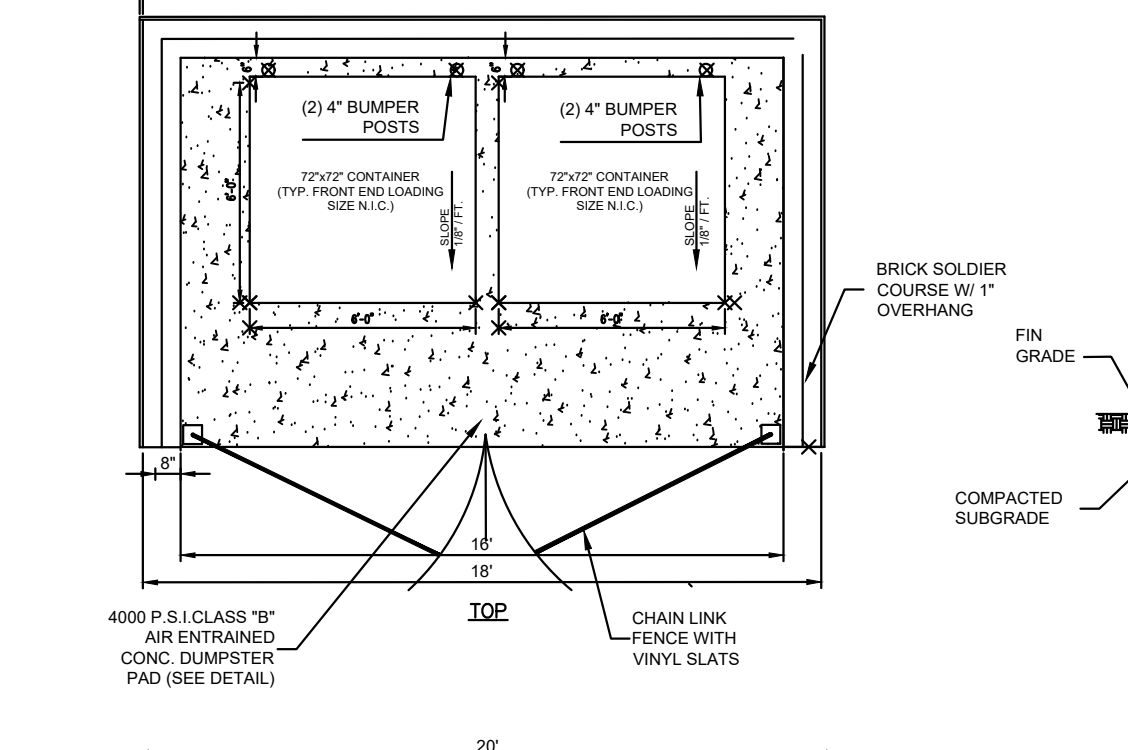
**BIKEWAY PAVEMENT SECTION**  
NOT TO SCALE



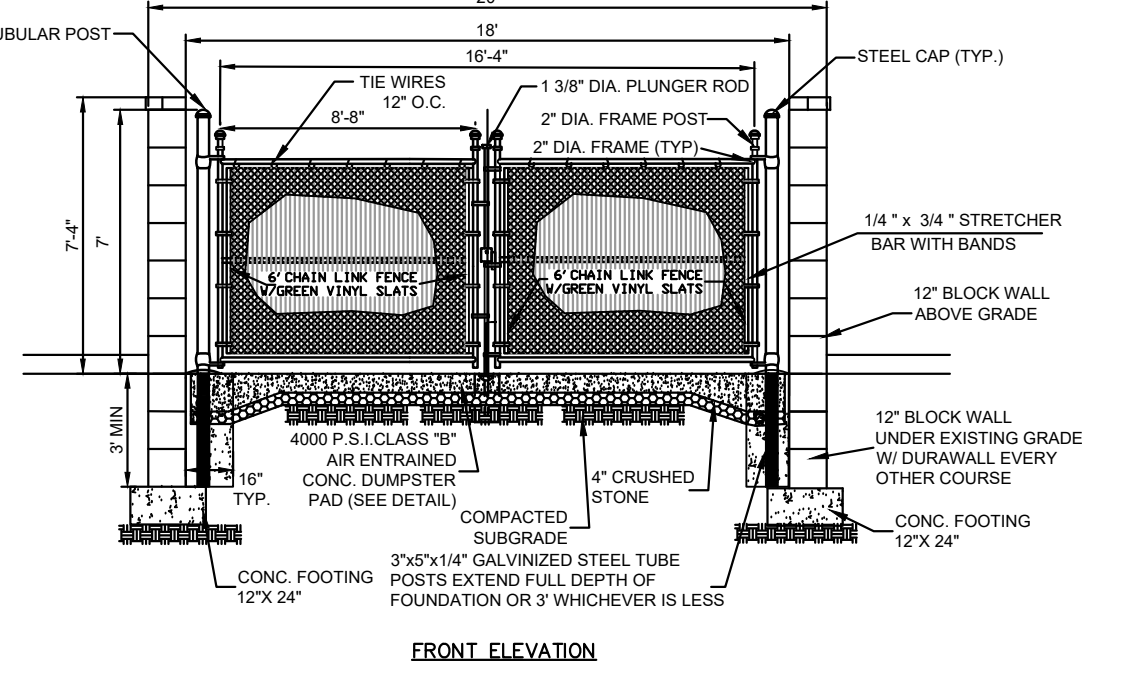
**TYPICAL VAN ACCESSIBLE ADA PARKING SPACE**  
NOT TO SCALE



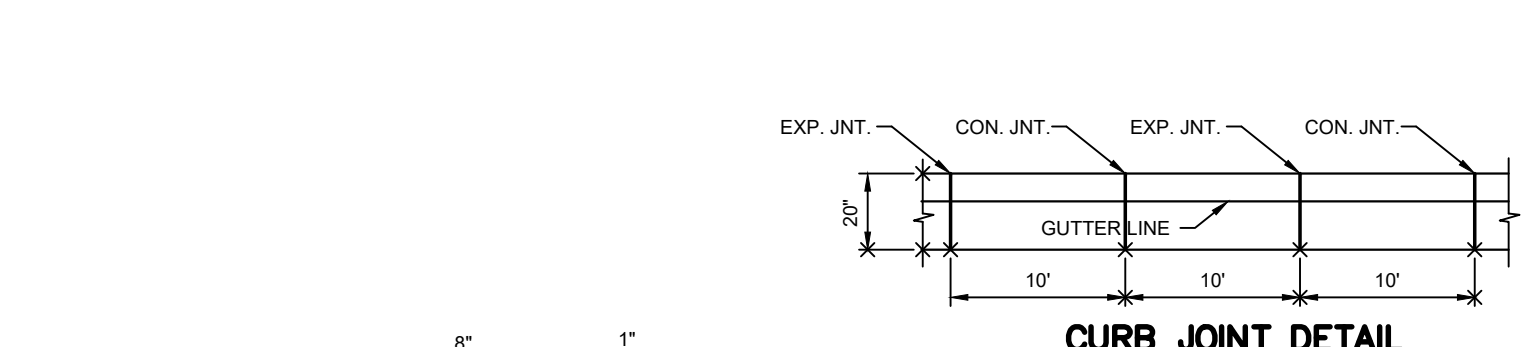
**TYPICAL WALL SECTION**  
NOT TO SCALE



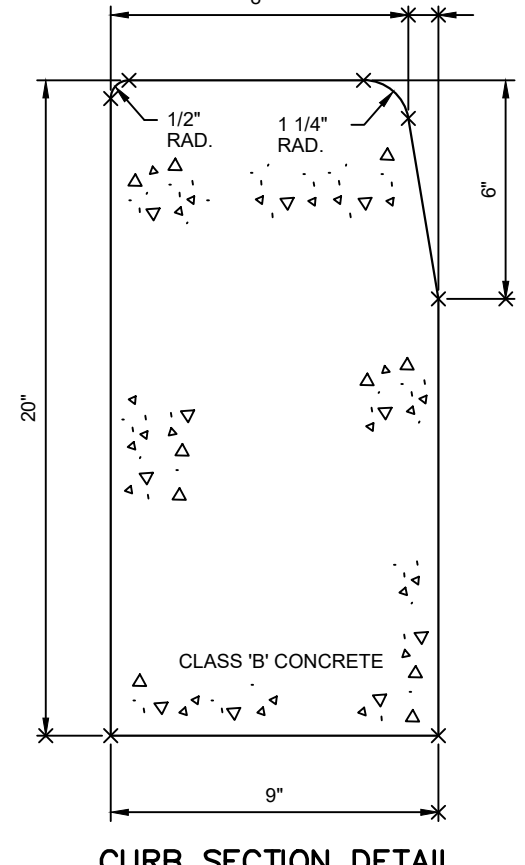
**TRASH ENCLOSURE DETAIL**  
NOT TO SCALE



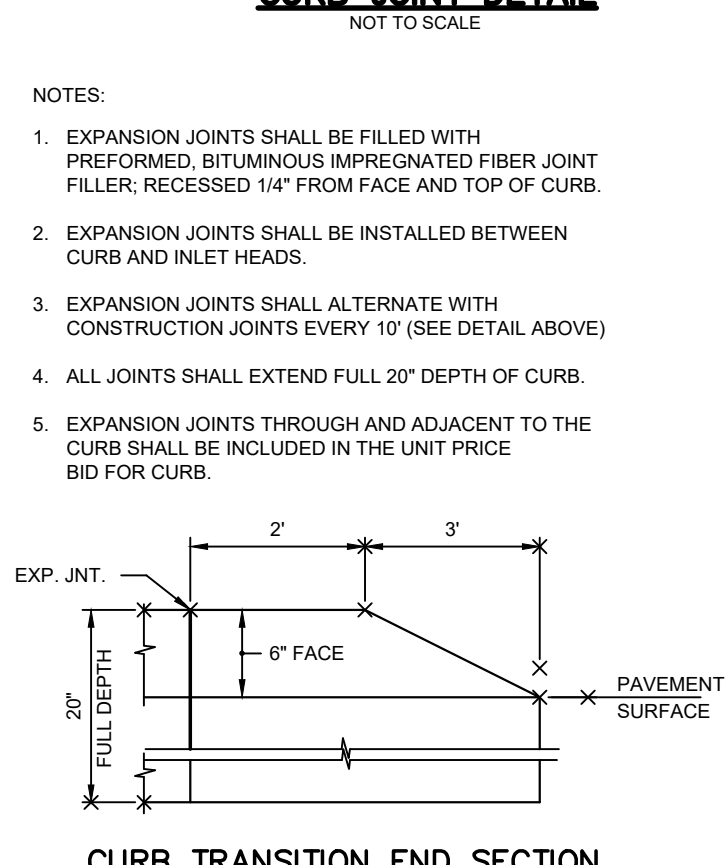
**STEEL PIPE BOLLARD DETAIL**  
NOT TO SCALE



**CURB JOINT DETAIL**  
NOT TO SCALE

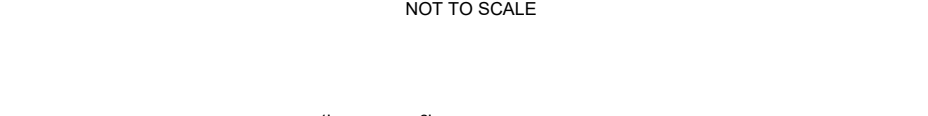


**CURB SECTION DETAIL**  
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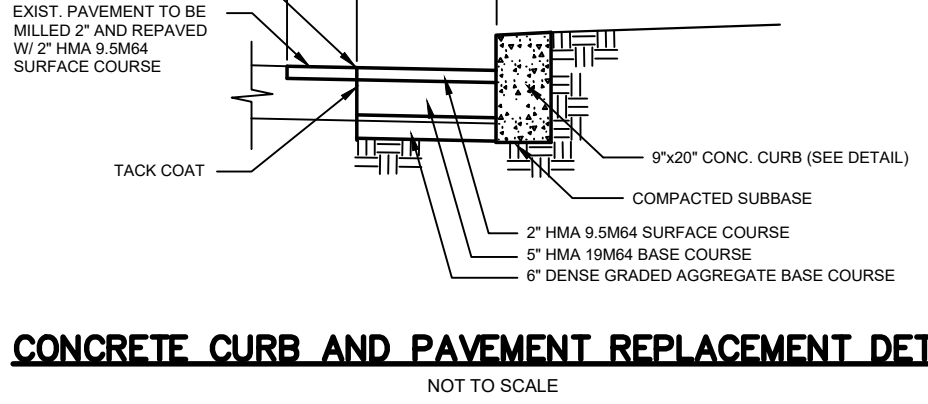


**CURB TRANSITION END SECTION**  
NOT TO SCALE

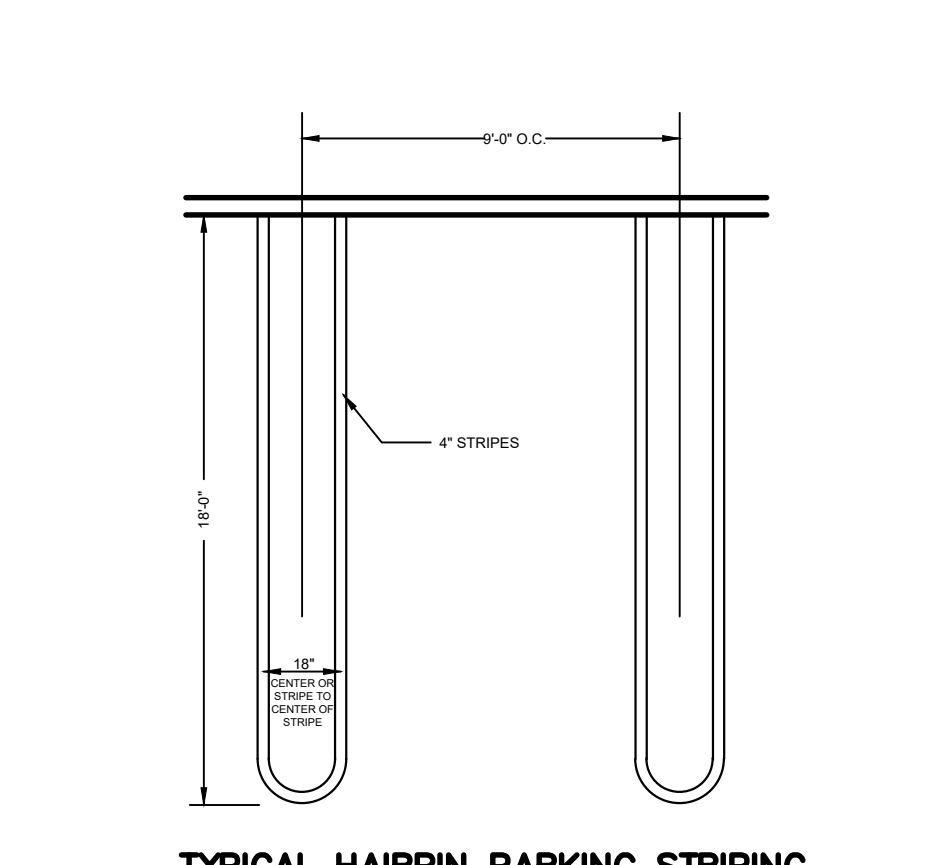
**9"x 20" CONCRETE VERTICAL CURB (WITHIN ROW)**



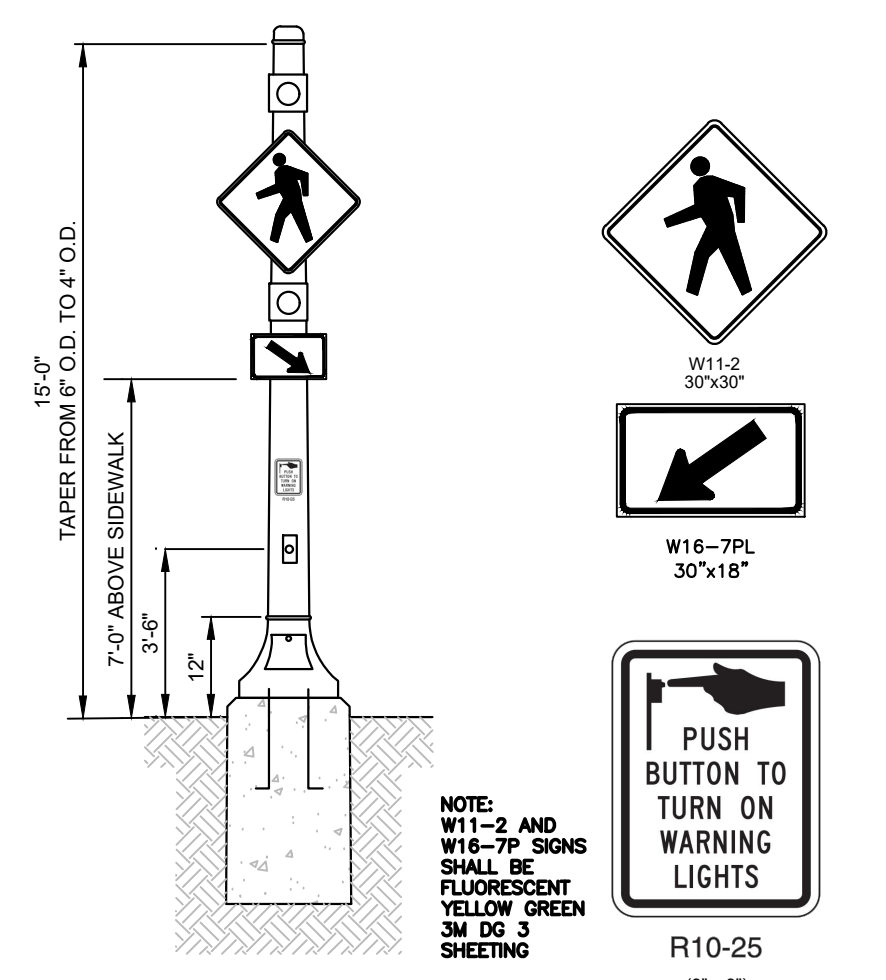
**9"x 20" CONCRETE VERTICAL CURB (WITHIN ROW)**  
NOT TO SCALE



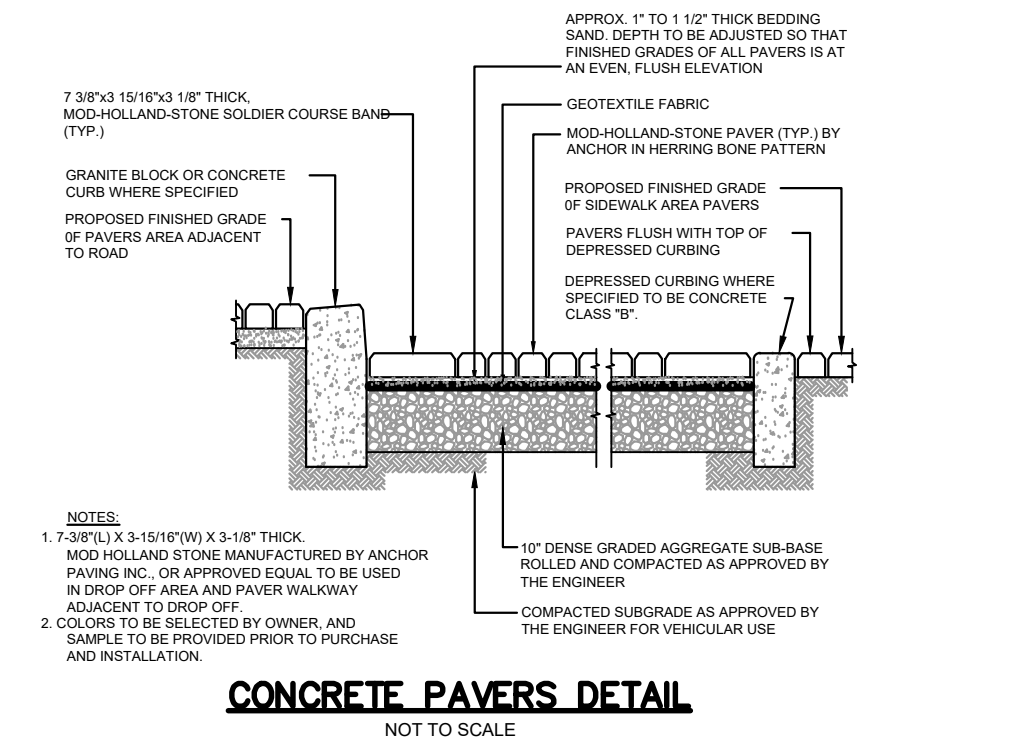
**CONCRETE CURB AND PAVEMENT REPLACEMENT DETAIL**  
NOT TO SCALE



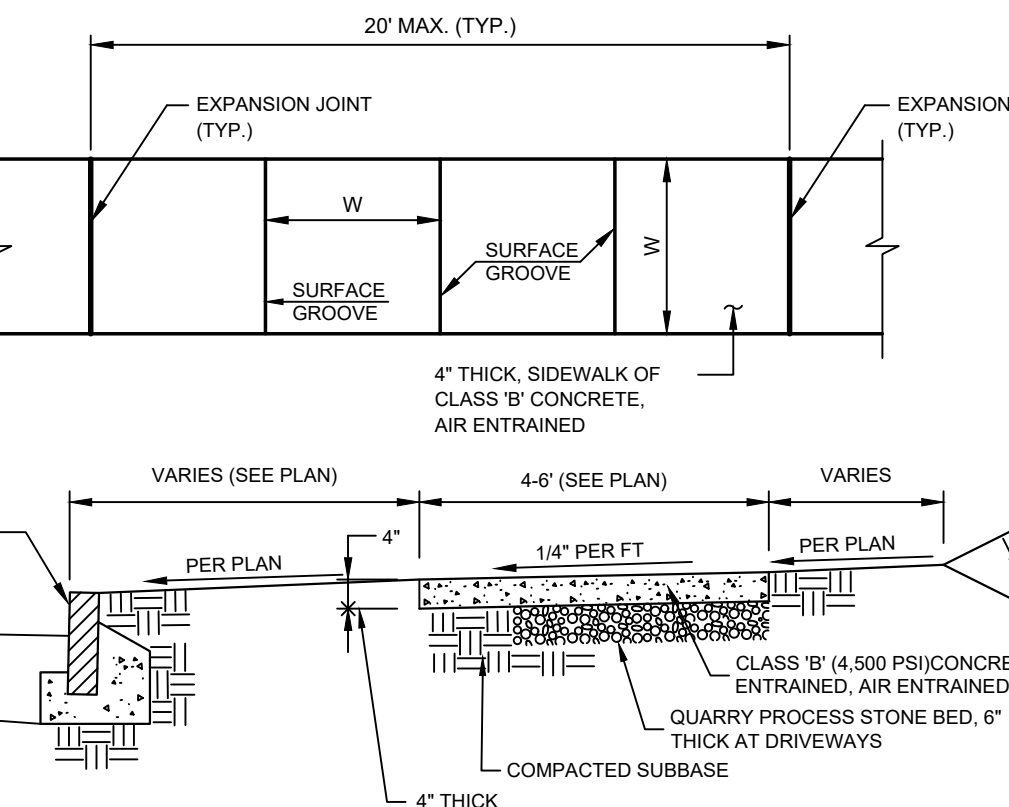
**TYPICAL HAIRPIN PARKING STRIPING**  
NOT TO SCALE



**PEDESTRIAN FLASHING SIGNAL BEACON-ELECTRIC 120V**  
NOT TO SCALE

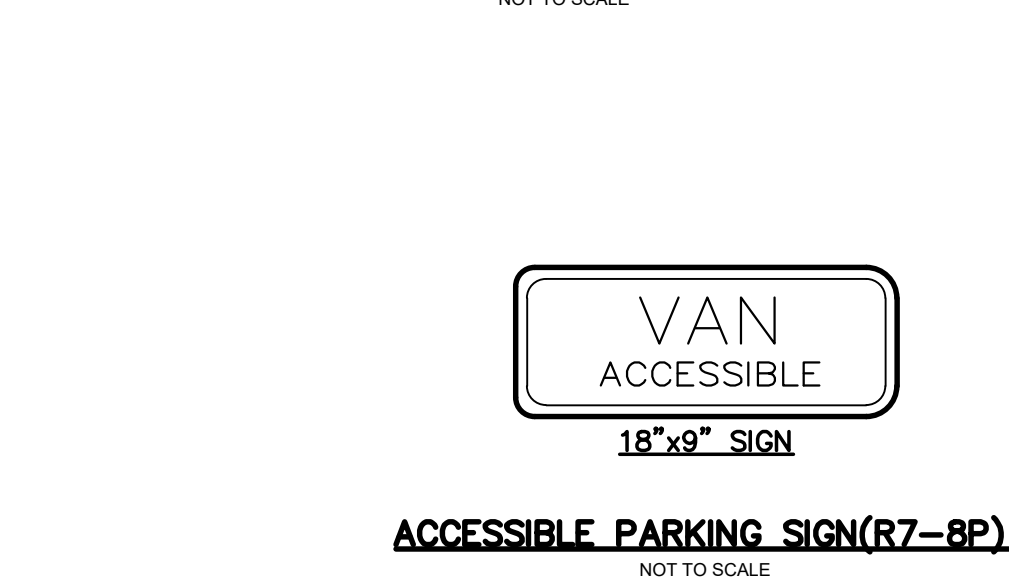


**CONCRETE PAVERS DETAIL**  
NOT TO SCALE

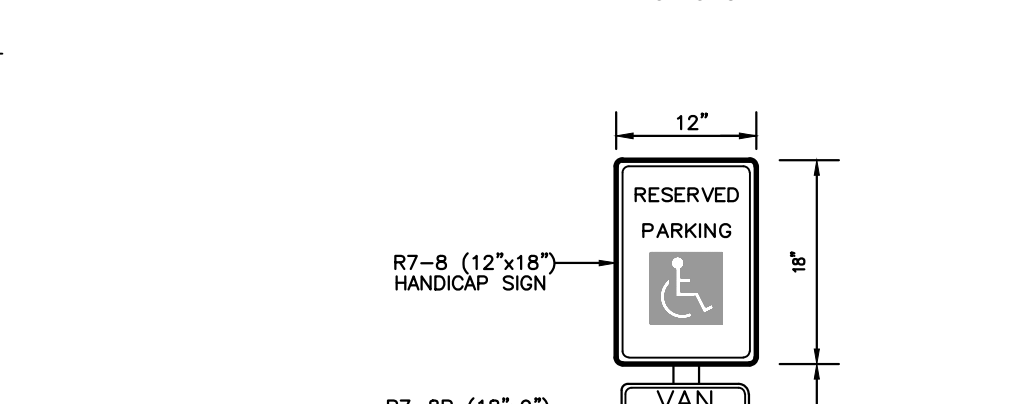


**DETAIL OF STANDARD CONCRETE SIDEWALK**  
NOT TO SCALE

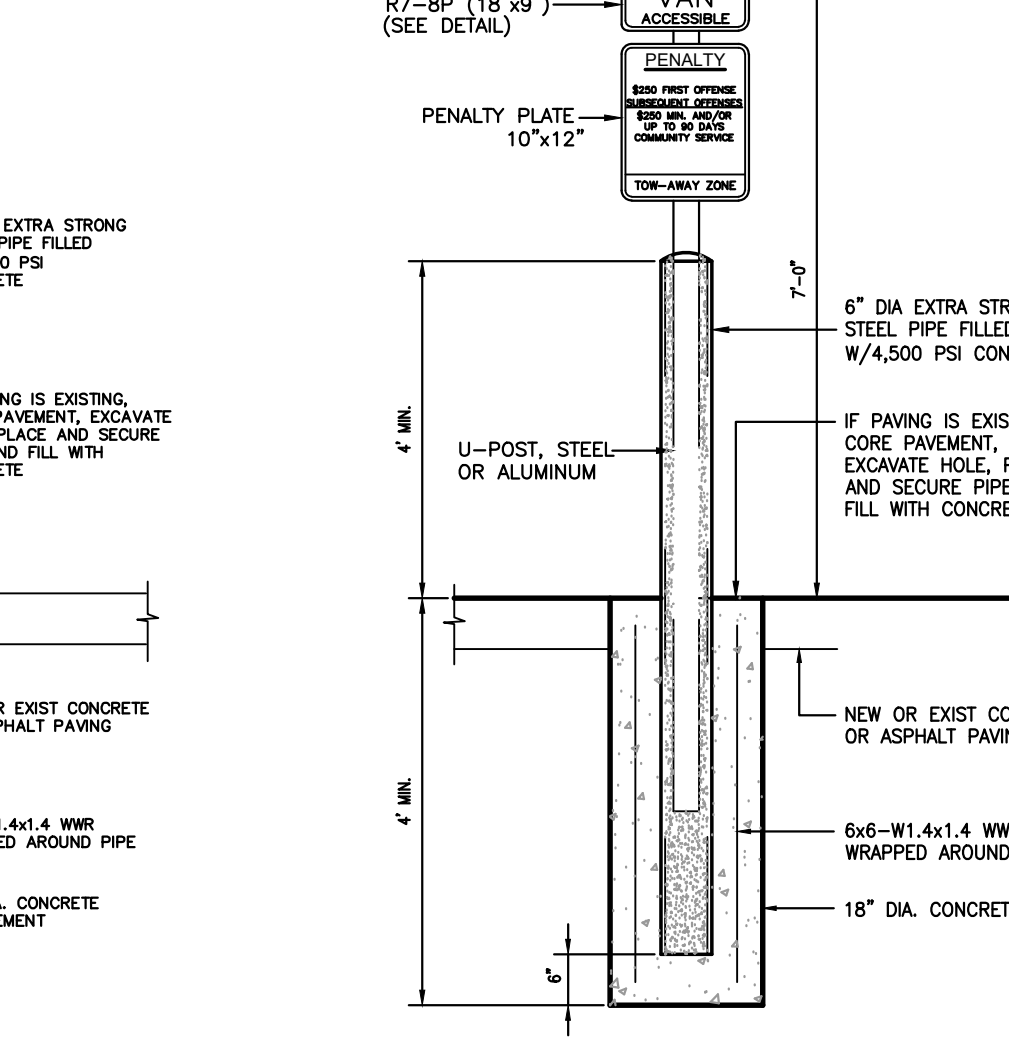
- NOTES:**
- SUBBASE SHALL BE COMPACTED TO A FIRM AND EVEN SURFACE TO THE SATISFACTION OF THE ENGINEER.
  - ALL CONCRETE SHALL BE AIR-ENTRAINED AND CONTAIN AN AIR CONTENT OF 6% ± 1.5%.
  - CONCRETE SHALL BE STRUCK OFF WITH A TRANSVERSE TEMPLATE AND FINISHED WITH FLOATS AND STRAIGHTENEDS UNTIL A SMOOTH SURFACE HAS BEEN OBTAINED.
  - THE SURFACE SHALL BE FINISHED WITH A WOODEN FLOAT AND BRUSHED WITH A WET, SOFT-HAIRED BRUSH.
  - ALL EDGES SHALL BE FINISHED AND ROUNDED WITH AN EDGING TOOL HAVING A RADIUS OF 1/4 INCH.
  - PREFORMED EXPANSION JOINT FILLER, 1/4 INCH THICK, SHALL BE FORMED AROUND ALL APPURTENANCES, SUCH AS MANHOLES AND UTILITY POLES, EXTENDING INTO OR THROUGH THE CONCRETE.
  - THE SURFACE OF THE CONCRETE SHALL BE SO FINISHED AS TO DRAIN COMPLETELY AT ALL TIMES.
  - ALL SIDEWALK ABUTTING HEAD-ON PARKING SHALL BE 6 FT WIDE.



**ACCESSIBLE PARKING SIGN (R7-8P)**  
NOT TO SCALE



**SIGN POST DETAIL**  
NOT TO SCALE



**STEEL PIPE BOLLARD DETAIL**  
NOT TO SCALE

DATE: 03/27/2020  
 REVISION: 1  
 REVISION: 2  
 REVISION: 3  
 REVISION: 4  
 REVISION: 5  
 REVISION: 6  
 REVISION: 7  
 REVISION: 8  
 REVISION: 9  
 REVISION: 10  
 REVISION: 11  
 REVISION: 12  
 REVISION: 13  
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 REVISION: 18  
 REVISION: 19  
 REVISION: 20

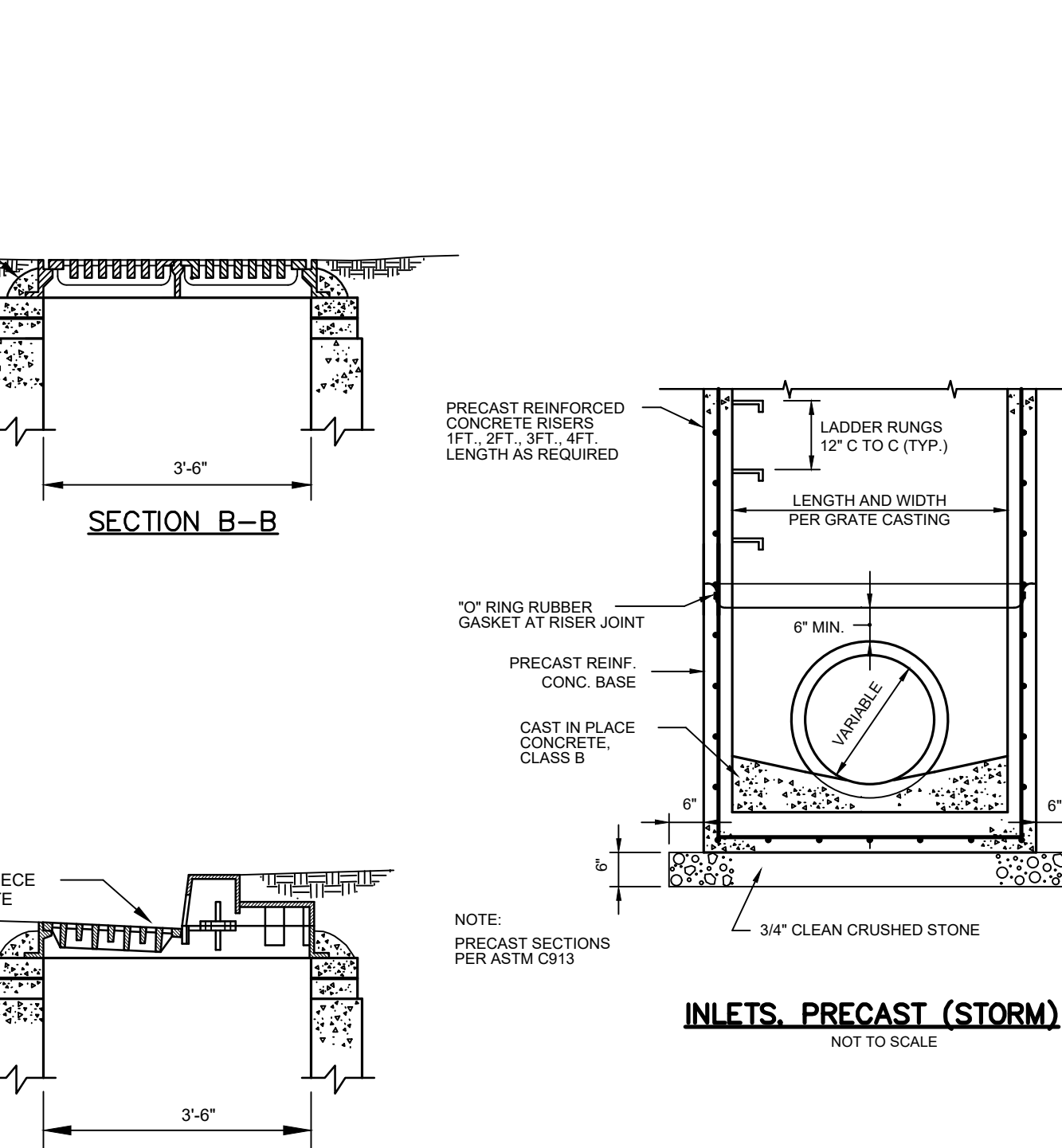
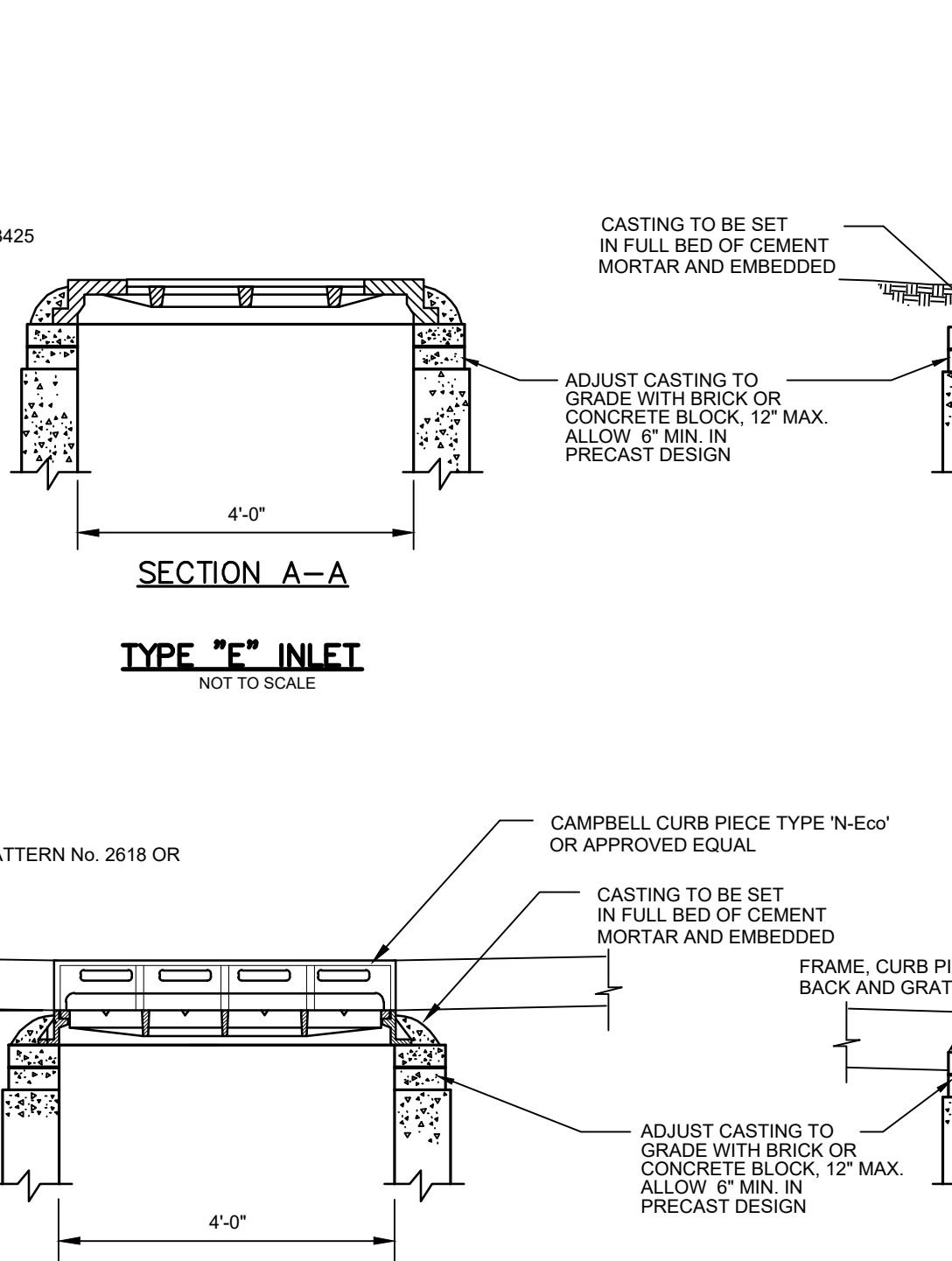
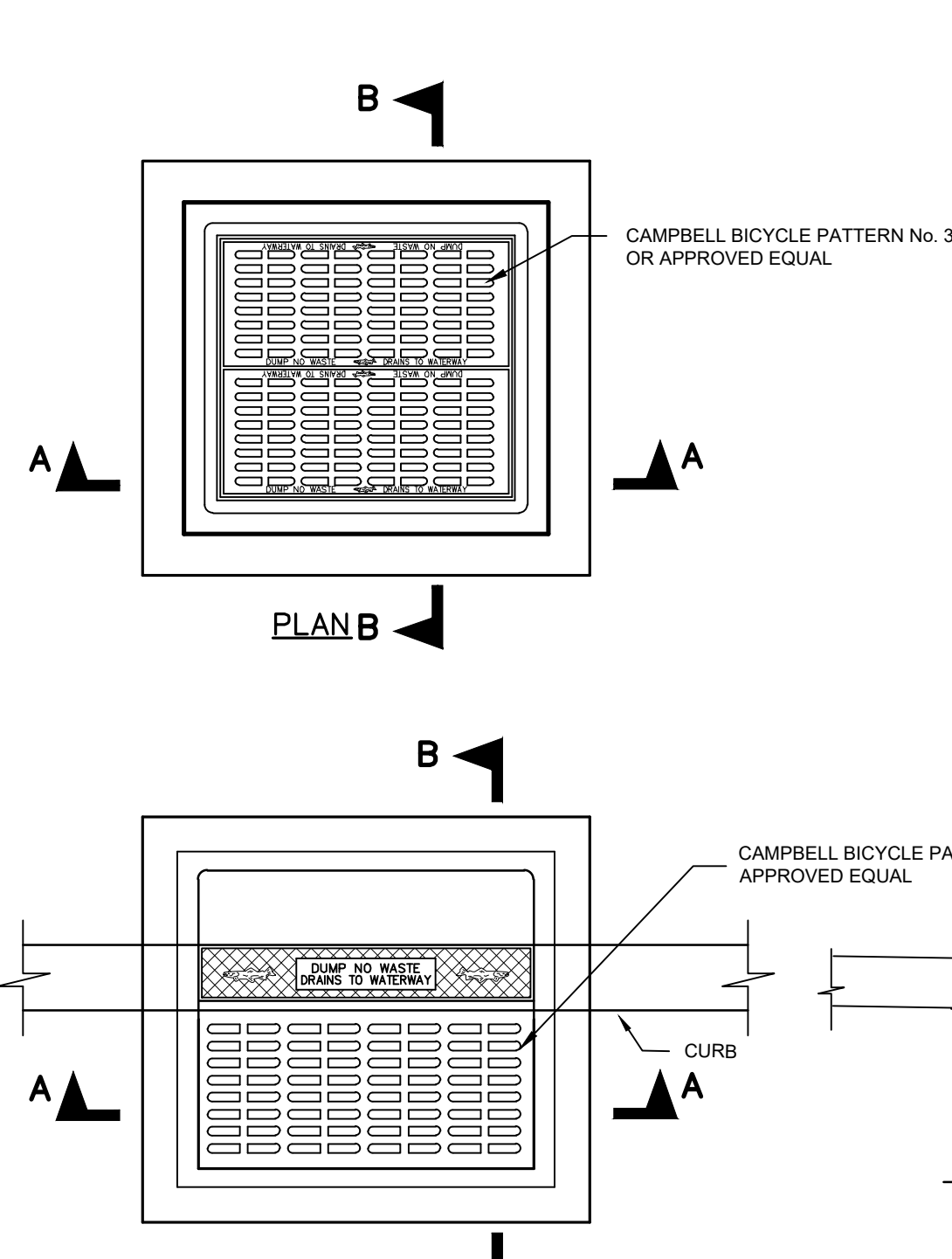
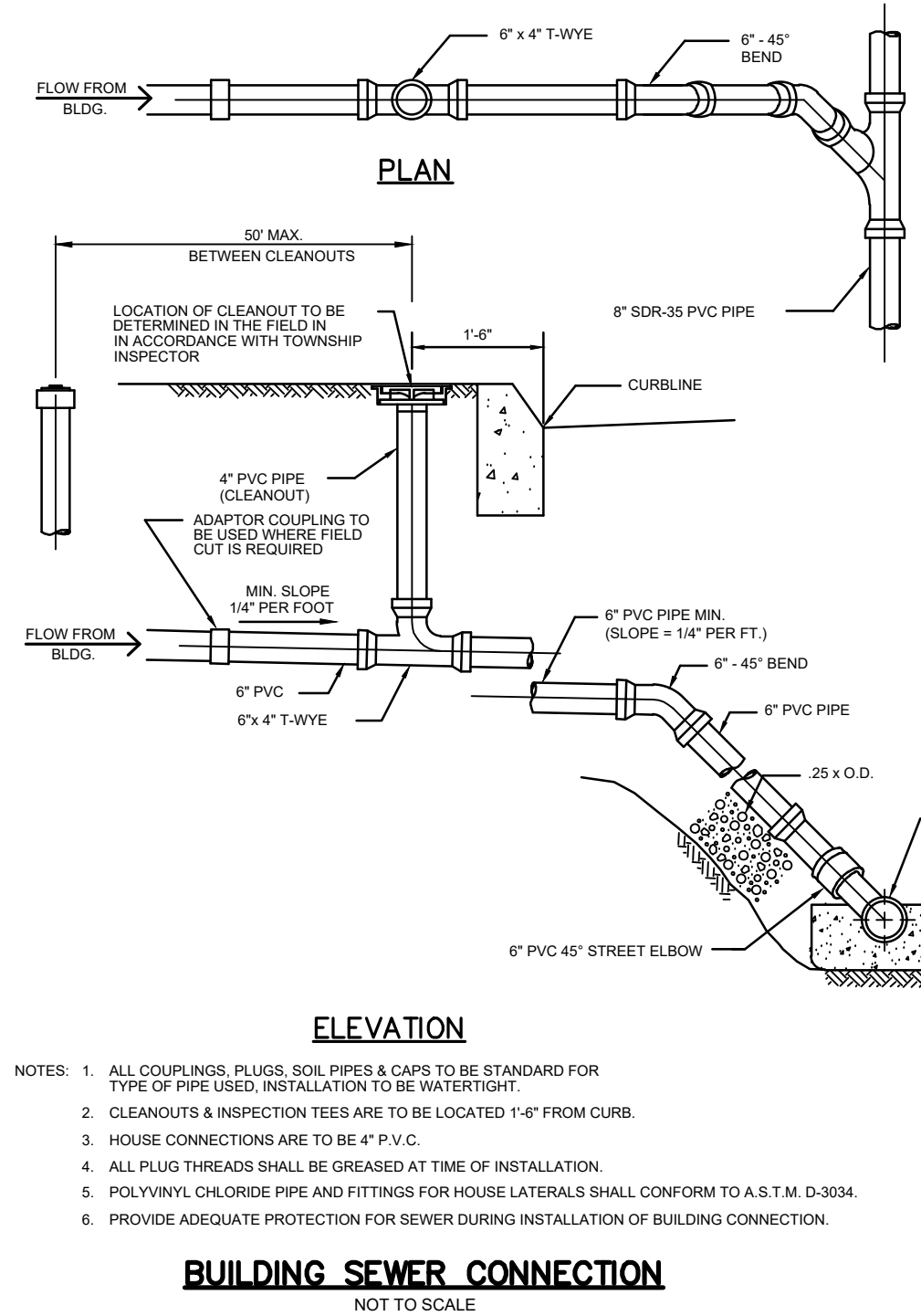
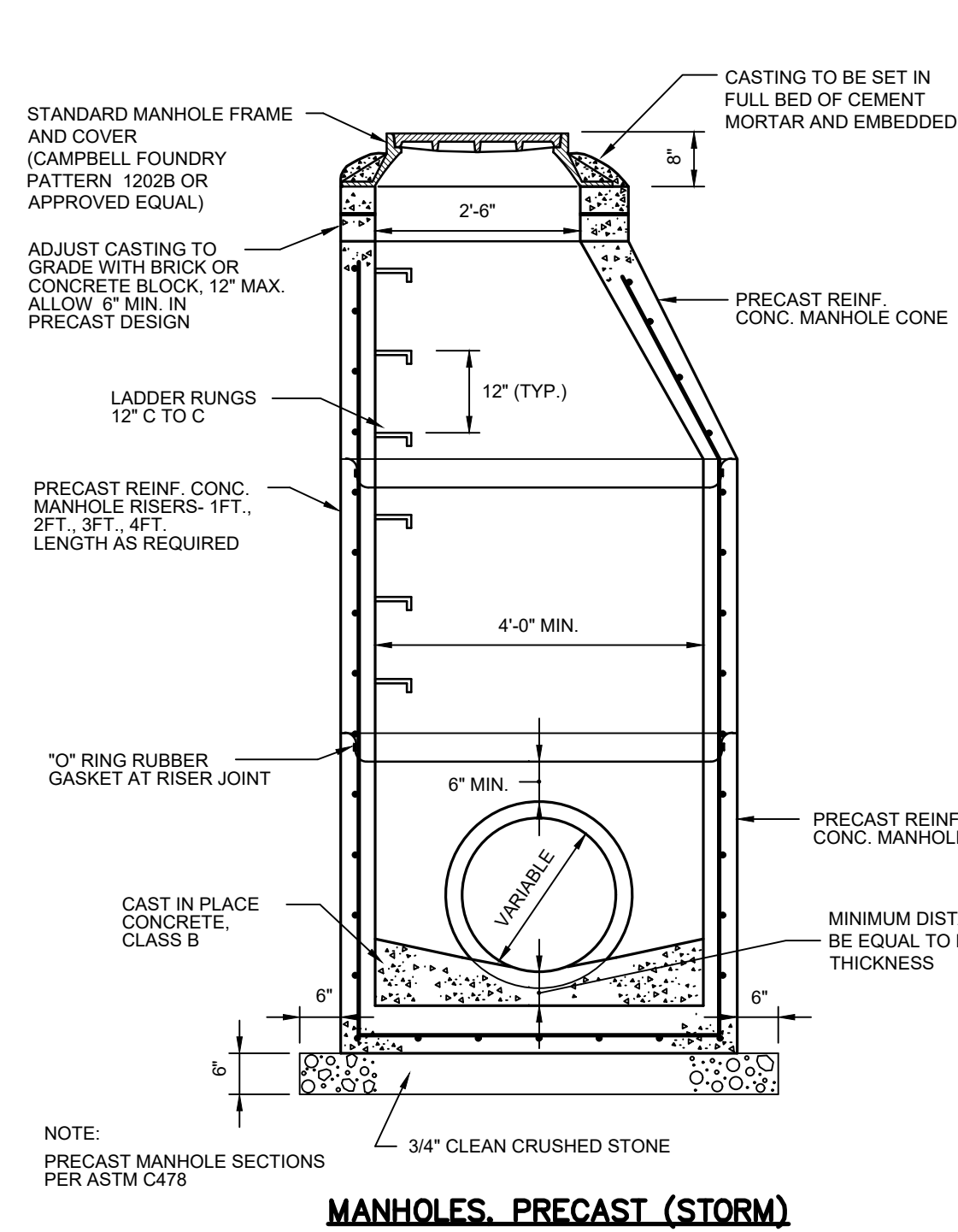
**Bowman CONSULTING**  
 Phone: 732-696-5000  
 Fax: 732-696-5001  
 Website: www.bowmanconsulting.com  
 Email: NJ@BowmanConsulting.com

GEORGEY R. LANZA, N.J. Professional Engineer, Lic. 24620E09000

PRELIMINARY AND FINAL SURVEYING & PRELIMINARY & FINAL SITE PLAN FOR  
 PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL, RESTAURANT, & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
**CONSTRUCTION DETAILS**  
 BLOCK 6, LOTS 12-01, AND 12-02, BLOCK 003, LOT 12-02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No. **45** OF **49**

1.08823A(08)323-C-001 (ENG) - RCP Manhole Rev. West Windsor Engineering Plans (Revised layout) CAD.dwg 3/17/24 03:51:42PM, cormail\_LAYOUT:3/17/24



- INLET & MANHOLE NOTES
1. SANITARY SYSTEM TO BE FIELD TESTED IN ACCORDANCE WITH TOWNSHIP REQUIREMENTS
2. PRECAST INLETS ARE TO BE CONSTRUCTED PER ASTM C913 AND PRECAST MANHOLES ARE TO BE CONSTRUCTED PER ASTM C478. FOUNDATIONS FOR PRECAST INLETS AND MANHOLES SHALL BE PLACED ON A 6" THICK BED OF COMPACTED CORSE AGGREGATE...

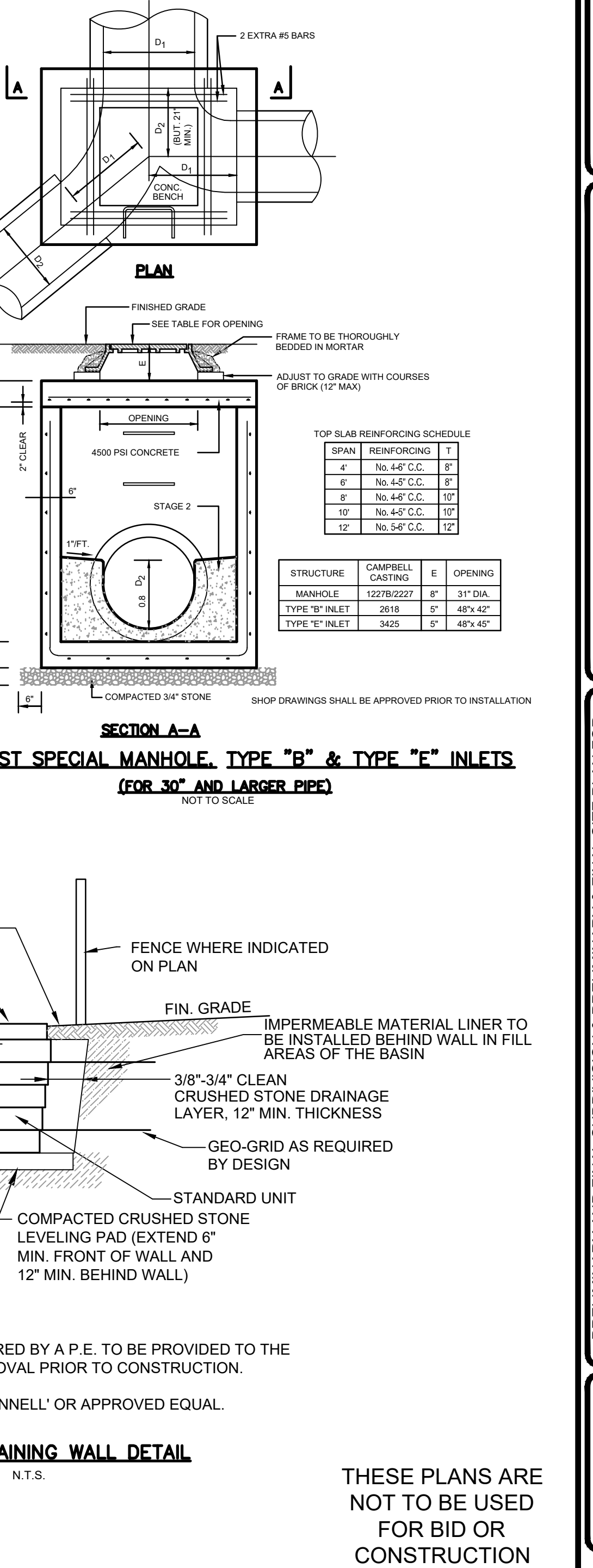
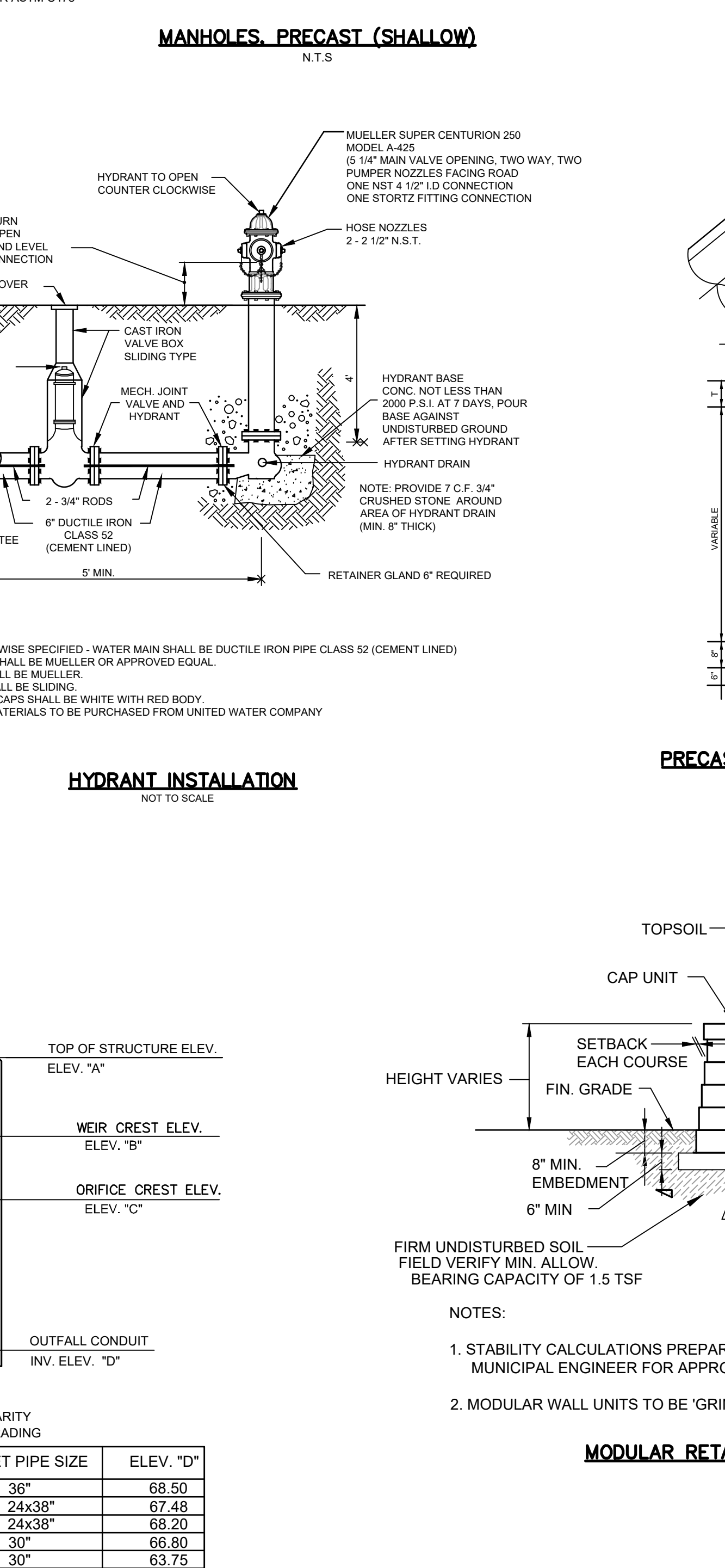
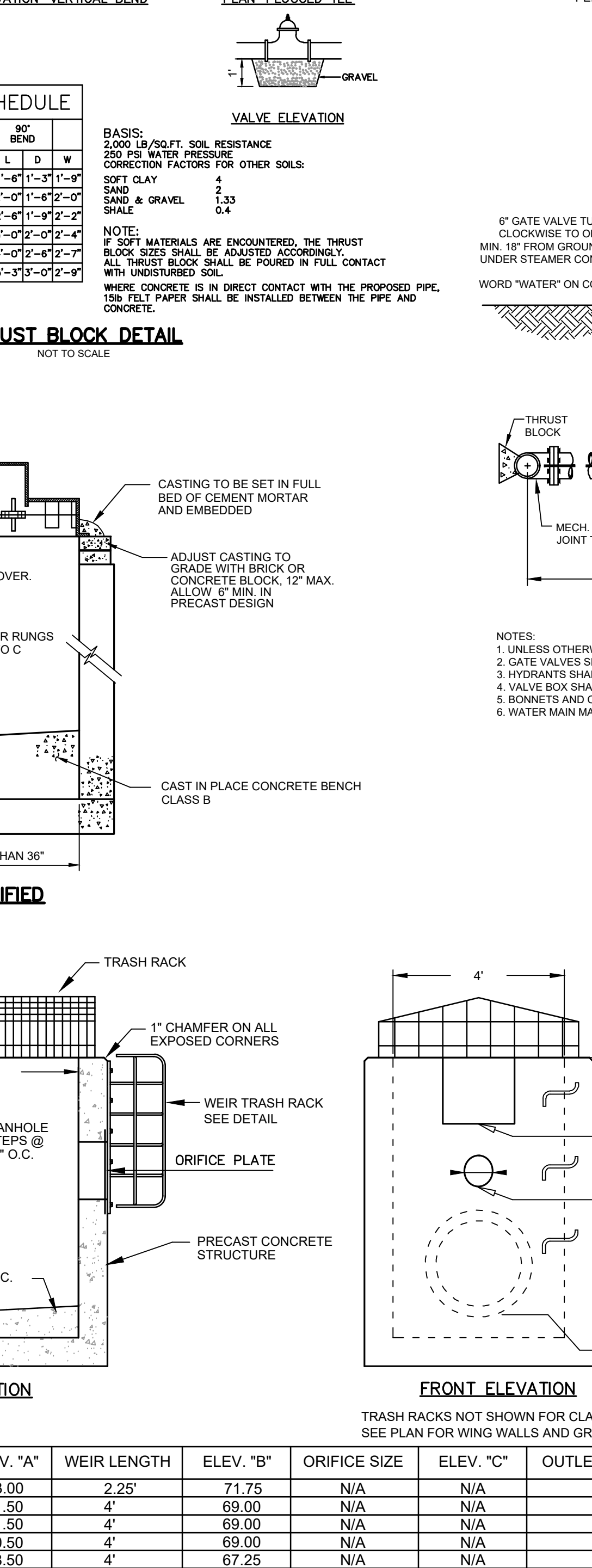
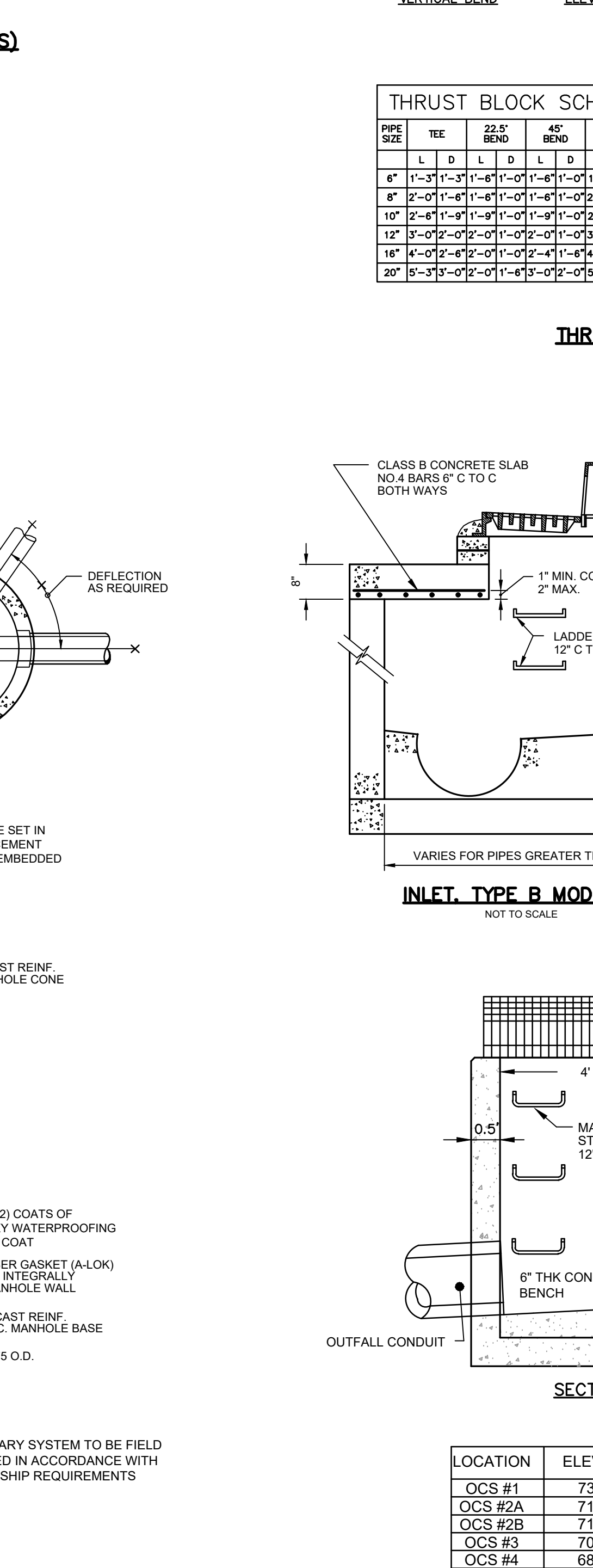
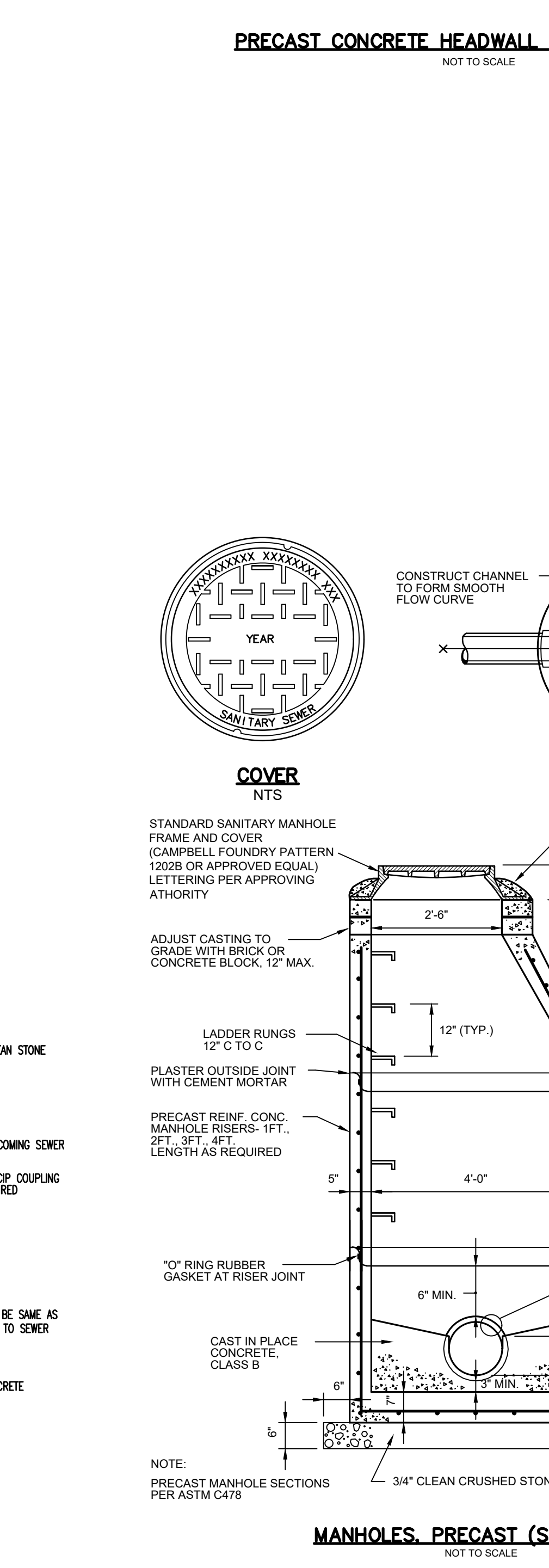
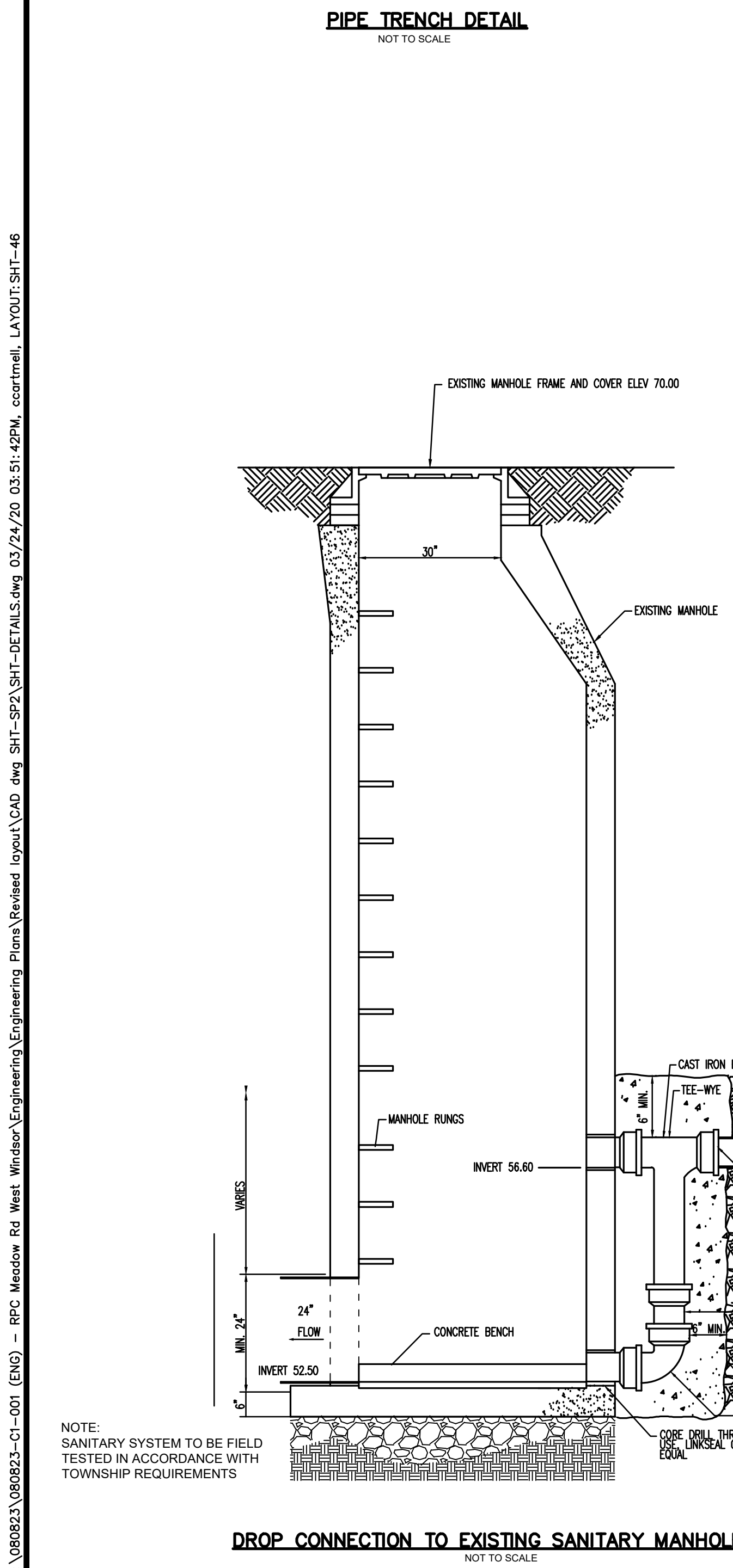
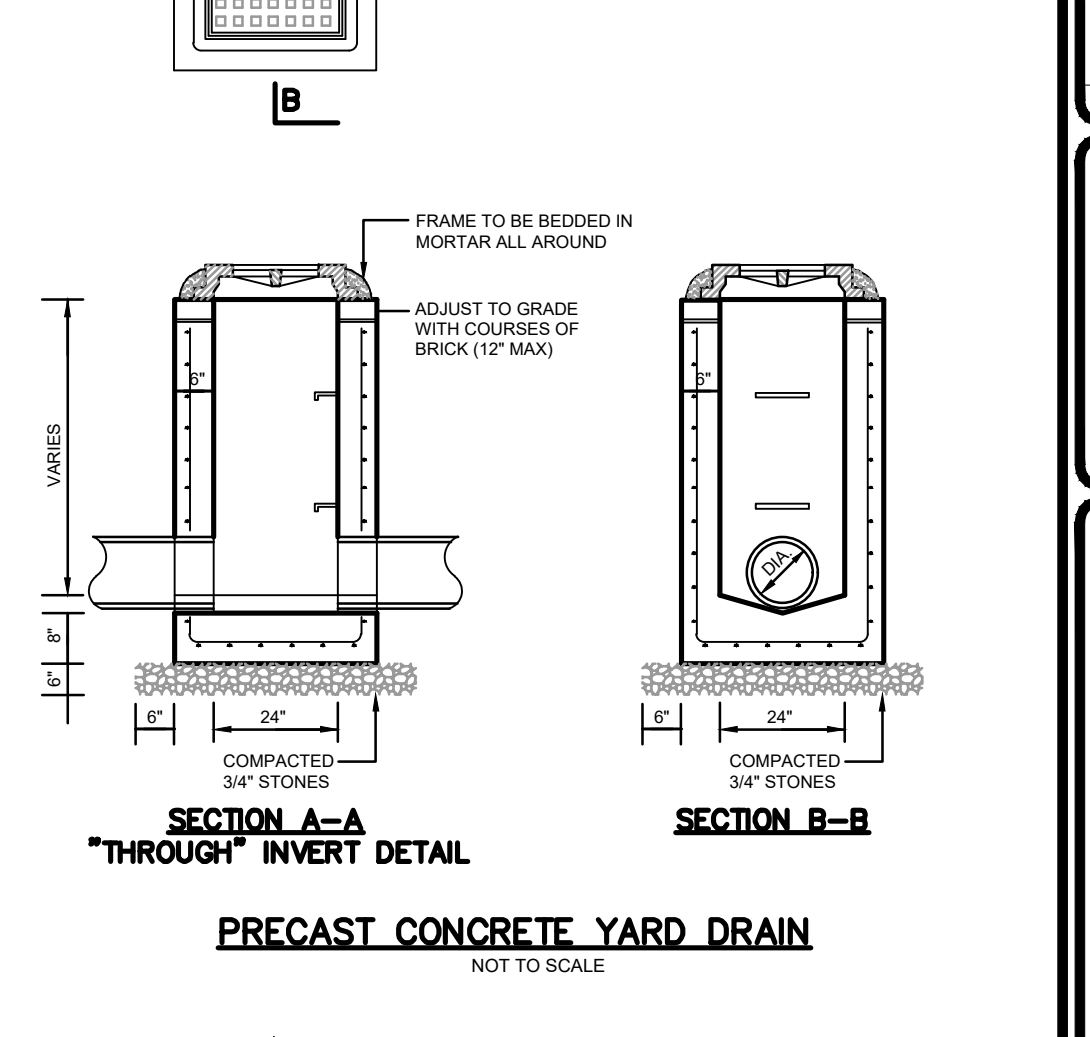
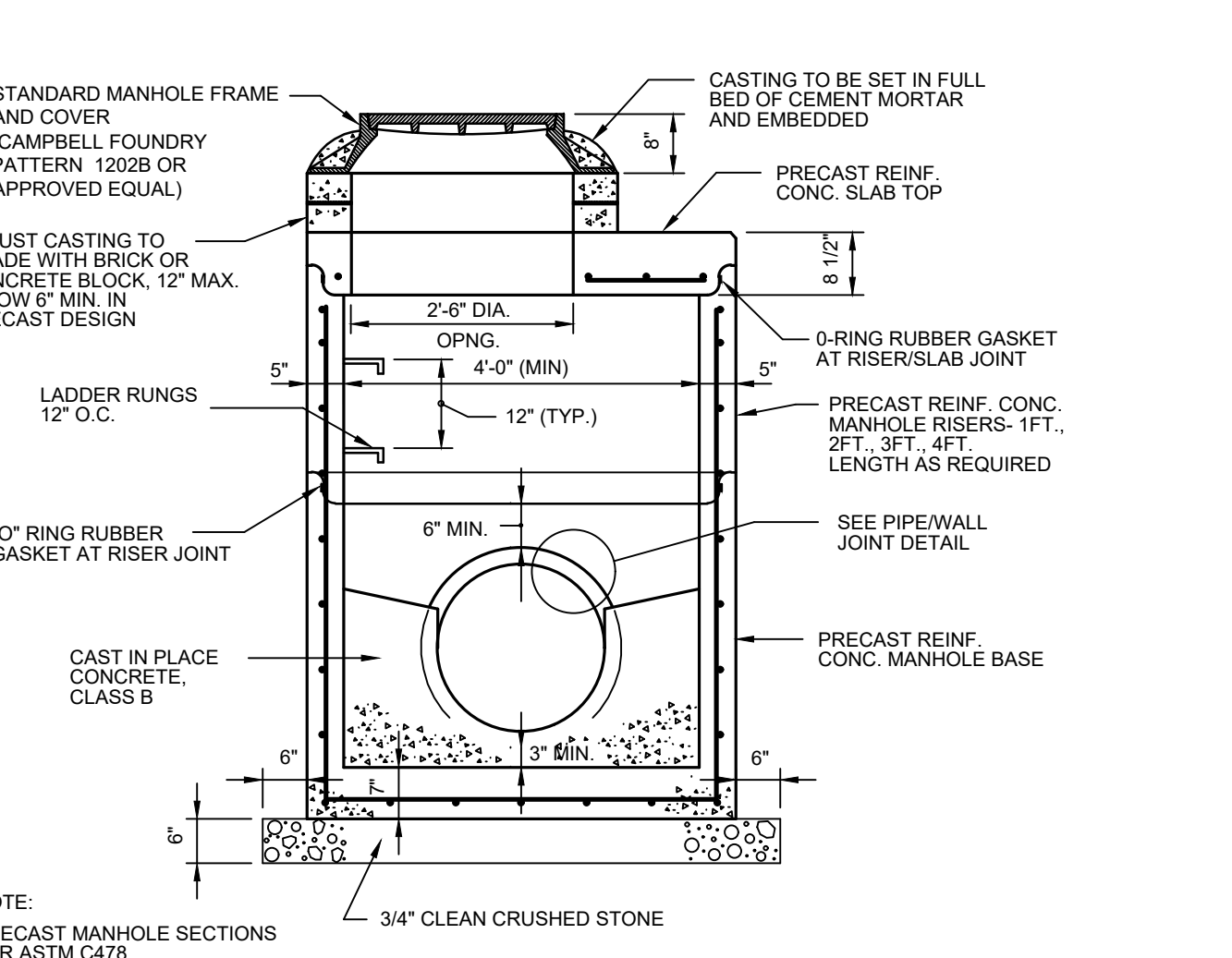
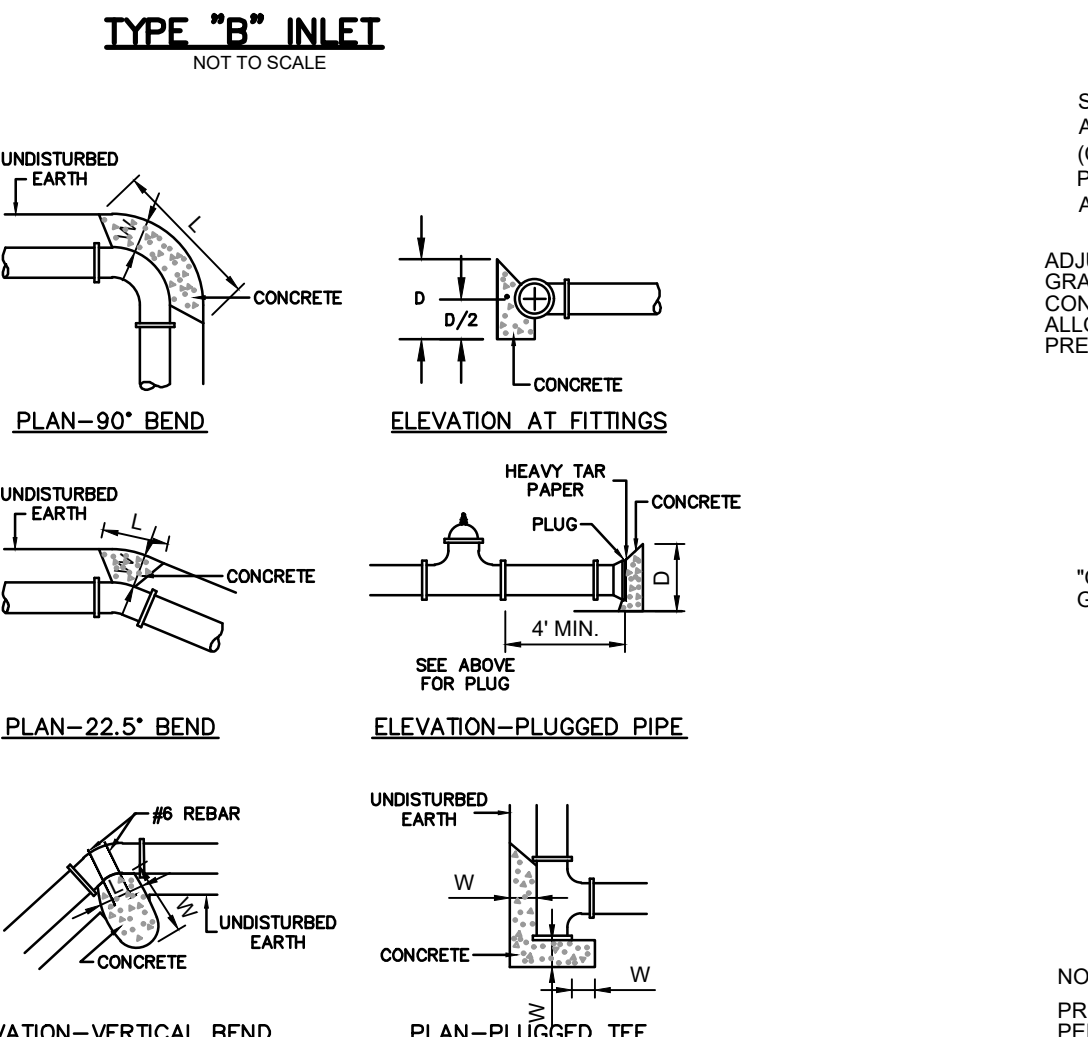
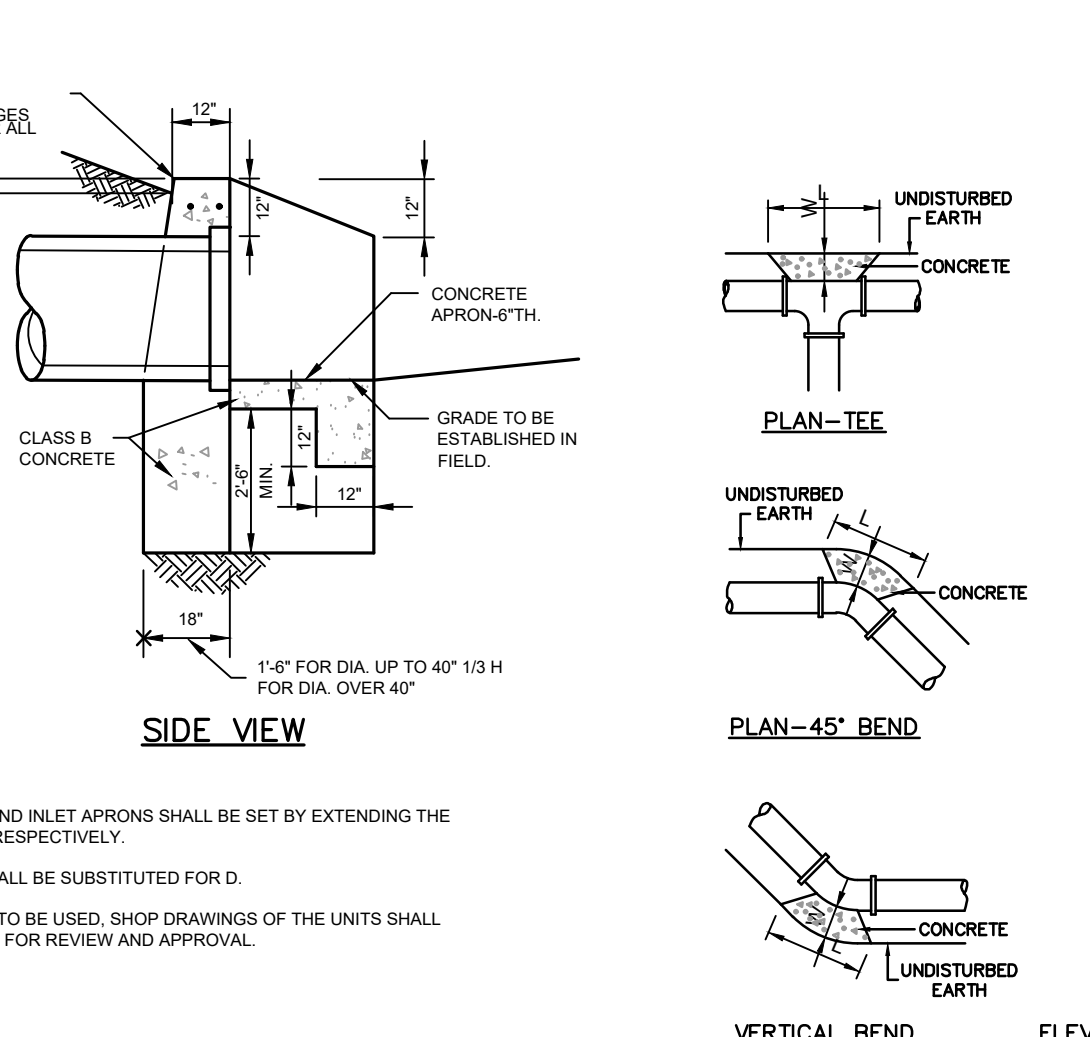
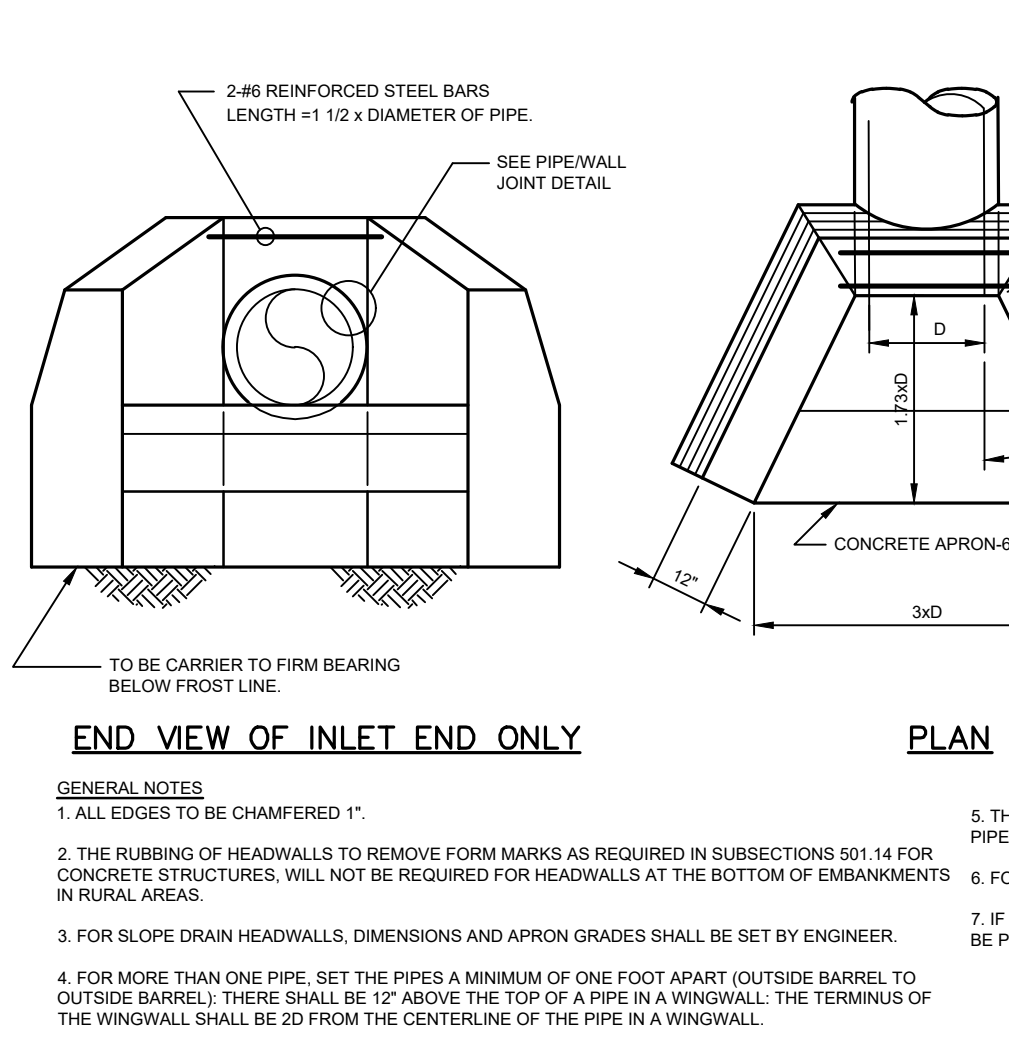
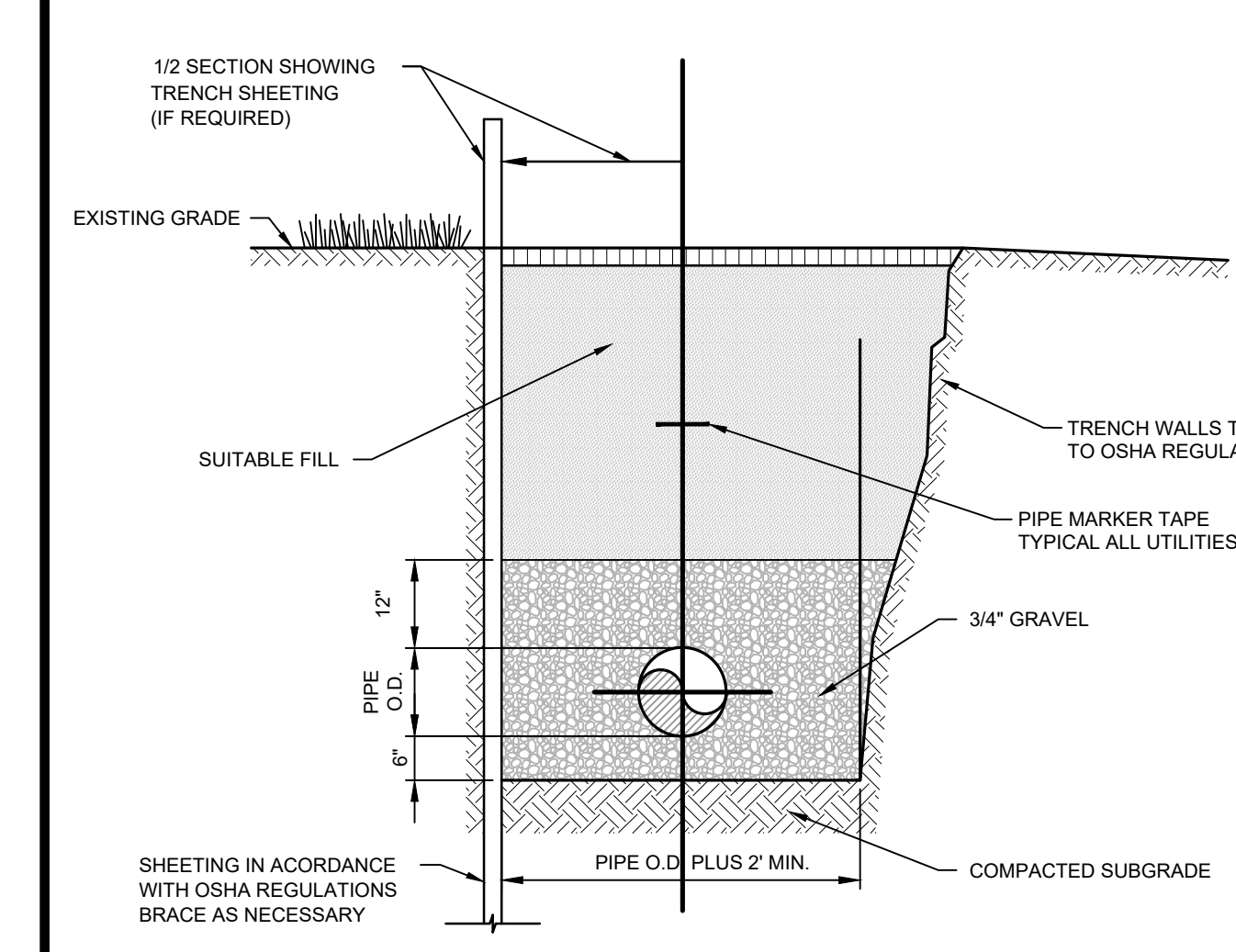
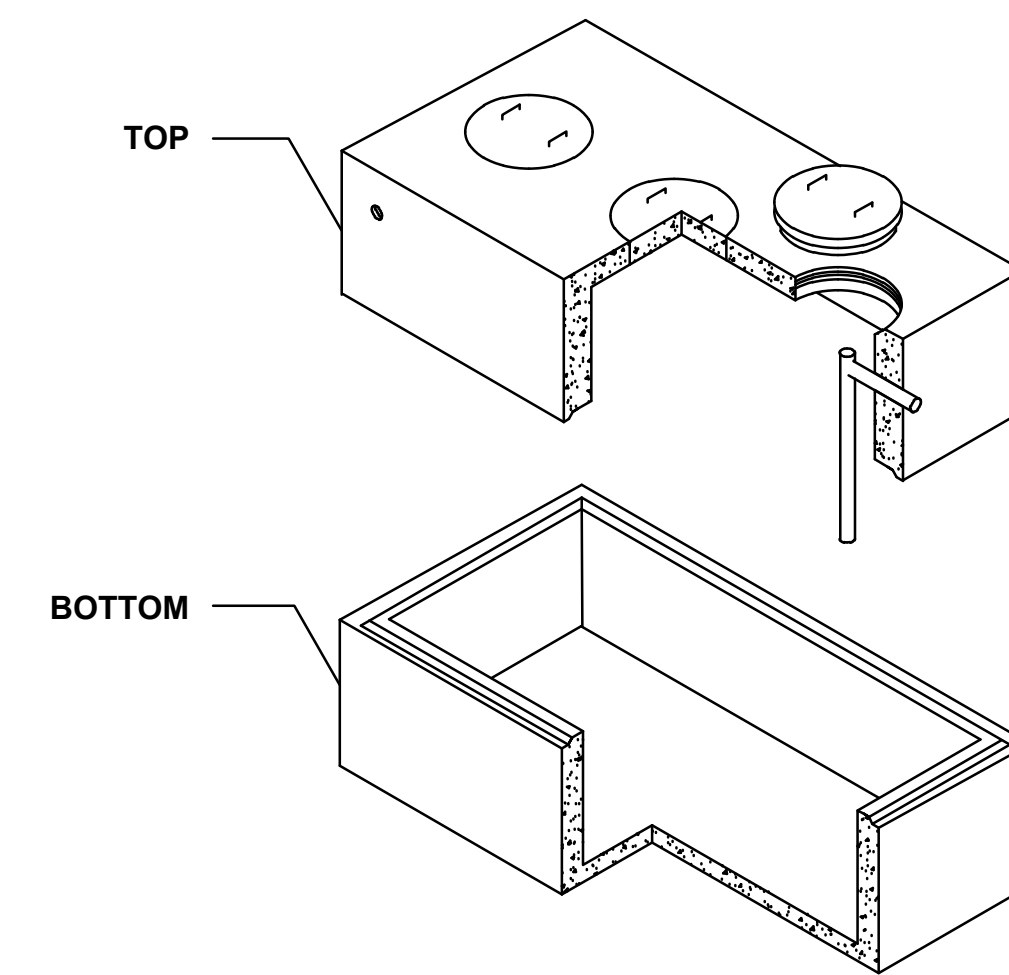


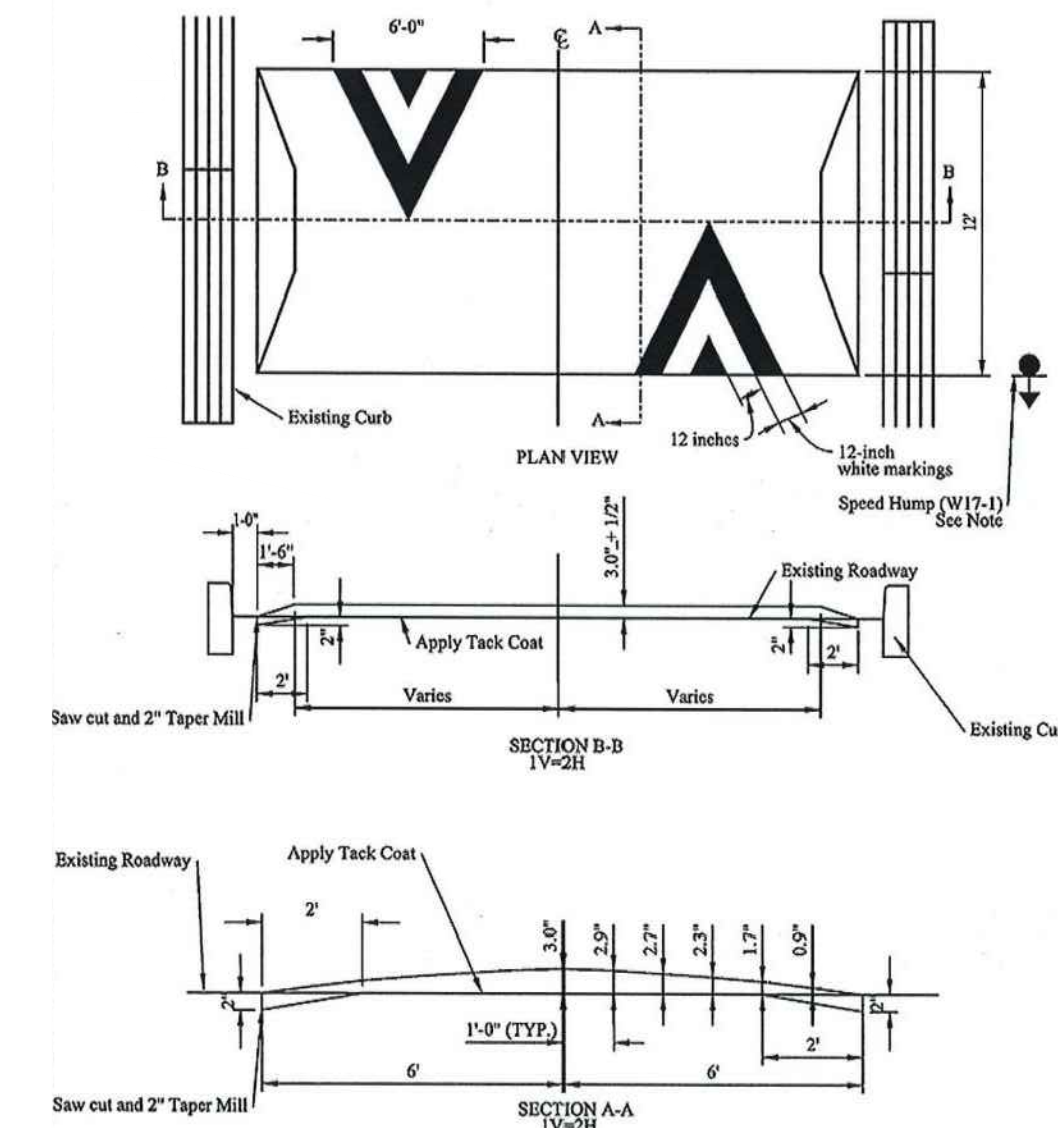
Table with columns: LOCATION, ELEV. 'A', WEIR LENGTH, ELEV. 'B', ORIFICE SIZE, ELEV. 'C', OUTLET PIPE SIZE, ELEV. 'D'. Rows include OCS #1, OCS #2A, OCS #2B, OCS #3, OCS #4.

Professional Engineer information for Geoffrey R. Lanza, N.J. Professional Engineer No. 241603880. Includes Bowman Consulting logo and contact details.



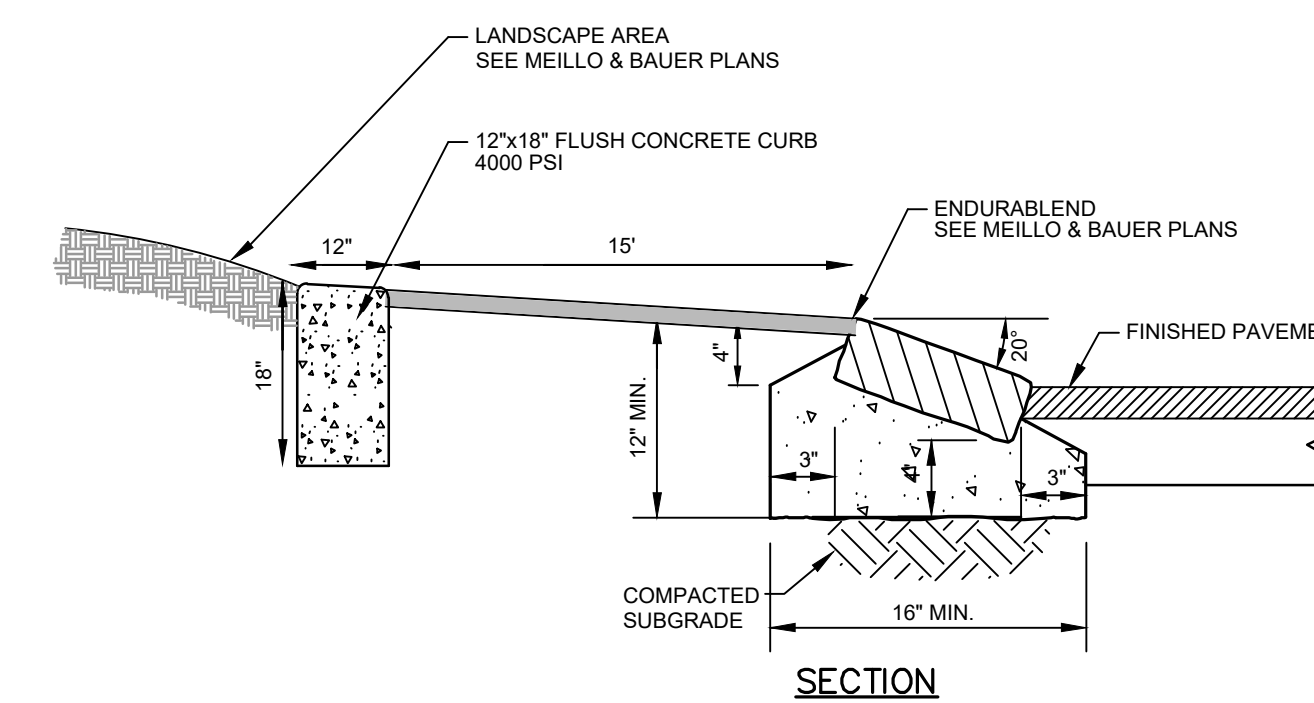
GREASE INTERCEPTOR 1,500 GALLON CAPACITY: GT1500 (5'x5x10')  
 &  
 GREASE INTERCEPTOR 2,500 GALLON CAPACITY: GT2500 (6'x6x14')  
 SEE PLAN FOR LOCATIONS AT HOTEL & RESTAURANT  
 AS MANUFACTURED BY OLD CASTLE PRECAST OR APPROVED EQUAL

**GREASE INTERCEPTOR**  
 NOT TO SCALE

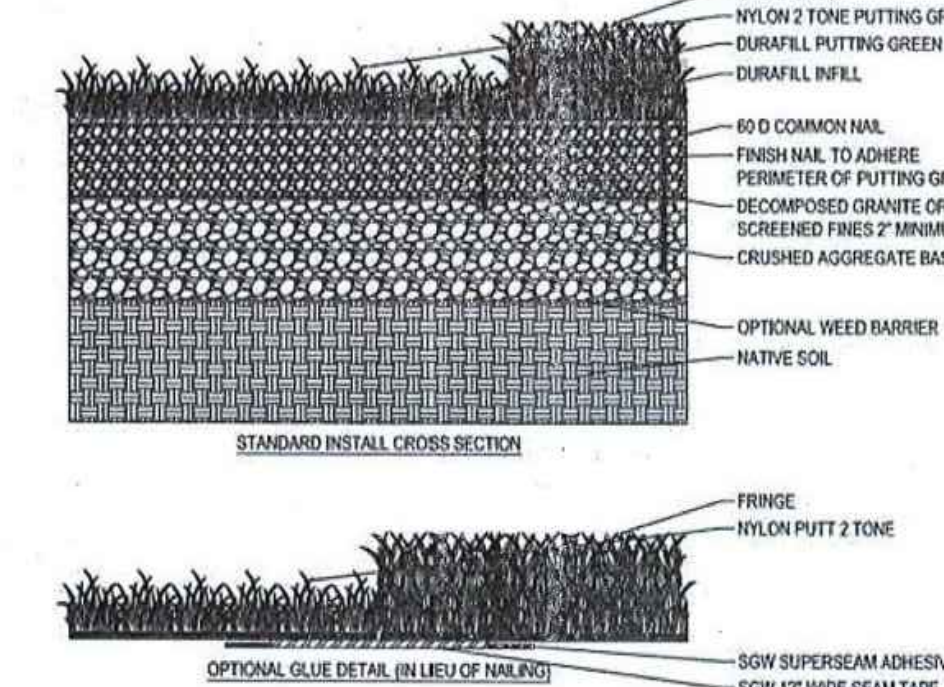


NOTES:  
 ALL FINISHING AND STRIPING SHALL CONFORM TO THE LATEST EDITION OF THE MUTCD.

**SPEED HUMP**  
 NOT TO SCALE



**MOUNTABLE GRANITE BLOCK CURB SECTION @ ROUNDABOUT**  
 NOT TO SCALE



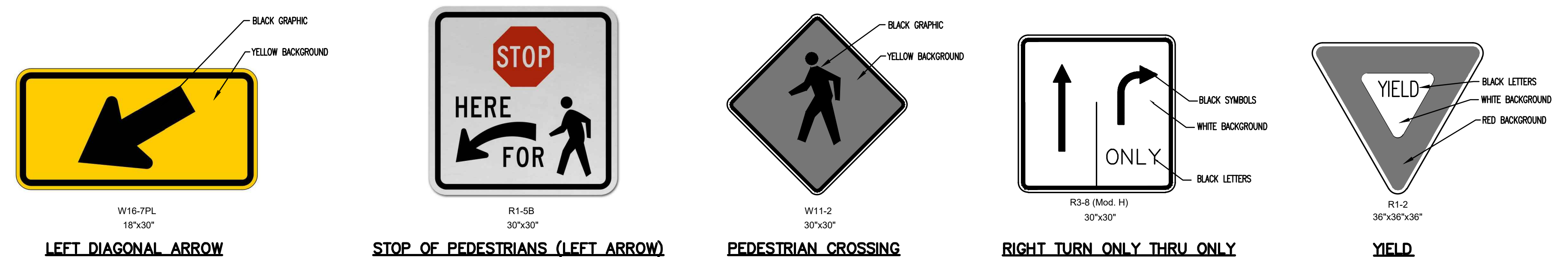
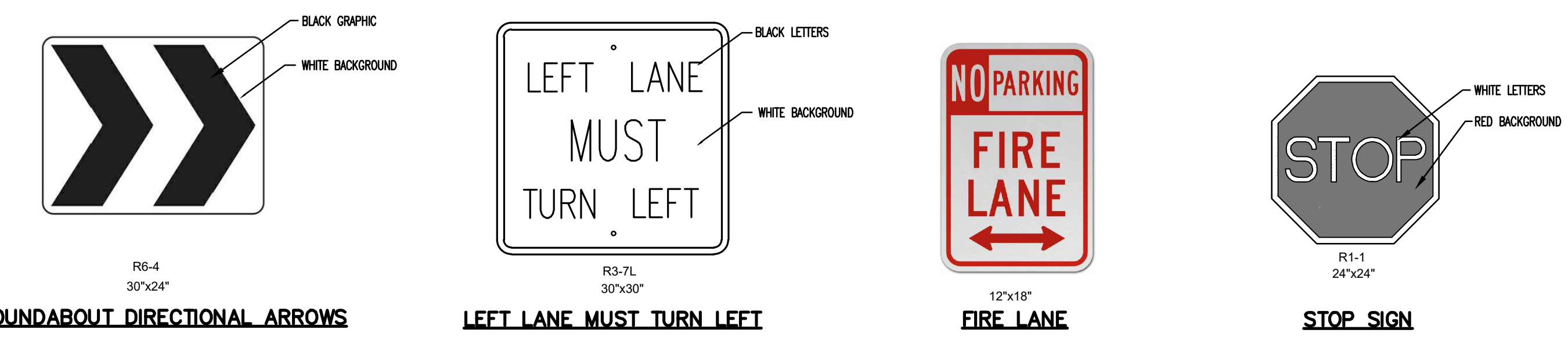
SPECIFICATIONS:  
 BRAND: TIGER EXPRESS  
 MODEL: NYLON PUTT 2 TONE  
 RECOMMENDED USE: PUTTING GREEN  
 YARN COLOR: FIELD GREEN / LIME GREEN  
 YARN TYPE: TEXTURIZED NYLON

YARN COMPOSITION: N/A  
 TWARX COLOR: N/A  
 YARN NUMBER: 400  
 FACE WEIGHT: APPROX. 34 OZ/YD  
 TOTAL WEIGHT: 45 OZ/YD  
 PILE HEIGHT: APPROX. 1/2" GAUGE: 3/16"

ROLL WIDTH: 15'  
 ROLL LENGTH: 100'  
 ROLL WEIGHT: 577 LB  
 WEIGHT/SQ FT: 45 LB  
 RECOMMENDED INFILL: PUTTING GREEN LUSIF  
 FRINGE TURF 2 TO 3 LB/SQ

NOTES:  
 1. INSTALLATION TO BE COMPLETED IN ACCORDANCE WITH MANUFACTURER'S SPECIFICATIONS.  
 2. DO NOT SCALE DRAWING.  
 3. THIS DRAWING IS INTENDED FOR USE BY ARCHITECTS, ENGINEERS, CONTRACTORS, CONSULTANTS AND DESIGN PROFESSIONALS FOR PLANNING PURPOSES ONLY. THIS DRAWING MAY NOT BE USED FOR CONSTRUCTION.  
 4. ALL INFORMATION CONTAINED HEREIN WAS CURRENT AT THE TIME OF DEVELOPMENT BUT MUST BE REVIEWED AND APPROVED BY THE PRODUCT MANUFACTURER TO BE CONSIDERED ACCURATE.  
 5. CONTRACTOR'S NOTE FOR PRODUCT AND COMPANY INFORMATION VISIT: [www.CADdetail.com/nylons](http://www.CADdetail.com/nylons) AND ENTER REFERENCE NUMBER 609-011.

**PUTTING GREEN**  
 NOT TO SCALE



**TRAFFIC CONTROL SIGNS**  
 NOT TO SCALE

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

NO.	REVISION	DATE	BY
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PROJ: 08823-C1-001  
 CHD: GR

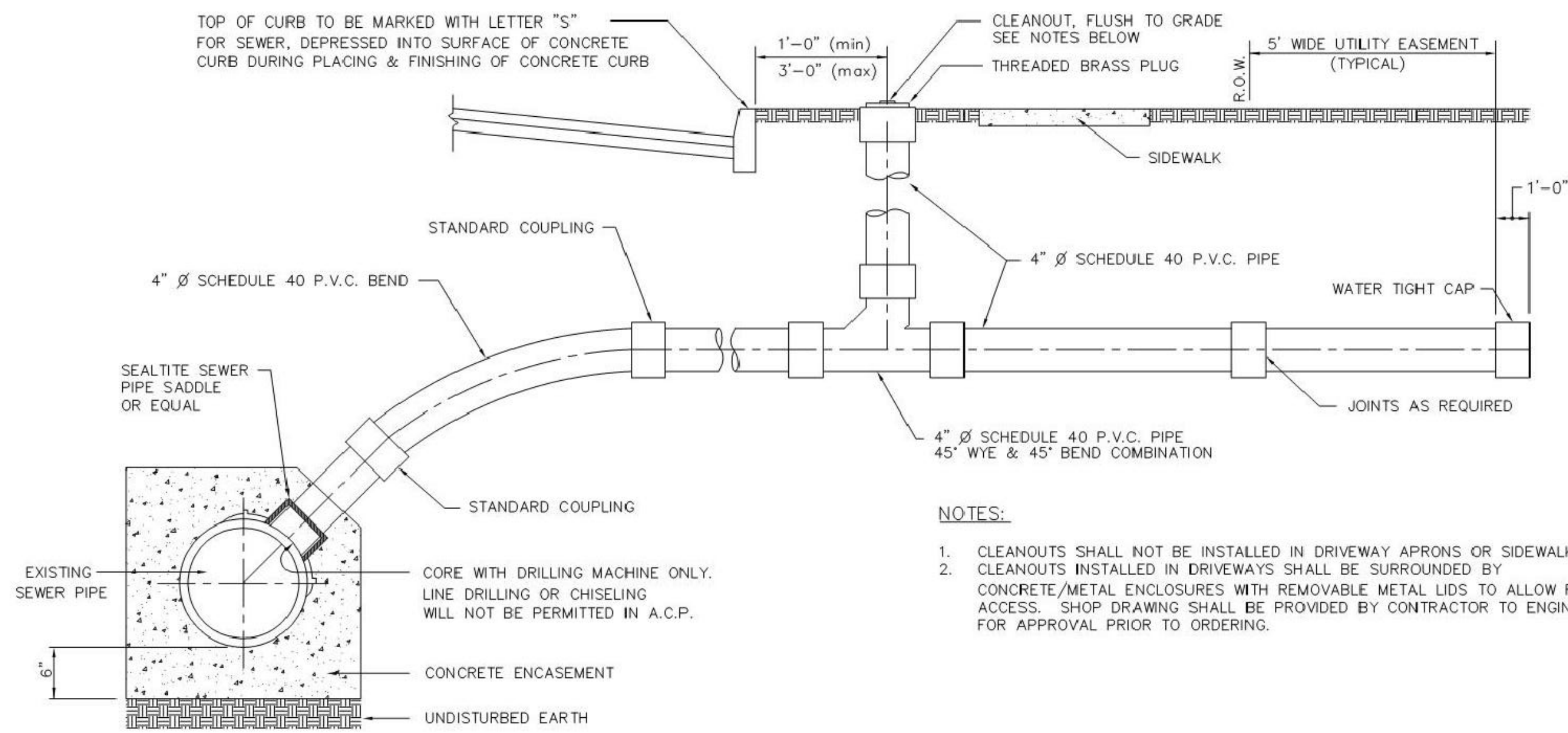


Bowman Consulting Group, Ltd.  
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Geoffrey R. Lanza, P.E.  
 Geoffrey R. Lanza, N.J. Professional Engineer Lic. 24CE008800

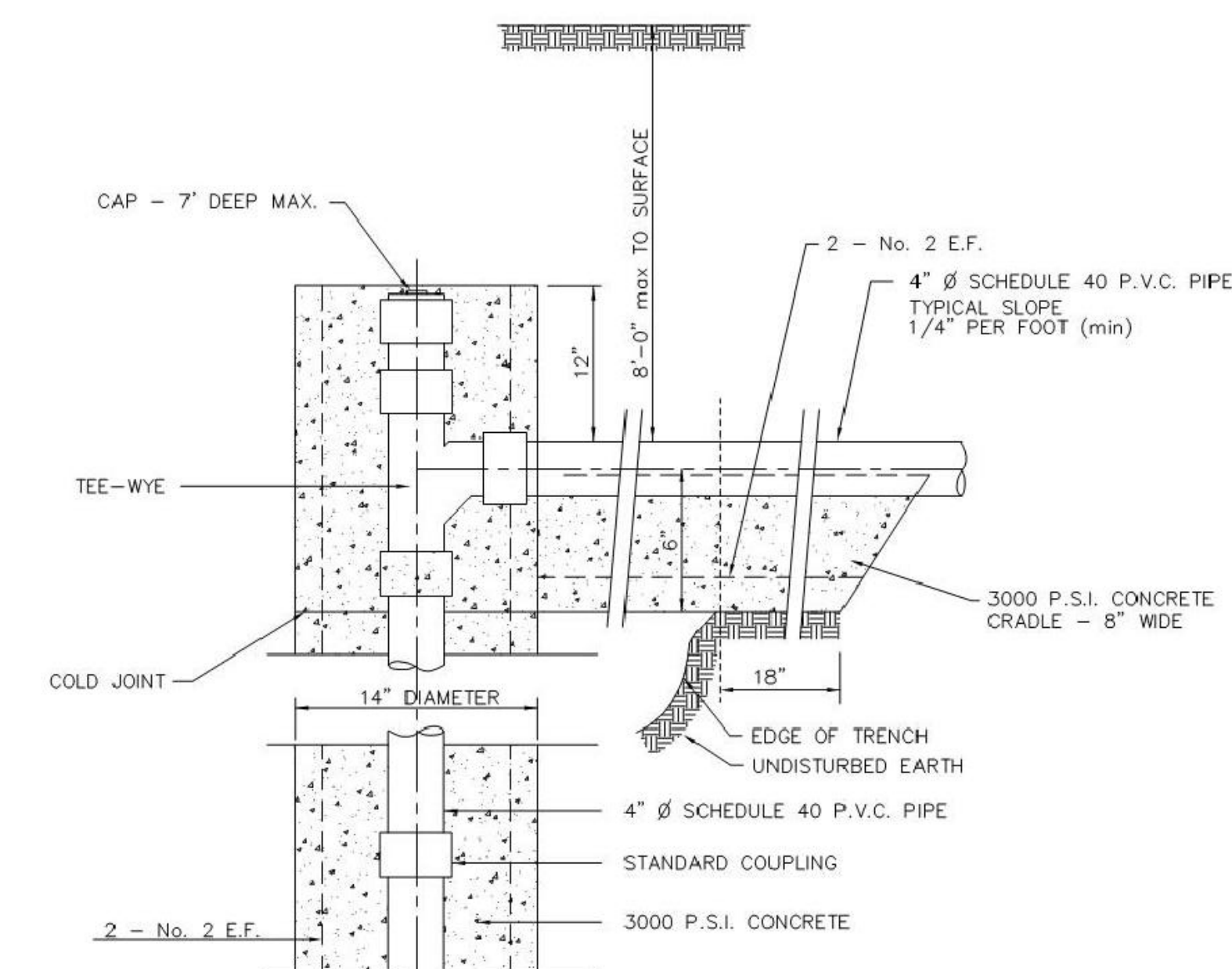
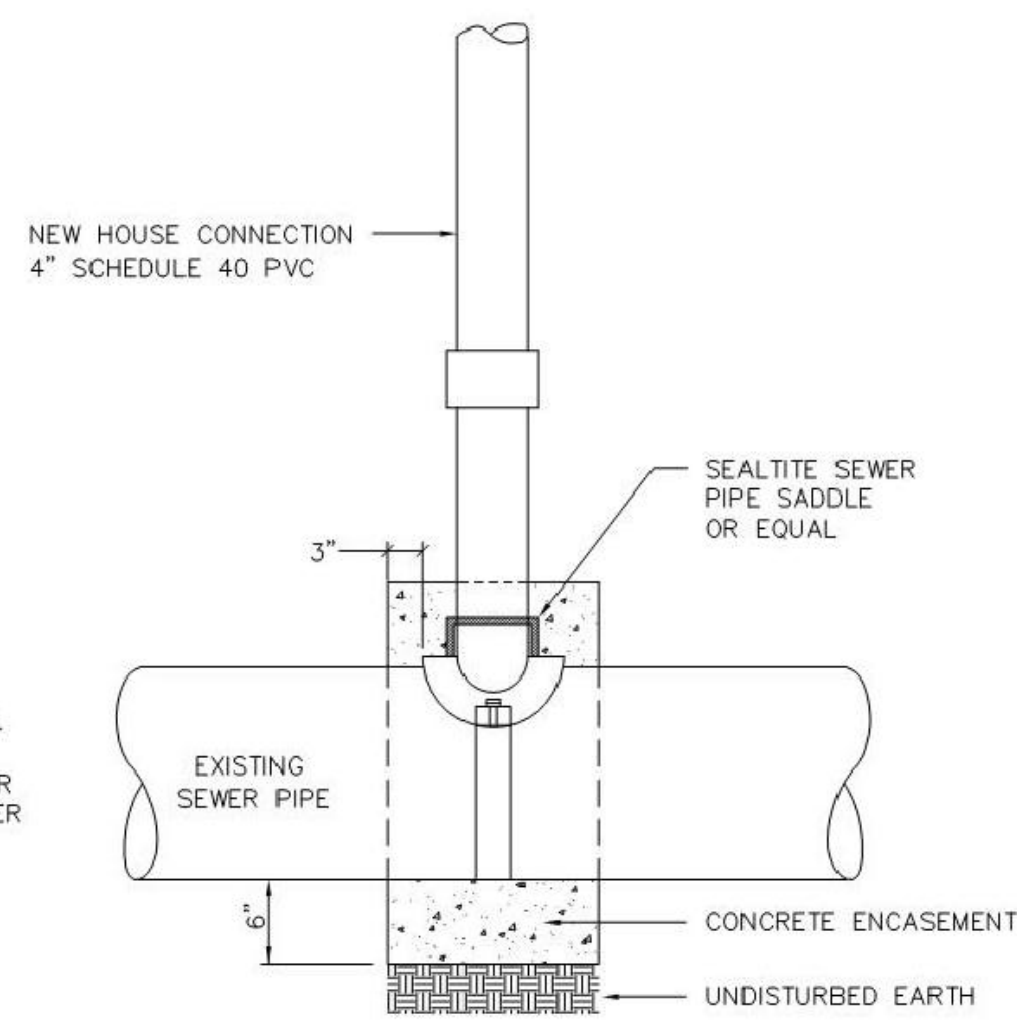
PRELIMINARY AND FINAL SUBMITTALS & PERMITS ARE FOR INFORMATION ONLY. THIS DRAWING IS NOT TO BE USED FOR CONSTRUCTION.  
 PROPOSED RETAIL & RESIDENTIAL DEVELOPMENT  
 PROPOSED RETAIL RESTAURANT & RESIDENTIAL  
 PRINCETON EXECUTIVE PARK  
 CONSTRUCTION DETAILS  
 BLOCK 9, LOTS 12.01, AND 12.02, BLOCK 9.03, LOT 12.02  
 TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

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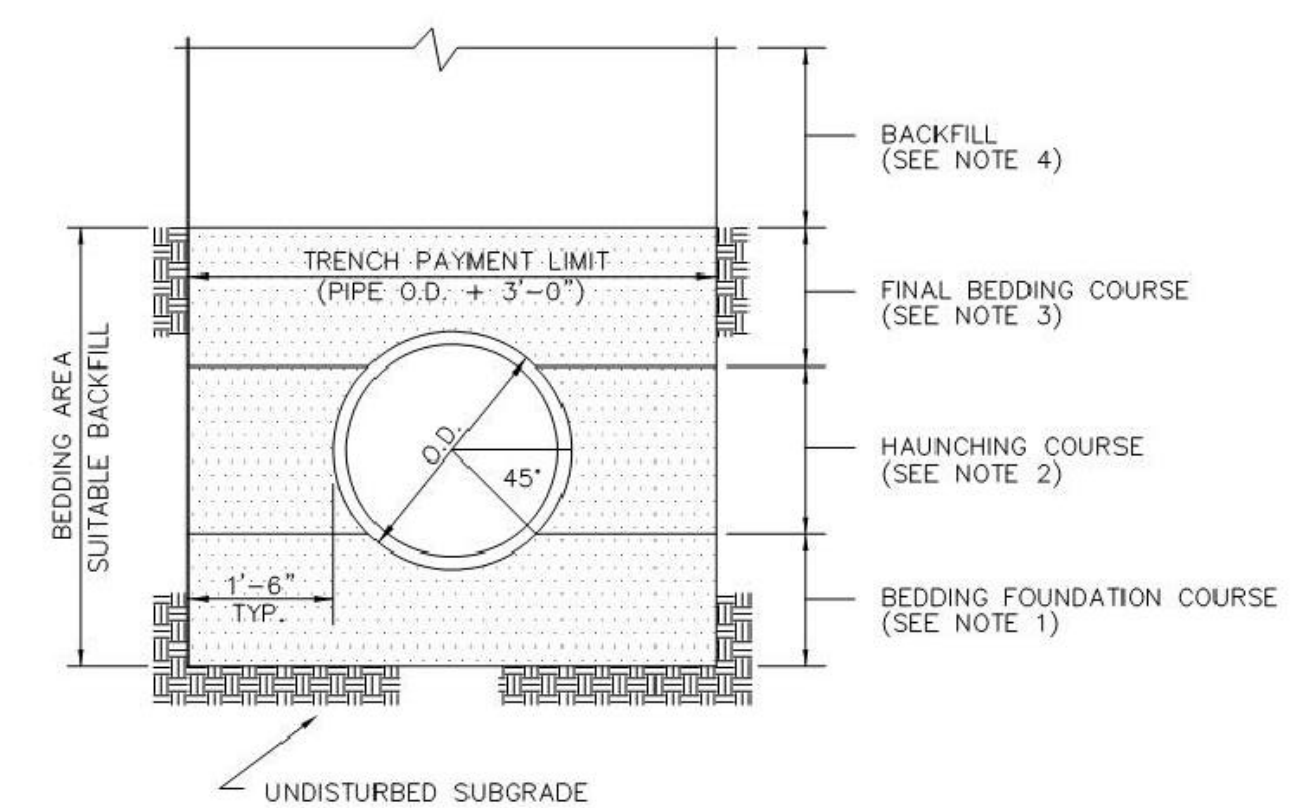
**CONNECTION TO EXISTING A.C.P. SEWER MAIN**  
(INCLUDING TYPICAL HOUSE CONNECTION)  
NO SCALE

- NOTES:**
- CLEANOUTS SHALL NOT BE INSTALLED IN DRIVEWAY APRONS OR SIDEWALKS. CLEANOUTS INSTALLED IN DRIVEWAYS SHALL BE SURROUNDED BY CONCRETE/METAL ENCLOSURES WITH REMOVABLE METAL LIDS TO ALLOW FOR ACCESS. SHOP DRAWING SHALL BE PROVIDED BY CONTRACTOR TO ENGINEER FOR APPROVAL PRIOR TO ORDERING.



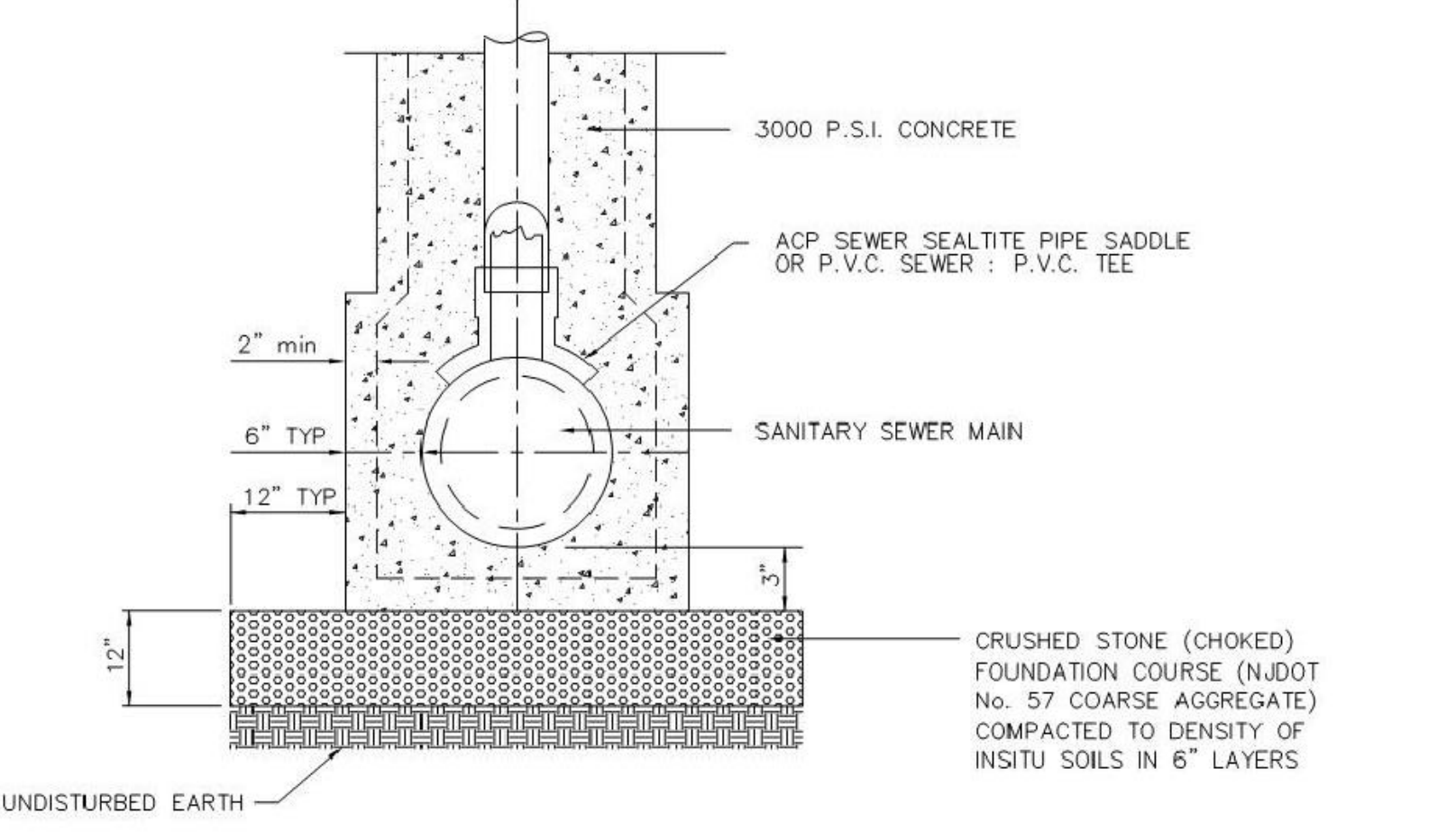
**TYPICAL HOUSE CONNECTION TO NEW P.V.C. SEWER MAIN**  
NO SCALE

- NOTES:**
- ALL COUPLINGS, PLUGS & CAPS SHALL BE STANDARD FOR TYPE OF PIPE & INSTALLATION TO BE WATERTIGHT.
  - CLEANOUTS OR INSPECTION WYES ARE TO BE LOCATED AS SHOWN ON DETAIL.
  - 1/4" PER FOOT SLOPE GOVERNS OVER CONFLICTS WITH THE 5-FOOT MINIMUM COVER DIMENSION.
  - FOR PIPE BEDDING DETAILS SEE DETAILS ON THIS SHEET.
  - WHERE A NEW P.V.C. HOUSE CONNECTION IS TO BE INSTALLED ALL COUPLINGS SHALL BE STANDARD.
  - WHERE ONE EXISTING 8-INCH A.C.P. SEWER MAIN HAS BEEN REMOVED AND REPLACED WITH 8-INCH SDR-35 P.V.C. SEWER MAIN, THE EXISTING HOUSE CONNECTIONS, MAY BE RECONNECTED TO THE NEW SEWER MAIN WITH A DRESSER STYLE 162 TRANSITION COUPLING, OR APPROVED EQUAL.

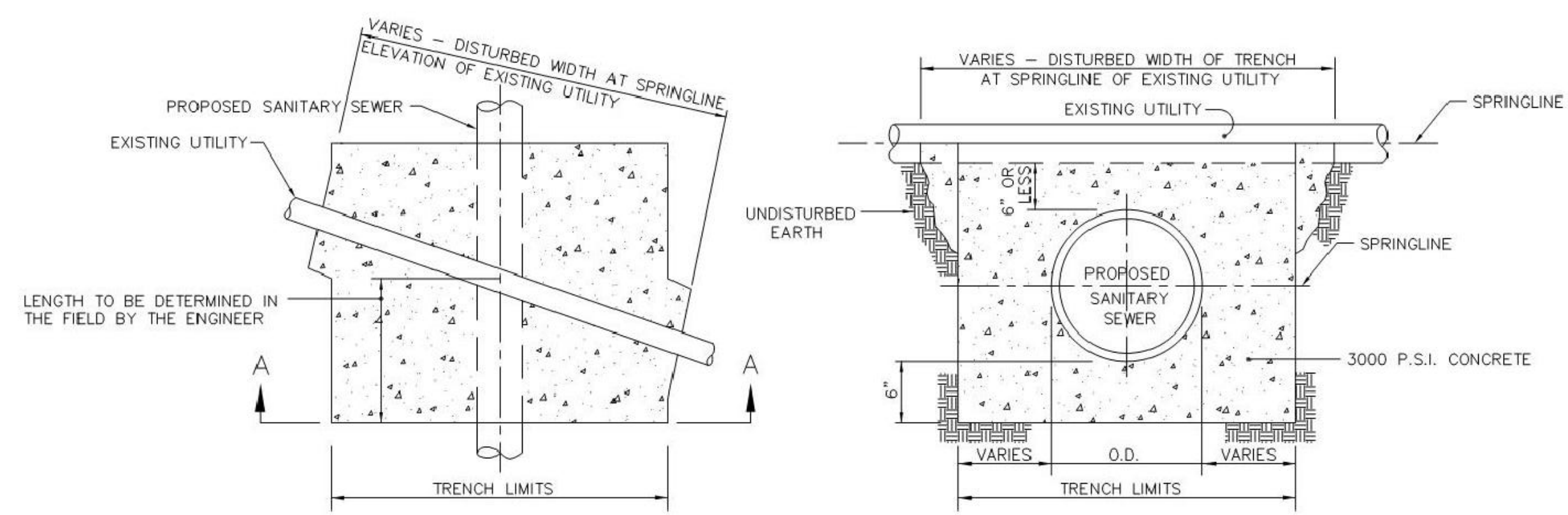


**PIPE BEDDING DETAIL**  
NO SCALE

- NOTES:**
- BEDDING FOUNDATION COURSE: EXISTING TRENCH EXCAVATION MATERIAL MAY BE USED IF DETERMINED SUITABLE BY THE ENGINEER. UNSUITABLE TRENCH MATERIALS SHALL BE REMOVED AND REPLACED WITH CRUSHED STONE. (SEE NOTE DEEP HOUSE CONNECTIONS). EXISTING MATERIALS DETERMINED TO BE SUITABLE THAT HAVE BEEN DISTURBED, SHALL BE RECOMPACTED TO A DENSITY EQUAL TO THAT OF THE UNDISTURBED. RECOMPACTING SHALL TAKE PLACE PRIOR TO PIPE INSTALLATION. IN ALL CASES THE BEDDING FOUNDATION COURSE SHALL PROVIDE UNIFORM, CONTINUOUS AND ADEQUATE SUPPORT FOR THE PIPE.
  - HAUNCHING COURSE: TO BE SELECT OR SUITABLE BACKFILL SO AS PROVIDE LATERAL SUPPORT TO PREVENT DEFLECTION OR MOVEMENT OF THE PIPE BOTH VERTICALLY AND HORIZONTALLY. MATERIAL TO BE SAME AS BEDDING FOUNDATION COURSE.
  - FINAL BEDDING COURSE: TO BE SELECT OR SUITABLE BACKFILL, TAMPING ON SIDE OF PIPE REQUIRED WITH CAUTIOUS TAMPING DIRECTLY OVER TOP OF PIPE TO PRECLUDE MOVEMENT OR DEFLECTION OF PIPE. MATERIAL TO BE PLACED IN 6-INCH LIFTS.
  - BACKFILL ABOVE THE BEDDING AREA SHALL BE A SUITABLE MATERIAL, COMPACTED TO A DENSITY EQUAL TO OR GREATER THAN THE ADJACENT UNDISTURBED MATERIALS. SAID COMPACTION TO BE REACHED PRIOR TO BITUMINOUS STAB, BASE COURSE CONSTRUCTION. DENSITY TESTS MAY BE REQUIRED BY THE TOWNSHIP ENGINEER AND COSTS OF SAME TO BE BORNE BY THE CONTRACTOR OR DEVELOPER.
  - CLEANOUTS SHALL NOT BE INSTALLED IN DRIVEWAY APRONS OR SIDEWALKS.

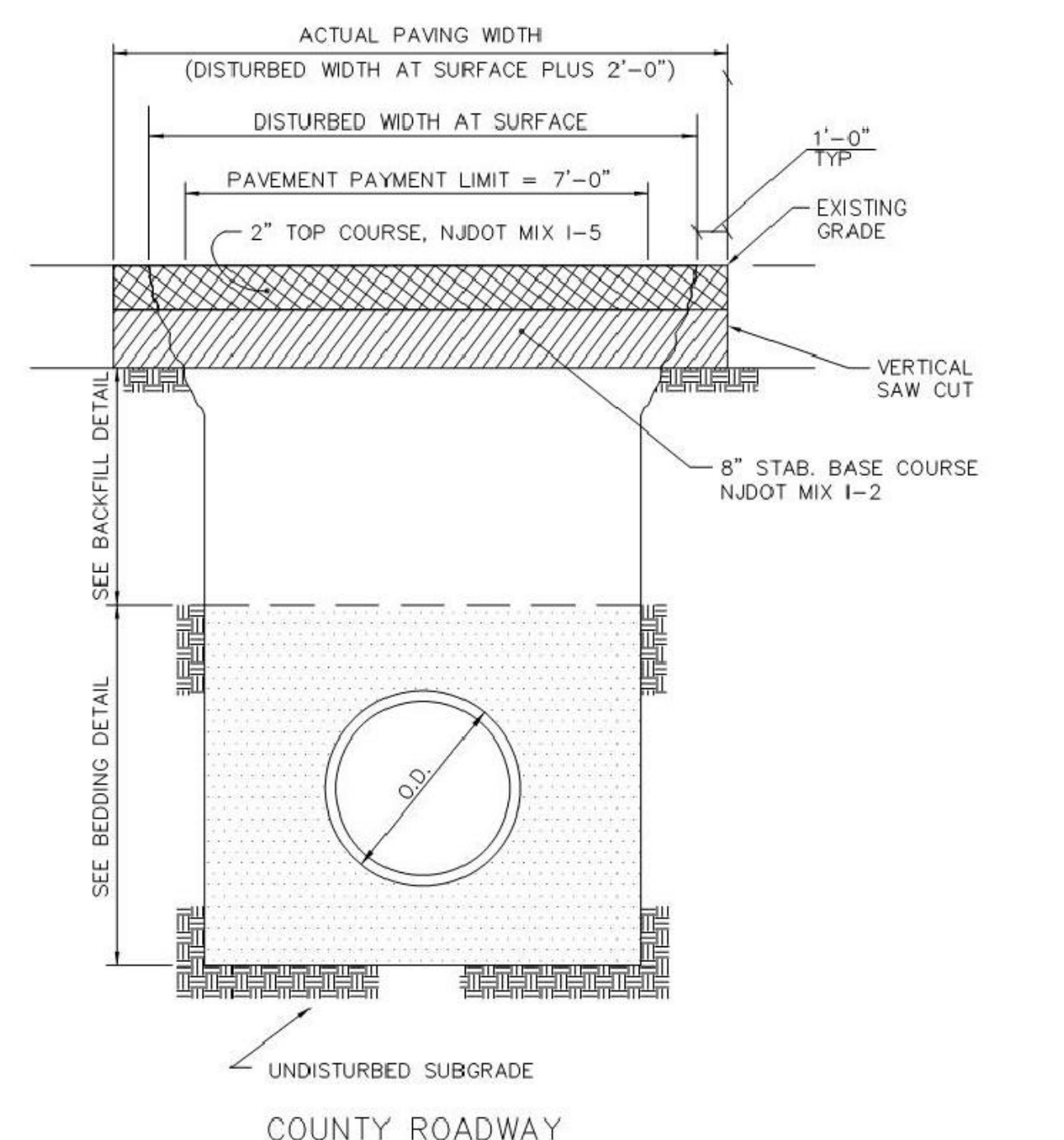


**DEEP HOUSE CONNECTIONS**  
NO SCALE

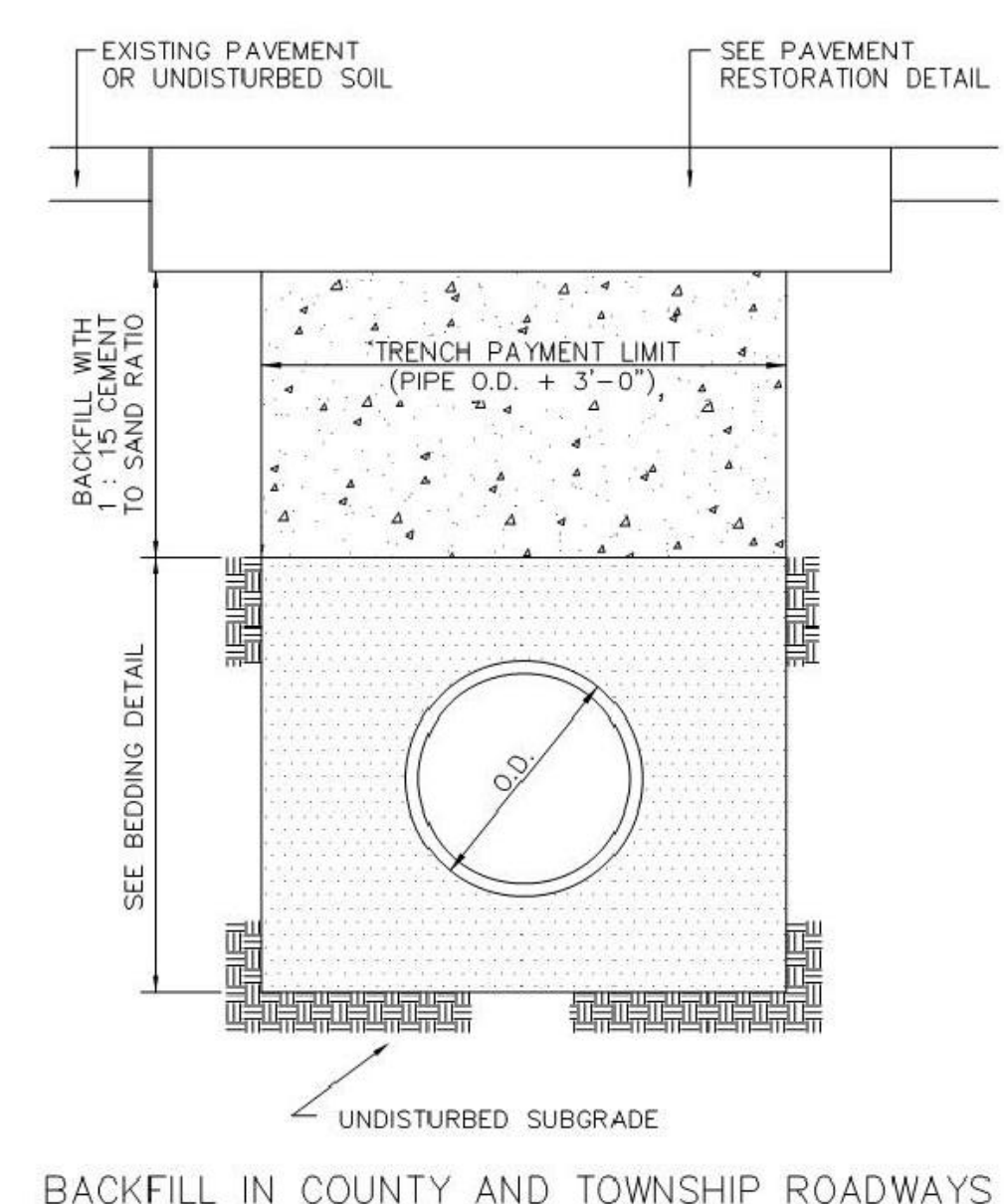
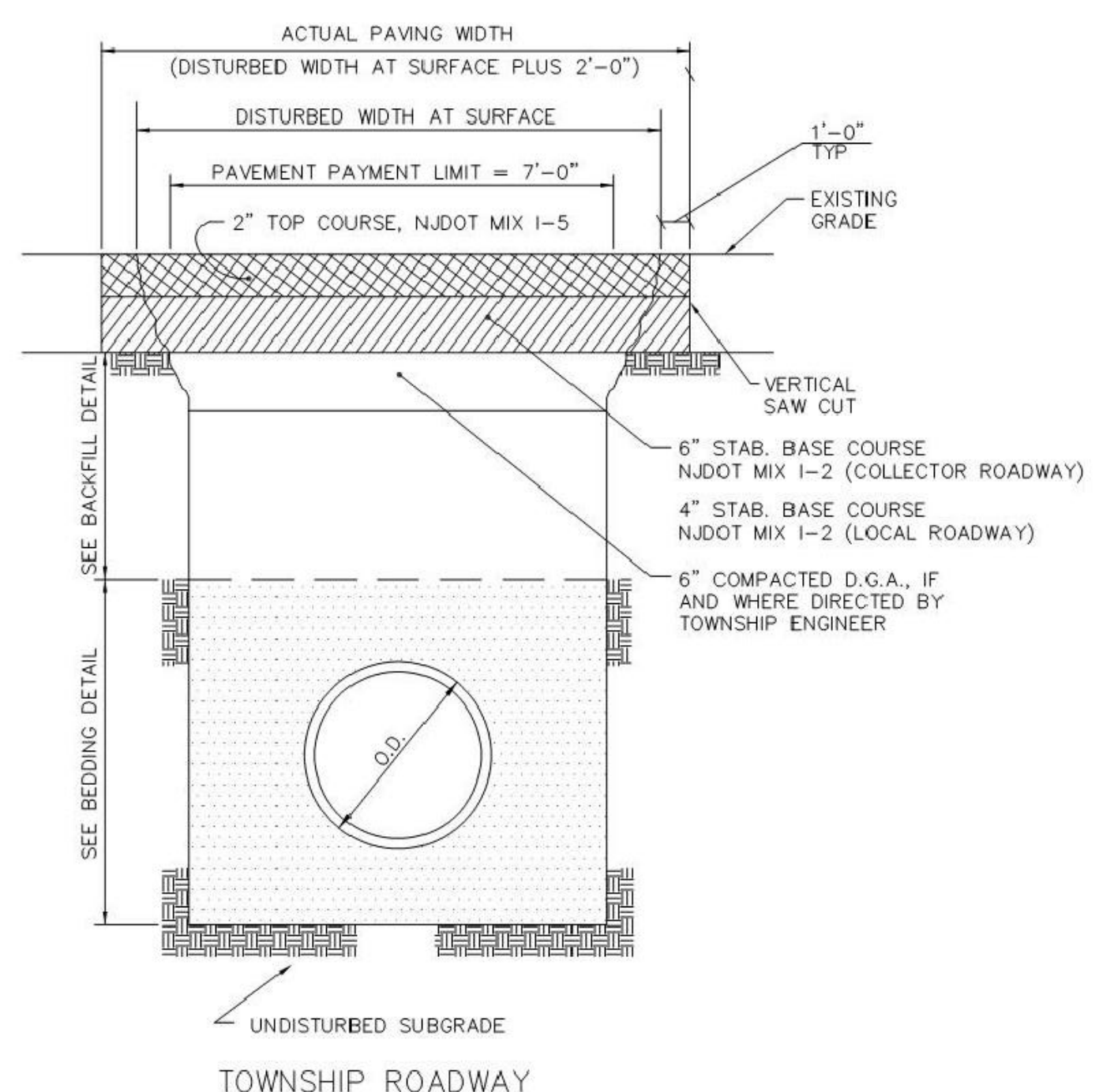


**CONCRETE CRADLE DETAIL**  
NO SCALE

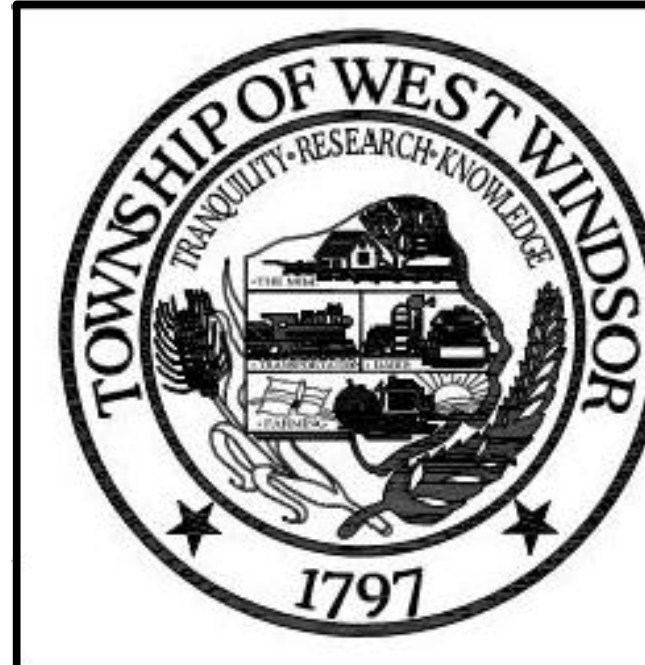
- NOTE:**
- WHERE GRAVITY SEWERS CROSS UNDER OR OVER AN EXISTING SANITARY SEWER, STORM DRAIN OR OTHER UTILITY AND WHERE THE MINIMUM DISTANCE BETWEEN THEM IS 6 INCHES OR LESS, THE ENGINEER MAY ELECT TO CONSTRUCT A CONCRETE CRADLE TO THE SPRINGLINE OF THE UPPER PIPE. THE WIDTH OF THE CRADLE SHALL BE EQUAL TO THE ACTUAL EXCAVATED WIDTH OF THE TRENCH (6 INCHES BELOW THE LOWER PIPE) AND VARIES TO THE DISTURBED TRENCH WIDTH AT THE SPRINGLINE OF THE UPPER PIPE. THE LENGTH VARIES AND IS TO BE DETERMINED IN THE FIELD BY THE ENGINEER.



**PAVEMENT RESTORATION DETAILS**  
NO SCALE



**PIPE BACKFILL DETAIL**  
NO SCALE



**WEST WINDSOR TOWNSHIP**  
Department of Community Development  
Engineering Division  
West Windsor Township Municipal Building  
271 Clarksville Road  
P.O. Box 38  
Princeton Junction, N.J. 08550  
Phone (609) 799 - 9396  
Fax (609) 275 - 4850

**STANDARD DETAILS**  
PREPARED FOR  
**SANITARY SEWER PROJECTS**

SITUATED IN  
WEST WINDSOR TOWNSHIP MERCER COUNTY NEW JERSEY

1  
2

THESE PLANS ARE NOT TO BE USED FOR BID OR CONSTRUCTION

PROJ. 08823-C1-001  
CHD:GRJ  
DATE: 03/24/20  
REVISION: 1

**Bowman CONSULTING**  
Phone: 732-665-5000  
Fax: 732-665-5001  
No. 24042822000  
E-mail: NJ@BowmanConsulting.com

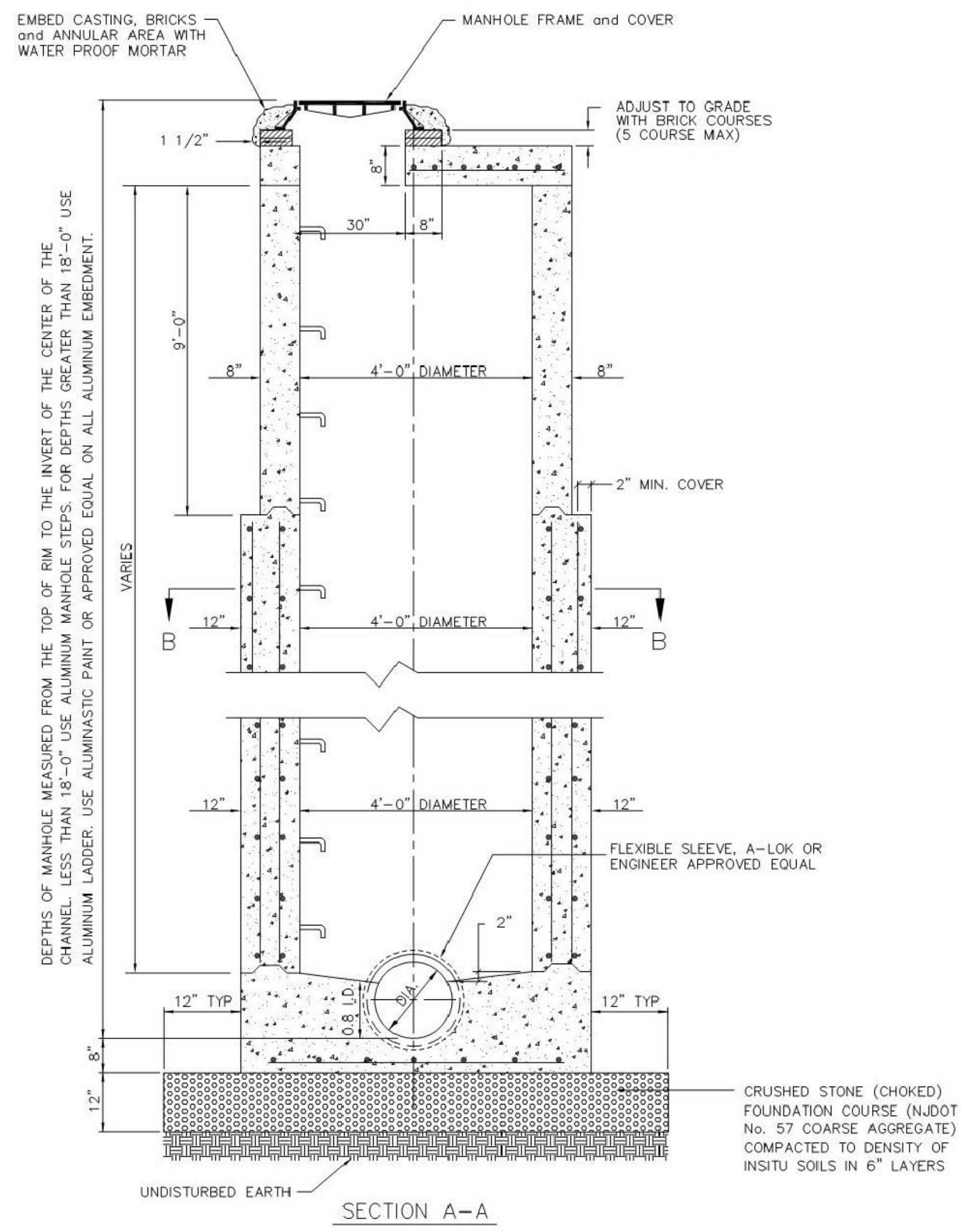
Geoffrey R. Lanza, N.J. Professional Engineer Lic. 240E008800

PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL RESTAURANT & RESIDENTIAL PRINCETON EXECUTIVE PARK WW SANITARY SEWER DETAILS  
BLOCK 9, LOTS 12.01, and 12.02, BLOCK 0.03, LOT 12.02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

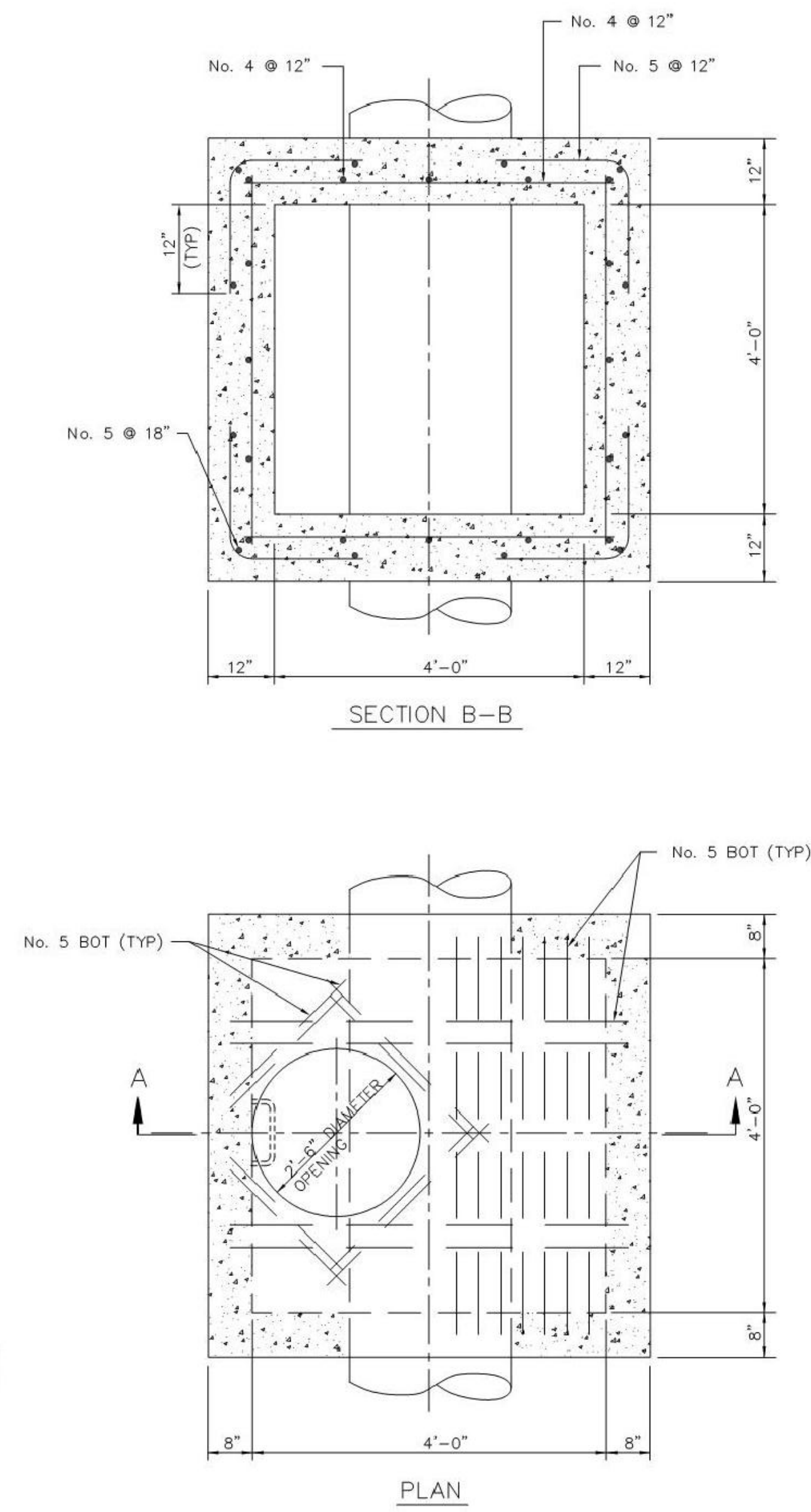
SHEET No. 48 OF 49



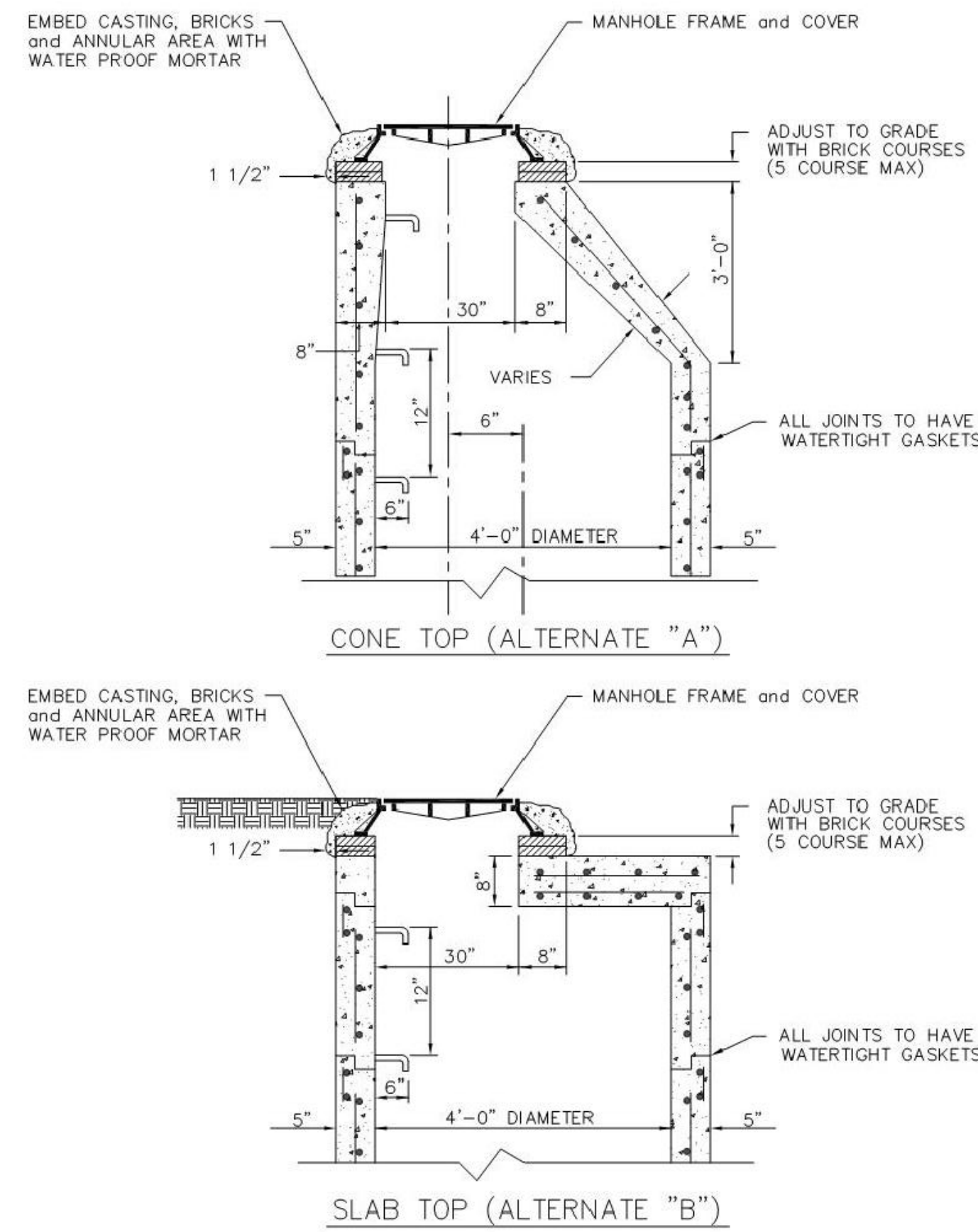
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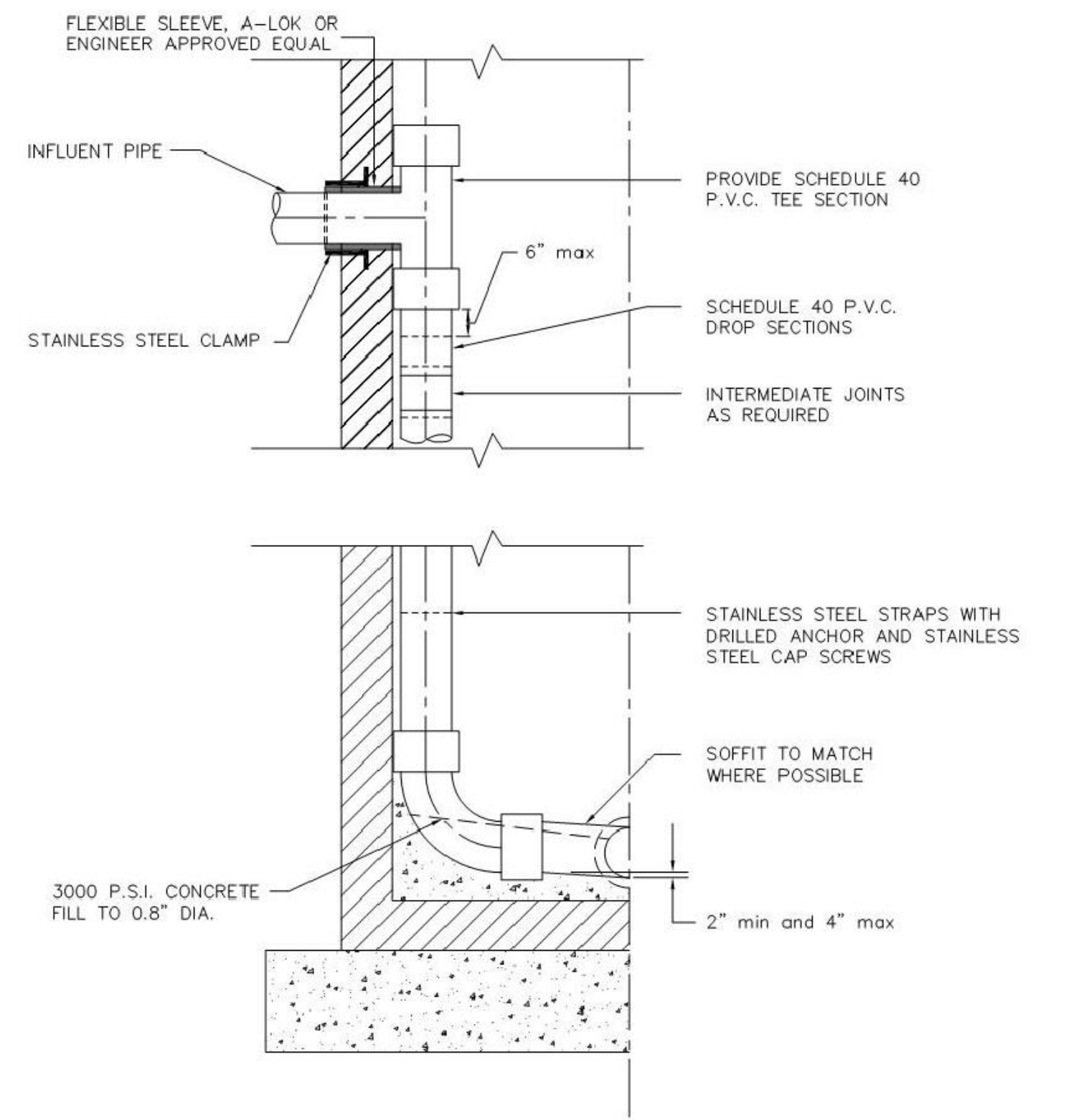
**CAST IN PLACE MANHOLE**  
NO SCALE



**MANHOLE CHUTE**  
NO SCALE

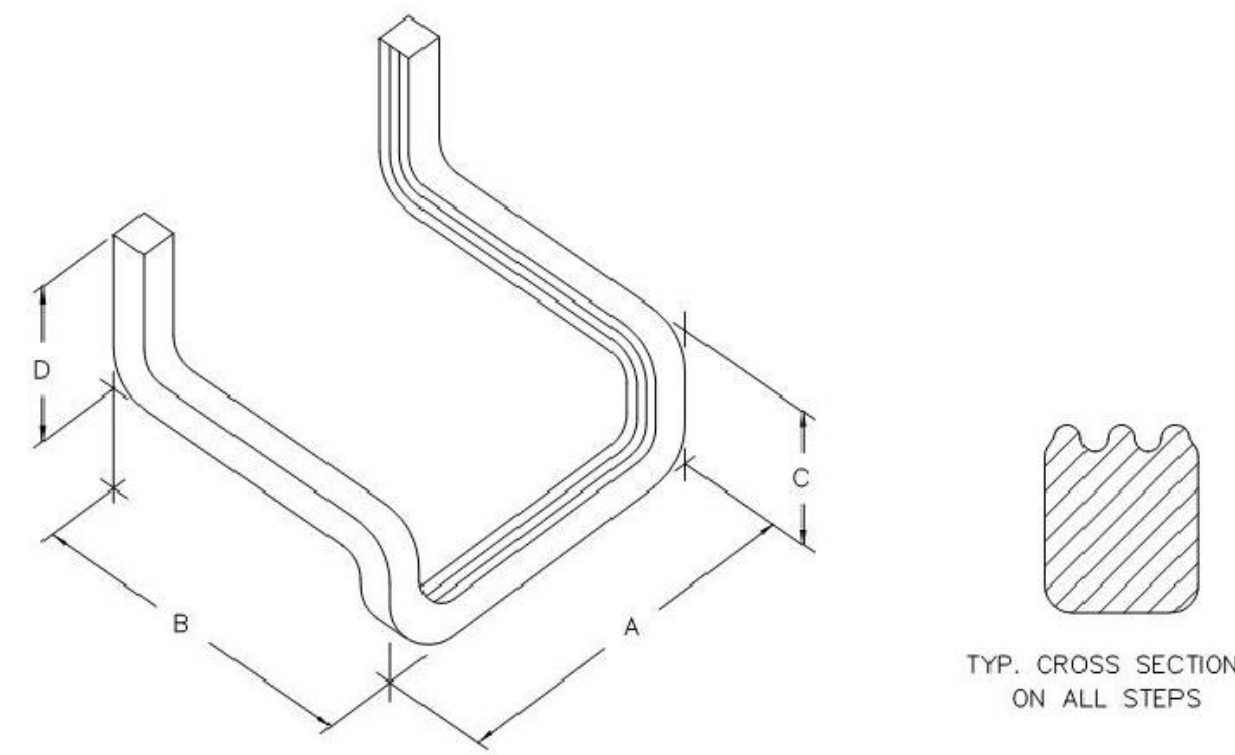


**MANHOLE WALL WITH STUB and HOUSE CONNECTION**  
NO SCALE



**TYPICAL DROP CONNECTION**  
NO SCALE

- NOTES:
- NOMINAL DIAMETER OF P.V.C. DROP SECTION TO BE EQUAL TO INFLUENT PIPE FOR WHICH DROP SECTION IS PROVIDED.
  - FIRST STAINLESS STEEL STRAP TO BE PLACED WITHIN A MAXIMUM DISTANCE OF 6-INCHES BELOW THE INLET PIPE INVERT. SECOND STAINLESS STEEL STRAP TO BE PLACED WITHIN A MAXIMUM DISTANCE OF 6-INCHES ABOVE THE FIRST INTERMEDIATE JOINT. THE UPPER P.V.C. DROP PIPE SECTION TO BE INSTALLED IN SUCH A MANNER AS TO ALLOW FOR FUTURE REMOVAL WITHOUT HAVING TO REMOVE THE REMAINING SECTIONS. REMAINING STAINLESS STEEL STRAPS A MAXIMUM DISTANCE OF 3'-0" ON CENTER AND WITHIN 6-INCHES BELOW ANY REQUIRED INTERMEDIATE JOINTS.
  - ALL JOINTS ON THE DROP SECTION TO BE OF THE RUBBER GASKET OR FRICTION TYPE (SOLVENT CEMENT JOINTS PROHIBITED) TO FACILITATE EASE OF REMOVAL AND/OR REPLACEMENT.
  - DROP MANHOLE SHALL BE INSTALLED AT ANY MANHOLE LOCATION WHERE THE DIFFERENCE IN INVERT ELEVATION BETWEEN ANY INLET AND THE OUTLET IS GREATER THAN 2'-0".



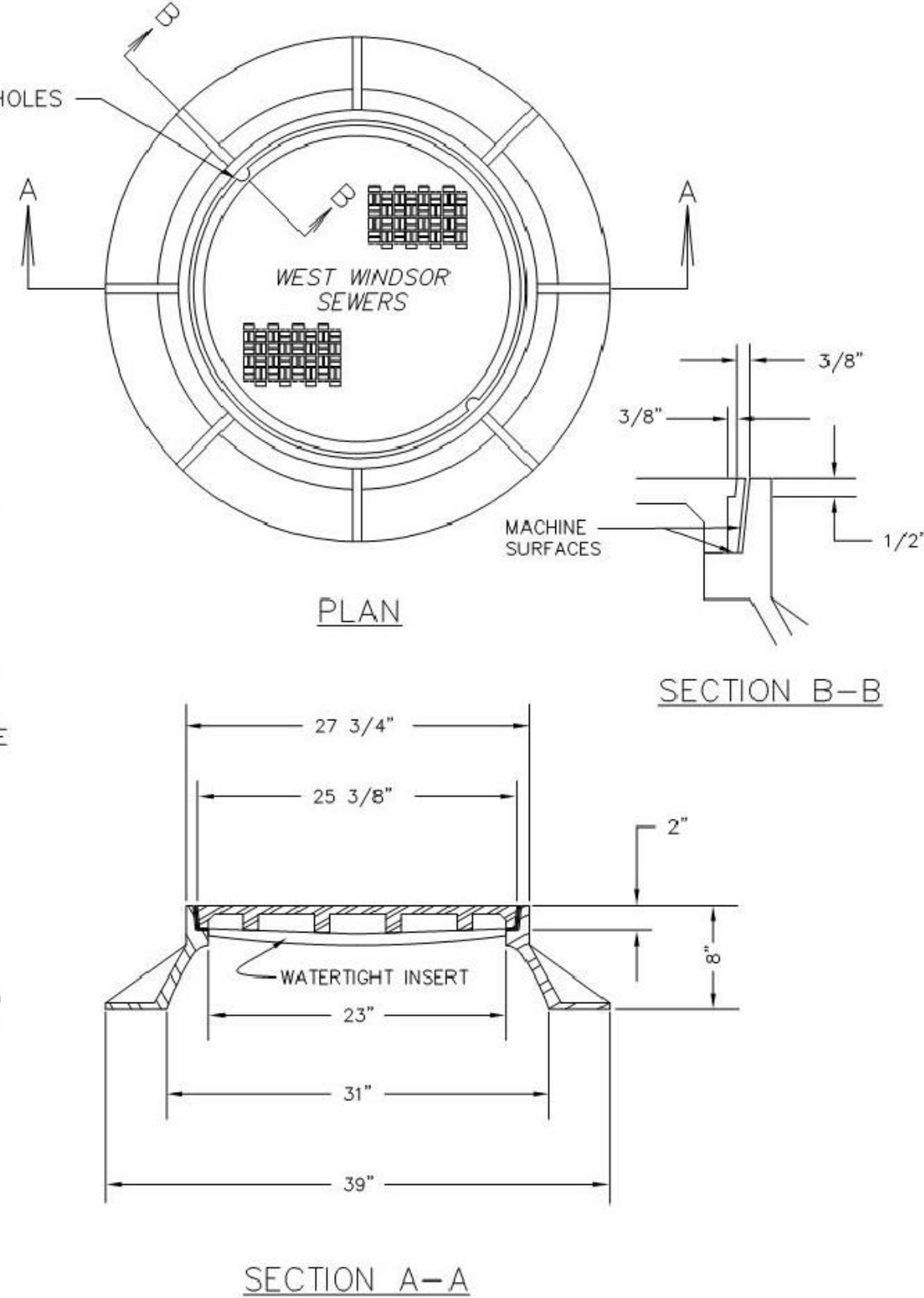
APPLICATION	DIMENSION (IN.)			
	A	B	C	D
BLOCK M.H.	13 3/4	9 5/16	3 3/4	2
CAST IN PLACE WALLS	17 3/4	13 13/16	3 3/4	2
PRECAST M.H.	13 3/4	11	3 3/4	-

\* MIN. 12" AND MUST MEET THE REQUIREMENTS OF ASTM C-478 SPECIFICATIONS.  
NOTE: ALL EMBEDDED PORTIONS OF ALUMINUM SHALL BE COATED WITH ALUMINASTIC PAINT OR APPROVED EQUAL.

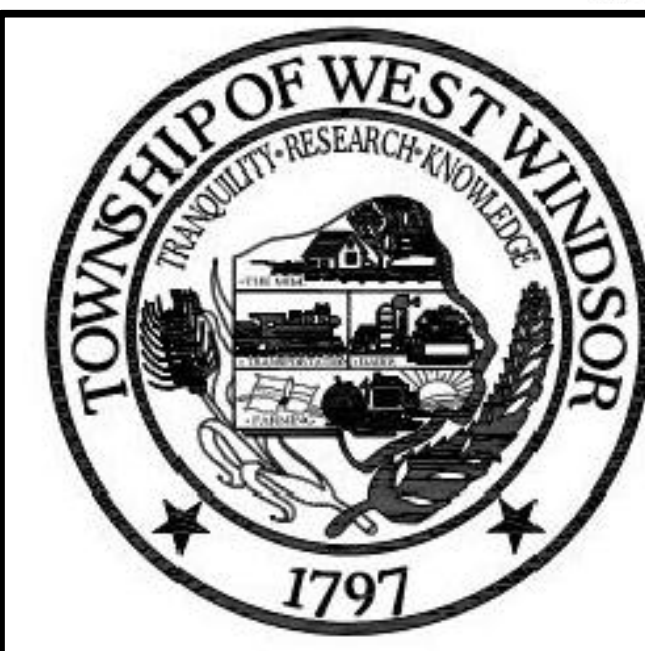
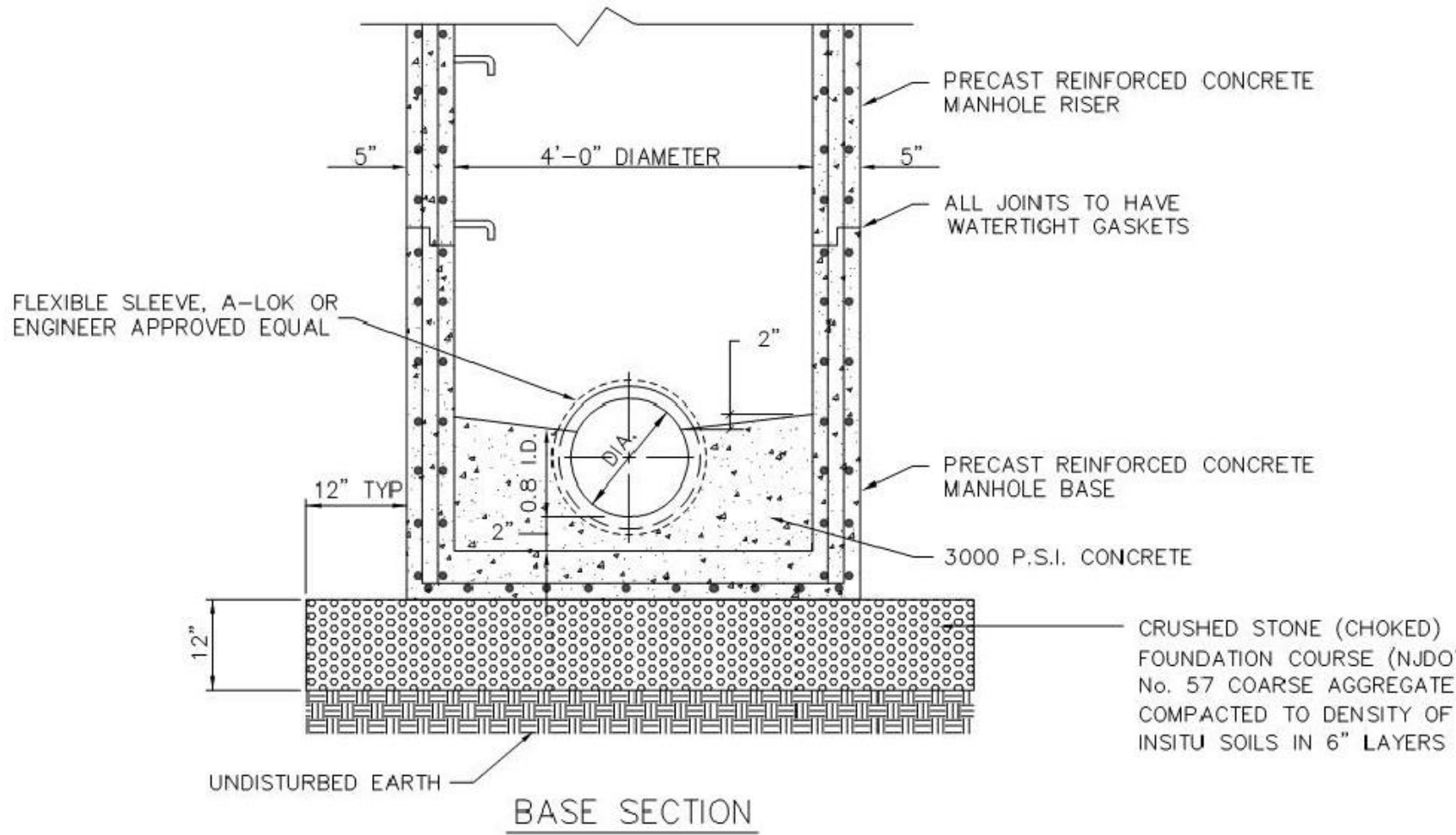
**ALUMINUM MANHOLE STEP**  
NO SCALE

- NOTES:
- ALL DIMENSIONS ARE TO BE HELD TO A TOLERANCE OF 1/32" ON ALL CASTINGS TO PERMIT INTERCHANGING OF PARTS
  - CAMPBELL FOUNDRY #1202B OR EQUAL MIN. WT. 425# WITH FLOW SEAL LID
  - SUBMIT SHOP DRAWINGS FOR APPROVAL
  - MANHOLE NUMBERS SHALL BE INDICATED ON CASTINGS, IN A MANNER ACCEPTABLE TO THE AUTHORITY'S ENGINEER.
  - FRAME SHALL BE SET FLUSH WITH THE STABILIZED BASE COURSE PAVING SURFACE ELEVATION. USE RESURFACING MANHOLE EXTENSION RINGS TO ADJUST TO TOP COURSE PAVING SURFACE ELEVATION.
  - A WATERTIGHT INSERT SHALL BE PLACED BELOW MANHOLE COVER. SEWER GUARD OR APPROVED EQUAL TO BE USED.

**MANHOLE FRAME and COVER**  
NO SCALE



**PRECAST CONCRETE MANHOLE**  
NO SCALE



**WEST WINDSOR TOWNSHIP**  
Department of Community Development  
Engineering Division  
West Windsor Township Municipal Building  
271 Clarksville Road  
P.O. Box 38  
Princeton Junction, N.J. 08550  
Phone (609) 799 - 9396  
Fax (609) 275 - 4850

**STANDARD DETAILS**  
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**SANITARY SEWER PROJECTS**

SITUATED IN  
WEST WINDSOR TOWNSHIP MERCER COUNTY NEW JERSEY

2  
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PRELIMINARY AND FINAL SUBDIVISION & PRELIMINARY & FINAL SITE PLAN FOR PROPOSED HOTEL & RESIDENTIAL DEVELOPMENT PROPOSED RETAIL RESTAURANT & RESIDENTIAL PRINCETON EXECUTIVE PARK WW SANITARY SEWER DETAILS  
BLOCK 9, LOTS 12.01, and 12.02, BLOCK 0.03, LOT 12.02  
TOWNSHIP OF WEST WINDSOR, MERCER COUNTY, NEW JERSEY

SHEET No.  
49  
OF  
49

**Bowman CONSULTING**

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GEOFFREY R. LANZA N.J. Professional Engineer Lic. 240E000800

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